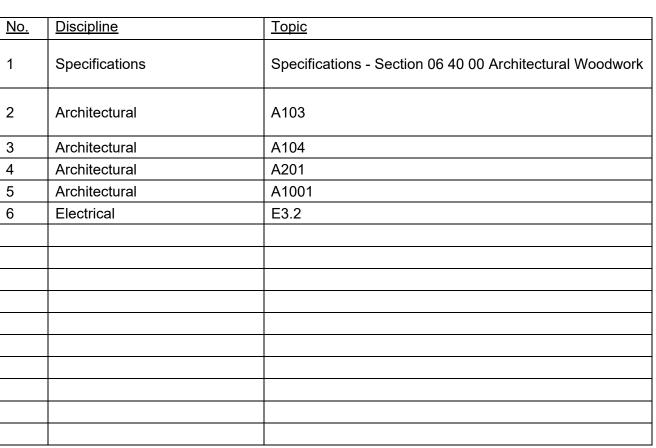
### ADDENDUM 001 – 07/16/2021 To the Plans and Specifications for: UNF – Arena Office Relocation (Phase I)

Prepared By: ARCHITECT Bhide & Hall Architects, P.A. 1329-C Kingsley Ave. Orange Park, FL 32073 Certificate No. AAC000569

Date: July 16, 2021

### Index:



20000025

### 11 ITEMS TOTAL

### Item No. 1 Architectural Woodwork – Section 06 40 00

Revised information under section 2.3.6 and 2.7

**Item No. 2:** A103: Added elevation 3 (Coffee Bar) updated Construction Key Notes, and added additional wall type F2 along face of existing masonry wall that is to be patched with a new infill and new door package.

Addendum No. One BHA - 202102 Page **1** of **2**  Item No. 3: A104: Updated note indicating that Existing Door 1062-C is to be removed. This door is to remain. A new surface mounted astragal is to be added to this door. Reference revised sheet A1001.

Item No. 4: A201: Corrected wall tag from B6 which did not exist to A6. Reference revised sheet A1001.

Item No. 5: A1001: Updated Door Schedule and Wall Types. Added STC tested assembly information for reference.

Item No. 6: E3.2: Deleted the requirement to add a floor box beneath the conference room table.

UNF – Arena Office Relocation (Phase I)

End of Addendum No. 001

Addendum No. One BHA - 202102 Page **2** of **2** 

### SECTION 06 40 00

### ARCHITECTURAL WOODWORK

### 1 GENERAL:

- 1.1 Related Documents: The requirements of Division 1 are hereby made a part of this section as if fully repeated herein.
  - 1.1.1 DIRECT PURCHASING: This Section is subject to the terms and procedures of Direct Purchasing, whereby the Owner reserves the right to recover the sales tax on materials by purchasing directly the materials required for this Section. Issuance of Purchase Orders by the Owner shall <u>not</u> relieve the Contractor of any of his responsibilities regarding material purchases or installations, with the exception of the payments for the materials as purchased.
- 1.2 SUMMARY: Architectural woodwork includes items of miscellaneous finish carpentry and laminate millwork unless such items are specified under another Section of these Specifications:
  - 1.2.1 Work included in this section includes:
    - 1. Coffee Bar millwork: Room 1050
    - 2. Any additional millwork items.
- 1.3 Work specified in other sections and not included in this section includes:
  - 1.3.1 Priming and back-priming, except as specified herein.
  - 1.4.1 Sinks and Service Fixtures: Furnished and installed under Mechanical and Electrical Divisions.
  - 1.4.2 Vinyl Base: Furnished and installed under Section 096500.
  - 1.4.3 Blocking in walls, specified in Section 061000.
- 1.4 Quality Assurance:
  - 1.4.4 Manufacturers shall show evidence of at least five (5) years' experience and installations for similar types of projects.
  - 1.4.5 Quality Standards: The Quality Standards of the Architectural Woodwork Industry (AWI) shall apply and by reference are made a part of this Specification. Any item not given a specific quality grade shall be AWI "Custom".
- 1.5 Submittals:
  - 1.5.1 Submit shop drawings for shelving and countertops showing layout, elevations, ends, cross-sections, service run spaces, and location of services. Show details and location of anchorages. Include layout of units with relation to surrounding walls, doors, windows and other building components. A cabinet sample shall be submitted upon the Architect's request.
- 1.6 Product Handling: Deliver completed units only after wet operations in building are completed and building is ready for cabinet installation. Do not store woodwork in a trailer.
- 1.7 Warranty: All materials and workmanship covered by this section will carry a one (1) year

warranty from date of project Substantial Completion.

### 2 DEFINITIONS AND MATERIALS:

1.8 Listed are definitions and materials commonly used in defining laminate clad wood-work. Refer to FABRICATION section for those items selected for use on this project.

2.1.1 <u>Open Interiors:</u> Any open storage unit without solid doors or drawer fronts and units with glass doors. Material: GP28 HPDL. Color to match exposed face material.

2.1.2 <u>Closed Interiors:</u> Any closed storage unit behind hinged solid door or drawer fronts and sliding solid doors. Material, thermal-fused melamine - color to be selected by architect. (Note: Glued on top coated melamine papers are not acceptable.)

2.1.3 <u>Exposed Surfaces:</u> Any unit door/drawer front when closed and exposed ends Material GP28 high pressure decorative laminate. (Colored melamine is not acceptable).

2.1.4 <u>Semi-Exposed Surfaces:</u> Tops of wall and tall cabinets and exterior bottoms of wall cabinets, unless otherwise designated, shall be thermal-fused melamine - color to be selected by architect.

2.15. <u>Concealed Surfaces:</u> Any surface not normally visible after installation such as cabinet backs to wall and cabinet sides to cabinet sides. Material shall be a balanced backer. These flat surfaces <u>shall be laminated and not left raw or painted</u>.

2.1.6 Balanced construction of all laminated panels is mandatory.

2.1 Cabinet Core Materials

2.2.1 Particleboard – Industrial grade 47 lb. Meeting or exceeding ANSI A208.1-1993, M-3 requirements. Provide thickness as noted in this specification and on the drawings.

2.3 Decorative Laminates/Veneer Where Applicable.

2.3.1 Solid or pattern high pressure decorative laminated GP50 (.050) or post forming horizontal grade. NEMA test LD-3-1985. For countertops.

2.3.2 Solid or pattern color high pressure decorative laminated GP28 (.028). NEMA test LD-3-1985. For cabinet exposed surfaces. Thermal fused melamine is not acceptable.

2.3.3 High pressure cabinet liner CL20 (.020) for balance to GP28. NEMA test LD-3-1985.

2.3.4 Thermal-fused melamine accredited by A.L.A 1988 requirements or NEMA test LD – 3-1991. White, almond or light gray for open and closed interiors, including drawer boxes.

2.3.5 High pressure backer BK20 (.020).

# 2.3.6 Colors for high pressure laminate will be selected from Wilsonart or Formica's solid or pattern offering. A maximum of 2 colors will be selected. Provide manufacturer standard color line samples for selection.

2.4 Edging Materials.

2.4.1 1mm PVC banding, machine applied with waterproof hot melt adhesive. Interior shelving of cabinets shall have 1mm PVC banding to match shelf color.

2.4.2 3mm PVC banding, machine applied with waterproof hot melt adhesive. Use 3mm for all doors, drawer fronts, end panels, exposed shelves, and intermediate vertical panels on exposed shelving.

2.4.3 A minimum of 10 colors shall be offered for color selection. A maximum of 4 colors will be selected.

- 2.5 Cabinet Hardware
  - 2.5.1 Hinges

2.5.1.1 SALICE C2P4P99 HNG 110D INS FS SCRON MDO. Free Swinging, Screw Mounting, Model C2P4P99. Provide Hinge Arm Cover Plate and Cup Cover Plate. Provide for door thickness of <sup>3</sup>/<sub>4</sub>"

2.5.1.2 One pair per door to 48 inch height. One and one-half pair over 48 inches in height. Hinge to accommodate 13/16 inch thick laminated door and allow 180 degree swing.

- 1.5.1.3 Finish to be Nickel Plated
- 1.5.1.4 Hafele #329.16.520 or equivalent
- 2.5.2 Door/Drawer pulls
  - 2.5.2.1 Amerock Blackrock Collection: Hafele #133.50.172 or equivalent
  - 2.5.2.2 Finish: Satin Nickel
  - 2.5.2.3 96mm CTC
- 2.5.3 Drawer Slides

2.5.3.1 Standard Drawers: Ball Bearing Slide, side mounting, full extension, zinc finish. Similar to Haefele Matrix Runner BBA45: Haefele #432.21.55X. *Length of slide to coordinate with drawer.* Minimum 100lb. Dynamic load rating.

- 2.5.5 Adjustable Shelf: To be built-in mortise mount pilaster shelving (KV 233-ZC). To include adjustable shelf supports (KV 237-ZC-XX).
- 2.5.6 Locks: N/A

### 2.6 Fabrication

- 2.6.1 Fabricate casework to dimensions, profiles and details shown on drawings.
- 2.6.2 Cabinet Body Construction

2.6.2.1 Joinery shall meet AWI standards for Custom Grade. Tops and bottoms to cabinet ends, cabinet components such as fixed horizontals, rails, verticals, and anchor rails shall be mating - sticking (male/female) and glued under pressure or dowelled in place. Dowel spacing shall not exceed 3.5 inches on center.

2.6.2.2 Unless specifically indicated, core shall be <sup>3</sup>/<sub>4</sub>" thick industrial grade 47lb particleboard meeting or exceeding ANSI A208.1-1993, M-3 requirements before lamination. Edging and surface finishes as indicated herein.

2.6.2.3 Unit backs on fixed cabinets shall be 3/8" or  $\frac{1}{2}$ " thick particleboard (same type as cabinet body construction), laminated both sides with thermally fused

melamine, captured four sides and glued. Exposed backs shall be  $\frac{3}{4}$ " particleboard with exterior surface GP28 laminate as selected.

2.6.2.4 All fixed base and tall units shall have a separate and continuous pressure treated pine or exterior grade plywood base. Cabinet sides continuous to floor are not allowed.

2.6.2.5 All under counter units, except sink base units, shall be provided with a full sub-top. All sink cabinet bodies shall be exterior grade (pressure treated) plywood core laminated with CL20 cabinet liner.

2.6.2.6 All exposed and semi-exposed edges of the cabinet body shall be factory edged with .05 mm PVC banding, machine applied with waterproof hot melt adhesive.

2.6.2.7 Adjustable shelf core shall be  $\frac{3}{4}$ " thick dimensionally stable plywood up to 30" wide. Cabinets over 30" wide shall have a vertical divider.

2.6.2.8 All upper wall cabinets shall provide a clear inside depth of 12" or 15" as indicated.

#### 2.6.3 Drawers

2.6.3.1 Back and sides shall be  $\frac{1}{2}$ " thick particleboard or fiberboard, laminated with thermal-fused melamine. Sub-front shall be 5/8" particleboard or fiberboard. Sides, back, and sub-front shall be connected by glued lock shoulder or doweled. No-screw-fasteners are allowed in end (narrow dimension) of fiberboard construction. Top edge is banded with 1mm PVC edging in matching color.

2.6.3.2 Drawer bottoms shall be 3/8" thick with the drawer box bottom sides, hardwood edged. All surfaces shall be laminated with thermal-fused melamine. Drawer bottom shall be captured four sides with a continuous bead of glue. Drawers over 24" shall have the bottoms reinforced.

#### 2.6.4 Door/Drawer Fronts

2.6.4.1 Core for all doors and applied drawer fronts shall be  $\frac{3}{4}$ " thick particleboard. All edges shall be finished with 3mm PVC. Colors to be selected by the Architect.

2.6.4.2 Exterior faces shall be laminated with high pressure decorative laminated GP28, color as selected, balanced with cabinet liner CL20 to match basic cabinet interior body color.

# 2.7 Countertops. Dupont Corian Solid Surface - Color to be selected from one of the following: <u>Natural Gray, Ash Aggregate, Carbon Aggregate, or Carbon Concrete</u>

Non-porous, homogeneous material maintaining the same composition throughout the part with a composition of acrylic polymer, aluminum tri-hydrate filler and pigment; not coated, laminated or of composite construction; meeting following criteria: Flammability: Class 1 and A when tested to UL 723.

All countertops shall be self-edged with a 1-1/2" thick front edge. Exposed corners shall have a 1/2" radius. Back and side splashes shall be  $\frac{3}{4}$ " butt type and fastened to the deck with a one component silicone ASTM C920.

Ensure surface has a uniform finish with a variation in component size of no more

202102 06 40 00-4 than +/- 1/8". Contractor shall field verify all conditions prior to fabrication and commencing work.

### 3. EXECUTION

- 3.1 Inspection: The installer must examine the job site and the conditions under which the work in this section is to be performed and notify the contractor in writing of unsatisfactory conditions. Do not proceed with work under this section until unsatisfactory conditions have been corrected in a manner acceptable to the installer.
- 3.2 Preparation: Condition casework to average prevailing humidity conditions in installation areas prior to installing.
- 3.3 Installations

3.3.1 Install casework with factory trained supervision authorized by manufacturer. Erect casework, plumb, level, true, and straight. Cut out for all sink or electrical openings in tops and splashes.

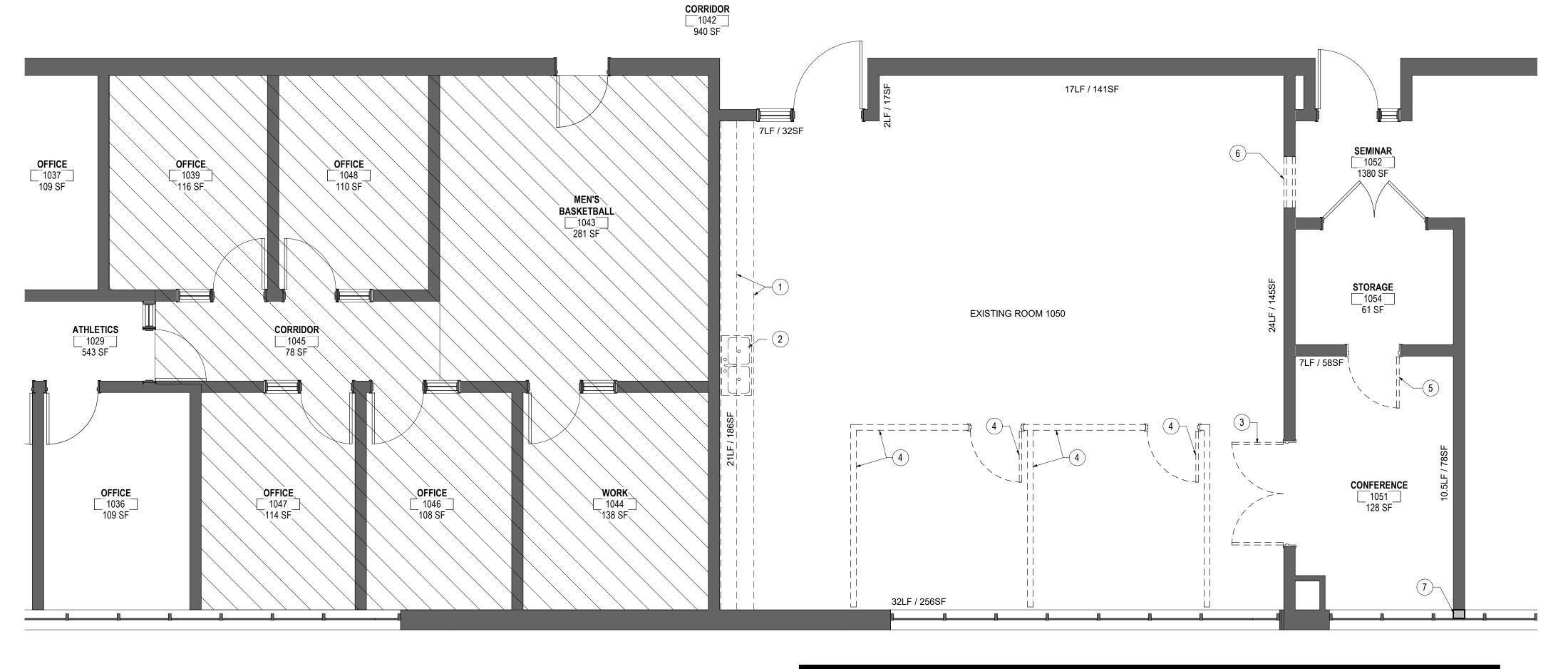
3.3.2 Adjust casework and hardware so that doors and drawers operate smoothly without warp or bind.

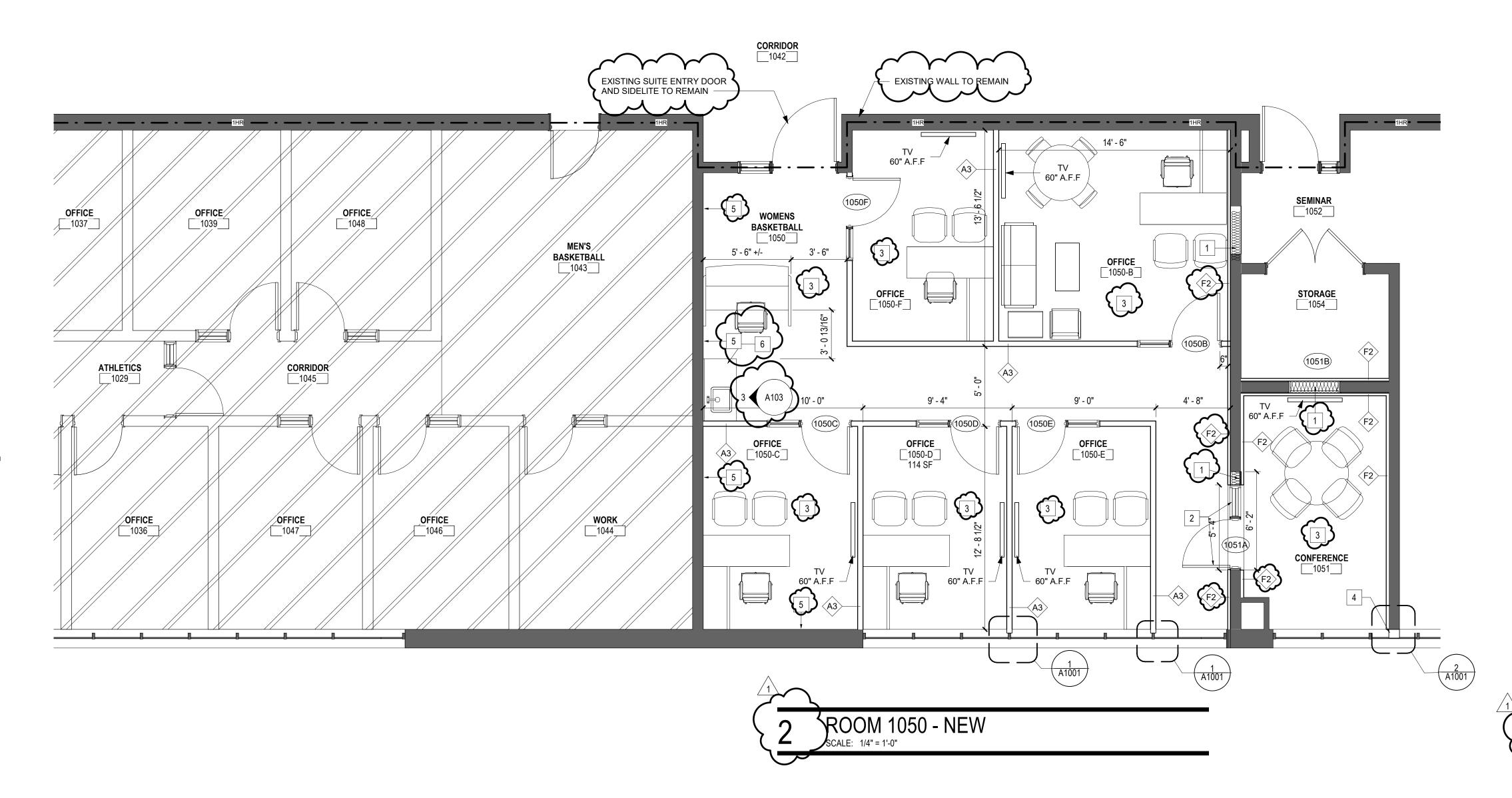
### 3.4 Cleaning and Protection

3.4.1 Clean plastic surfaces, repair minor damage per plastic laminate manufacturer's recommendations. Replace other damaged parts or units.

3.4.2 Advise contractor of instructions for protection of casework and tops from damage by other trades until acceptance of the work by the Owner.

END OF SECTION





### EXISTING / DEMOLITION FLOOR PLAN - ROOM 1050 & 1051 SCALE: 1/4" = 1'-0"

## **DEMOLITION KEY NOTES**

(1) REMOVE EXISTING BASE AND WALL CABINETS WITH COUNTERTOP. REMOVE EXISTING WIREMOLD AND CAP AT SOURCE. REF: ELECTRICAL. PREP WALL FOR NEW FINISHES.

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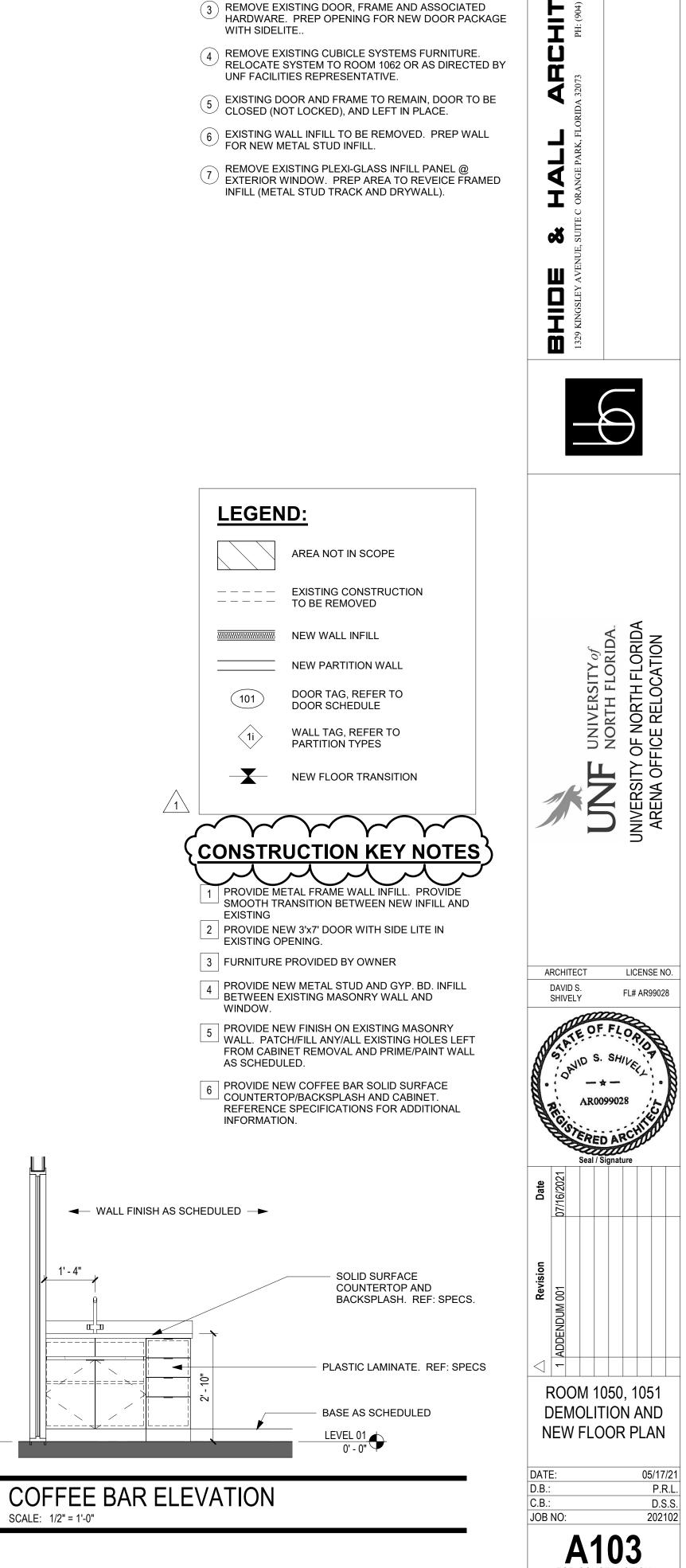
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FOR CONSTRUCTION

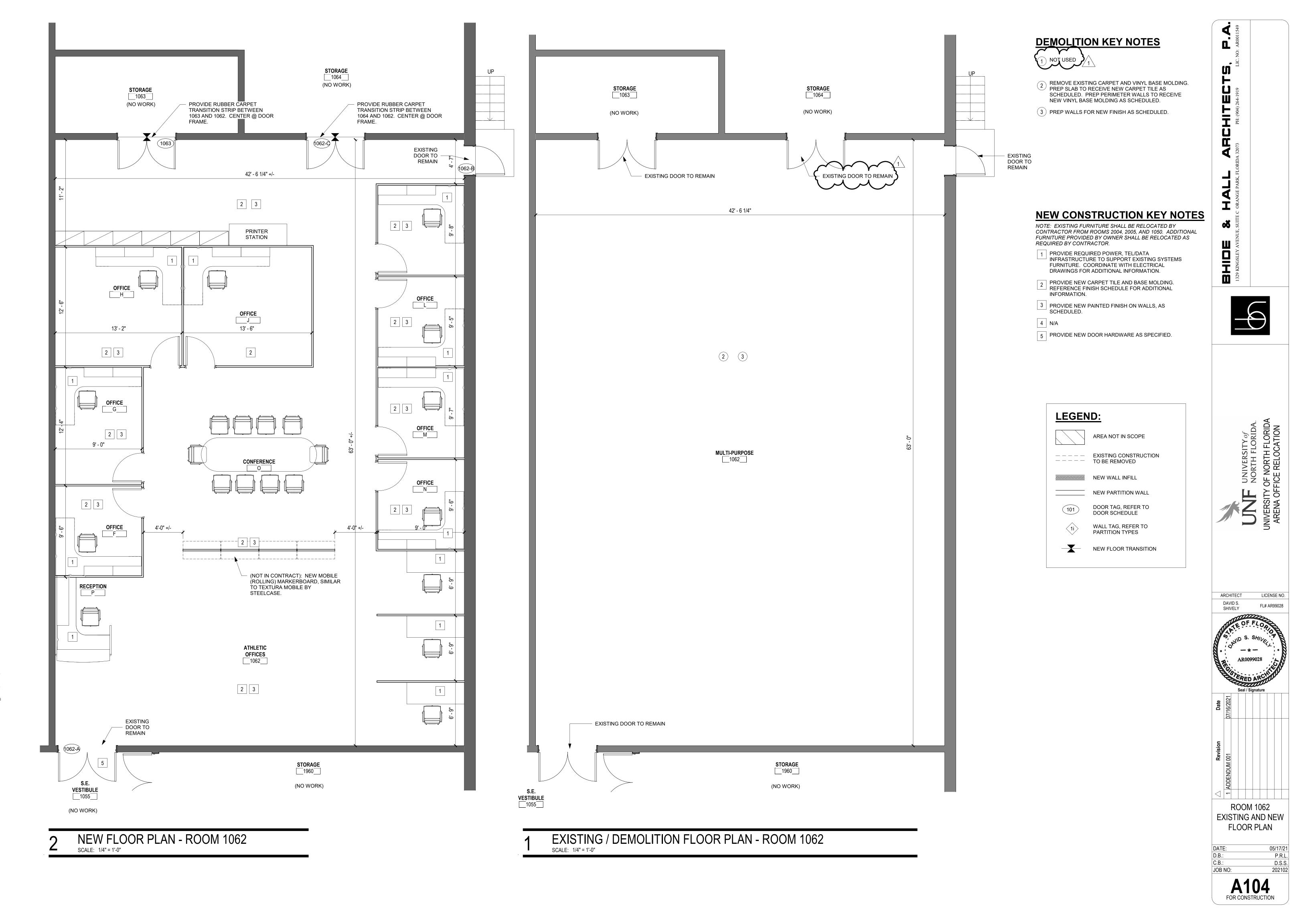
. . .

- (2) REMOVE EXISTING SINK AND REMOVE PLUMBING SUPPLY LINES TO NEAREST VALVE LOCATION. PREP FOR NEW SINK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- (3) REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP OPENING FOR NEW DOOR PACKAGE WITH SIDELITE ..

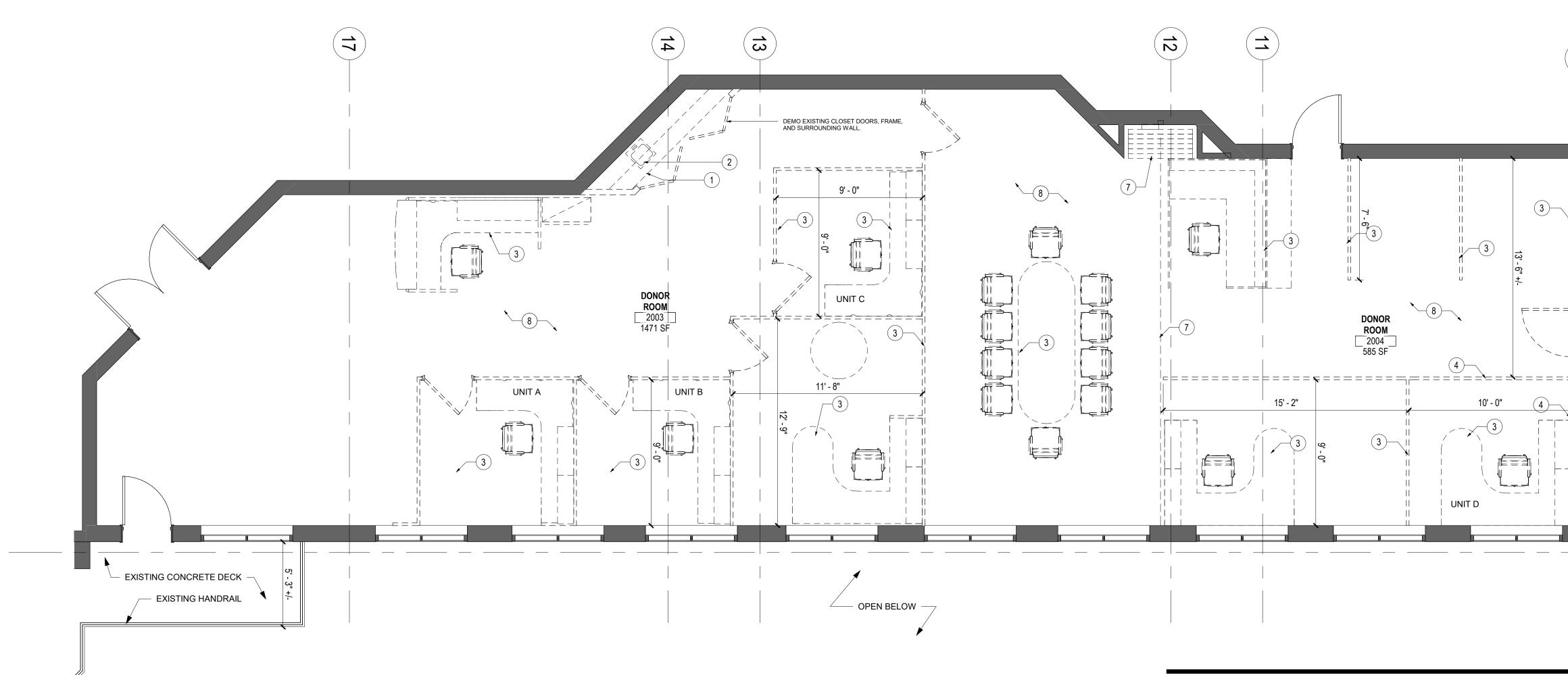


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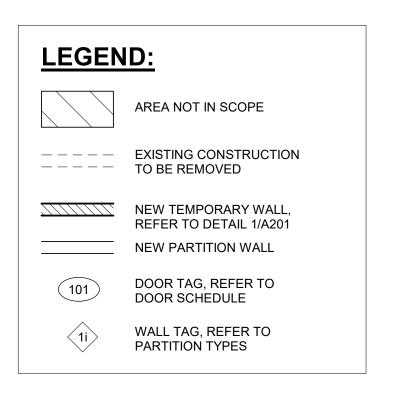


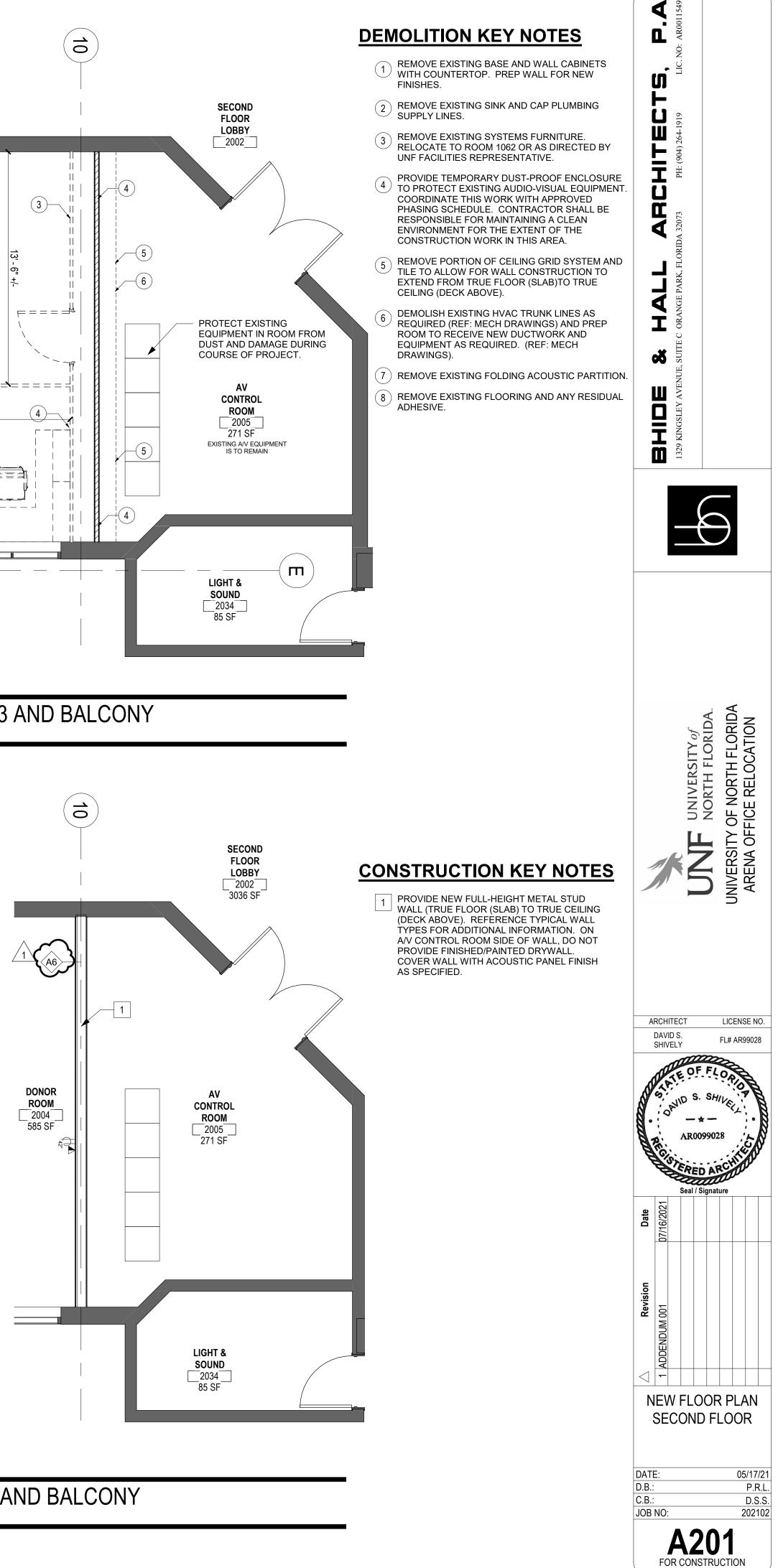
6/2021 10:59:42 AM //files/Projects/2021/202102\_UNF Arena Office Relocation/202102\_06\_Drawings/Working/REVIT/PHASE 1 - FOF COT 10:59:42 AM CONSTRUCTION/UNF ARENA CLASSROOMS AND DONOR ROOM PHASE 1.rvt

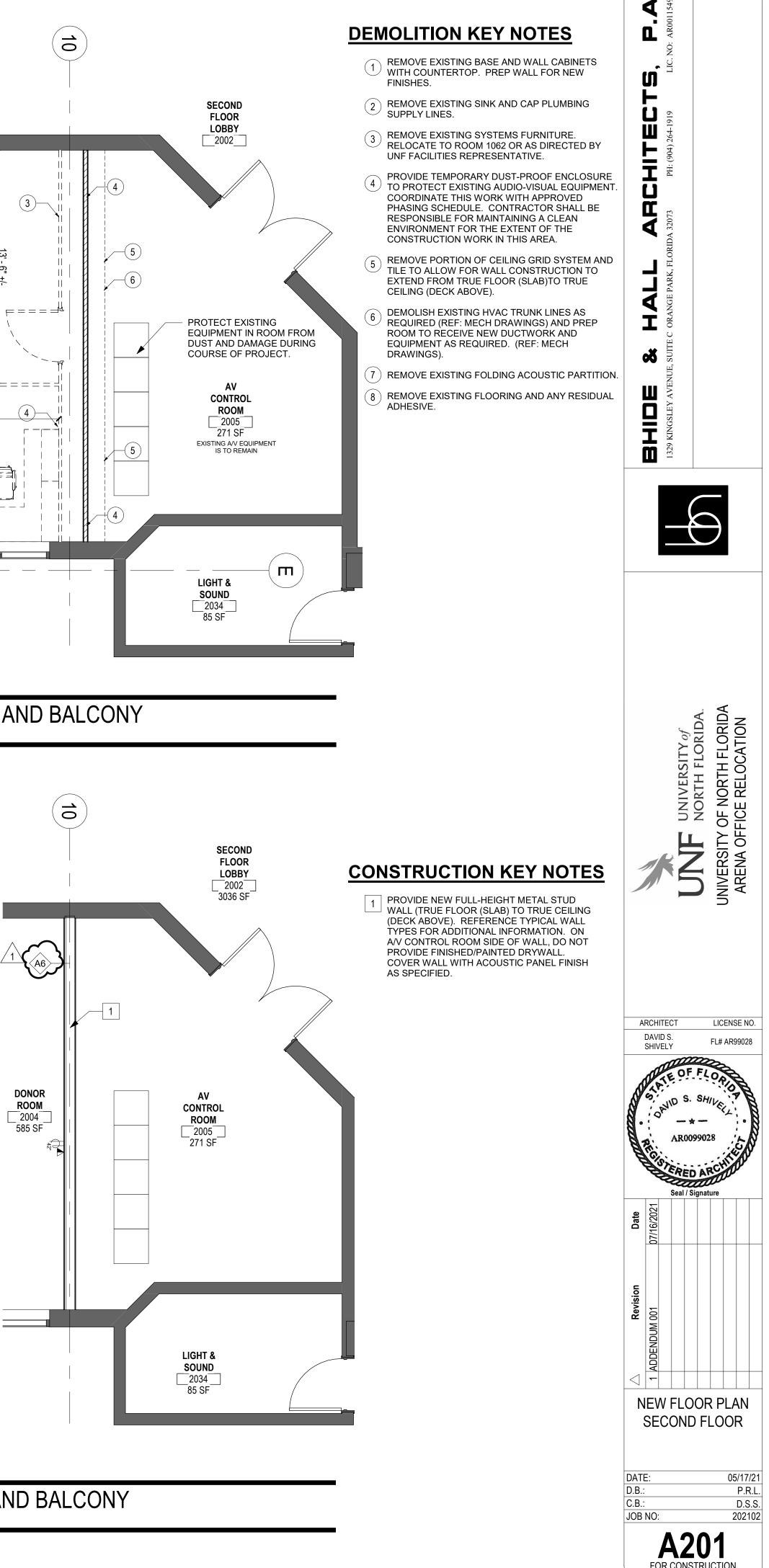




### DEMO FLOOR PLAN - ROOM 2003 AND BALCONY SCALE: 1/4" = 1'-0"

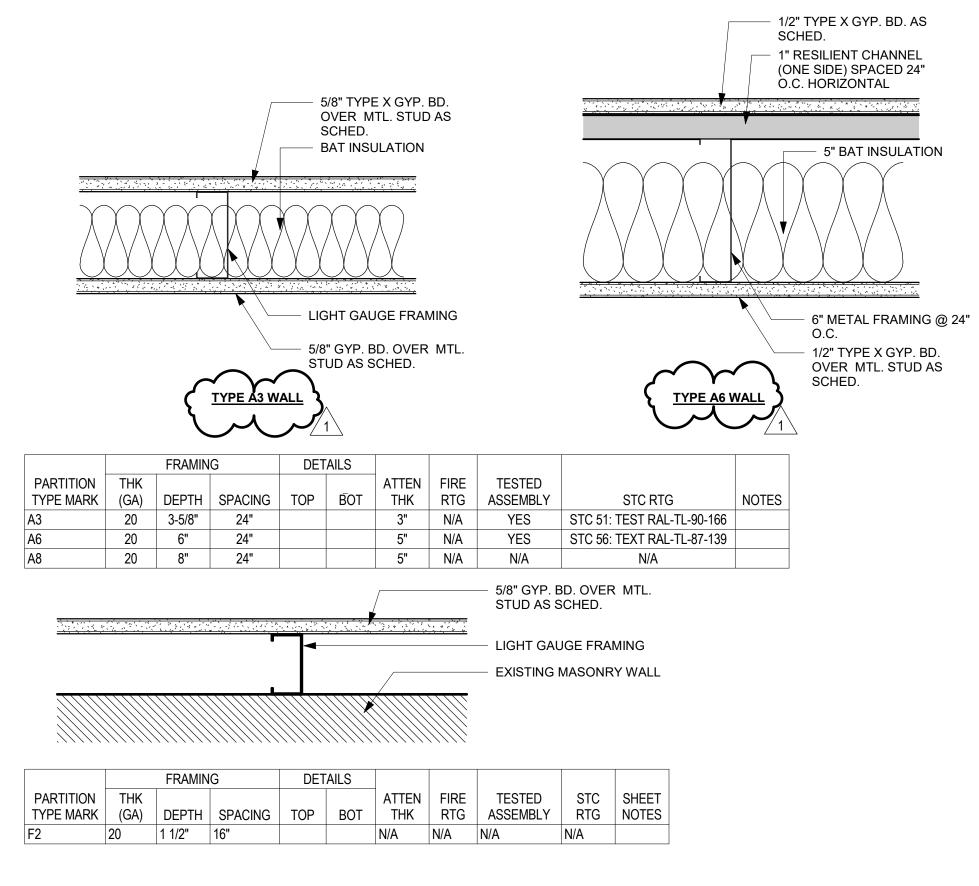






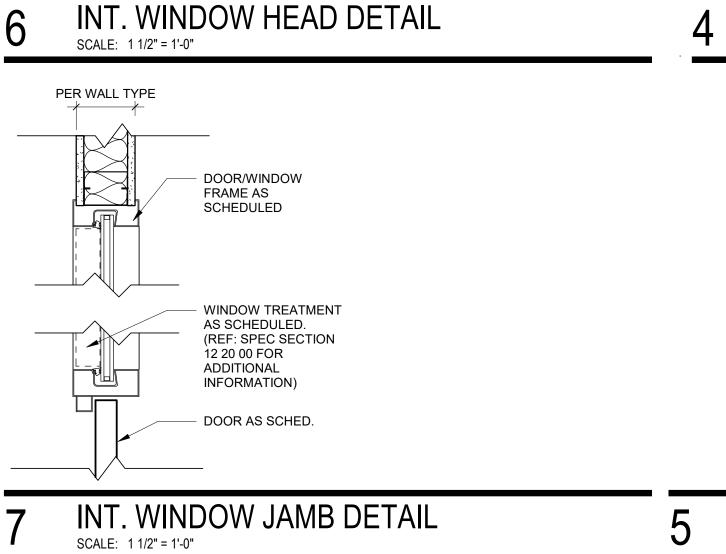
NEW FLOOR PLAN - ROOM 2003 AND BALCONY SCALE: 1/4" = 1'-0"

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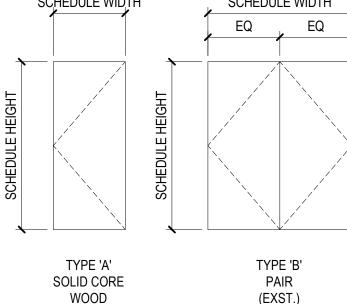
_ ROOM FINISH SCHEDULE											
			FINIS	SHES							
NO	ROOM NAME	FLOOR	BASE	WALL	CEILING	Area	Comments				
1050	WOMENS BASKETBALL	CPT-1	RB-1	PT-1	ACT-1	311 SF					
1050-B	OFFICE	CPT-1	RB-1	PT-1	ACT-1	189 SF					
1050-C	OFFICE	CPT-1	RB-1	PT-1	ACT-1	123 SF					
1050-D	OFFICE	CPT-1	RB-1	PT-1	ACT-1	114 SF					
1050-E	OFFICE	CPT-1	RB-1	PT-1	ACT-1	110 SF					
1050-F	OFFICE	CPT-1	RB-1	PT-1	ACT-1	117 SF					
1051	CONFERENCE	CPT-1	RB-1	PT-1	ACT-1	128 SF					
1062	ATHLETIC OFFICES	CPT-1	RB-1	PT-1	ACT-1	1,516 SF					



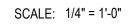


{DOOR SCHEDULE 5	

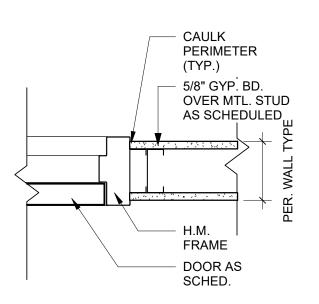
Assembly				Door		Fran			
			Din	nensions			Frame	Deta	
Number	Location	Туре	Width	Height	Material	Finish	Туре	Head	Jam
1050	CORRIDOR	EXST	4' - 0"	7' - 0"	WD	N/A	HM-1		
1050B	OFFICE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1050C	OFFICE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1050D	OFFICE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1050E	OFFICE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1050F	OFFICE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1051A	CONFERENCE	A	3' - 0"	7' - 0"	WD	PT	HM-1	4/6 A1001	5/A10
1062-A	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A	HM-2		
1062-B	ATHLETIC OFFICES	EXST.	3' - 0"	7' - 0"	HM	PT	-		
1062-C	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A	HM-2		
1063	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A	HM-2		



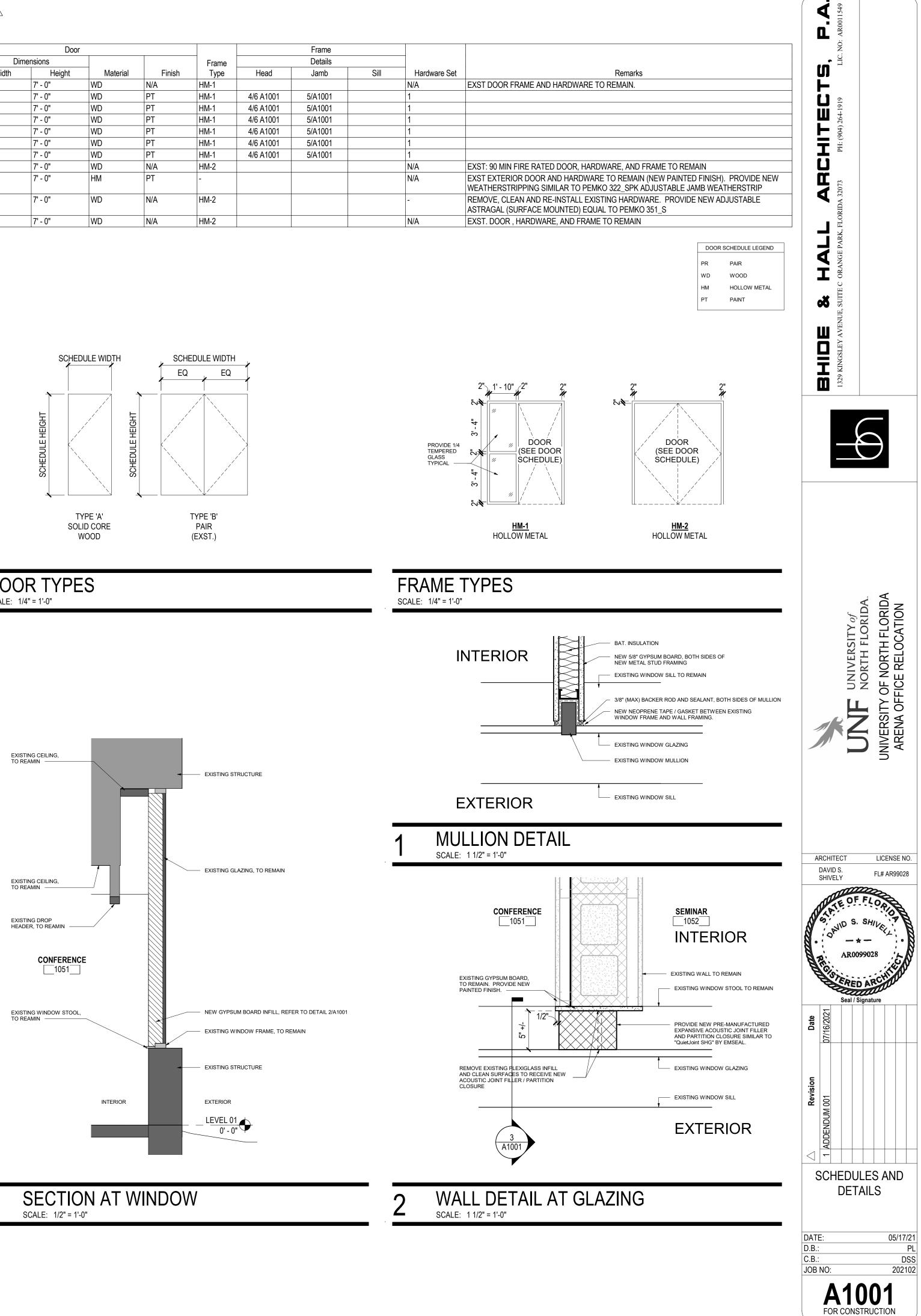
## DOOR TYPES



# INT. DOOR HEAD, TYP. SCALE: 1 1/2" = 1'-0"



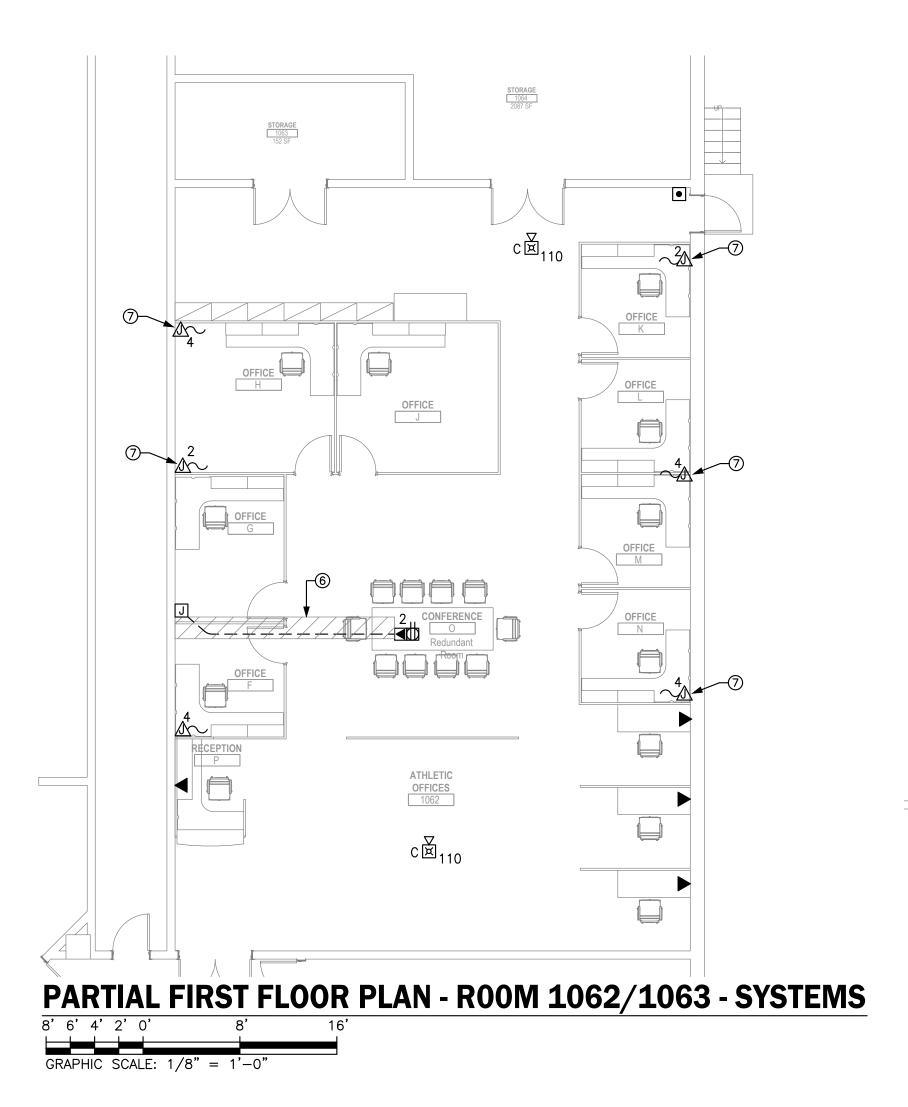
INT. DOOR JAMB , TYP. SCALE: 1 1/2" = 1'-0"

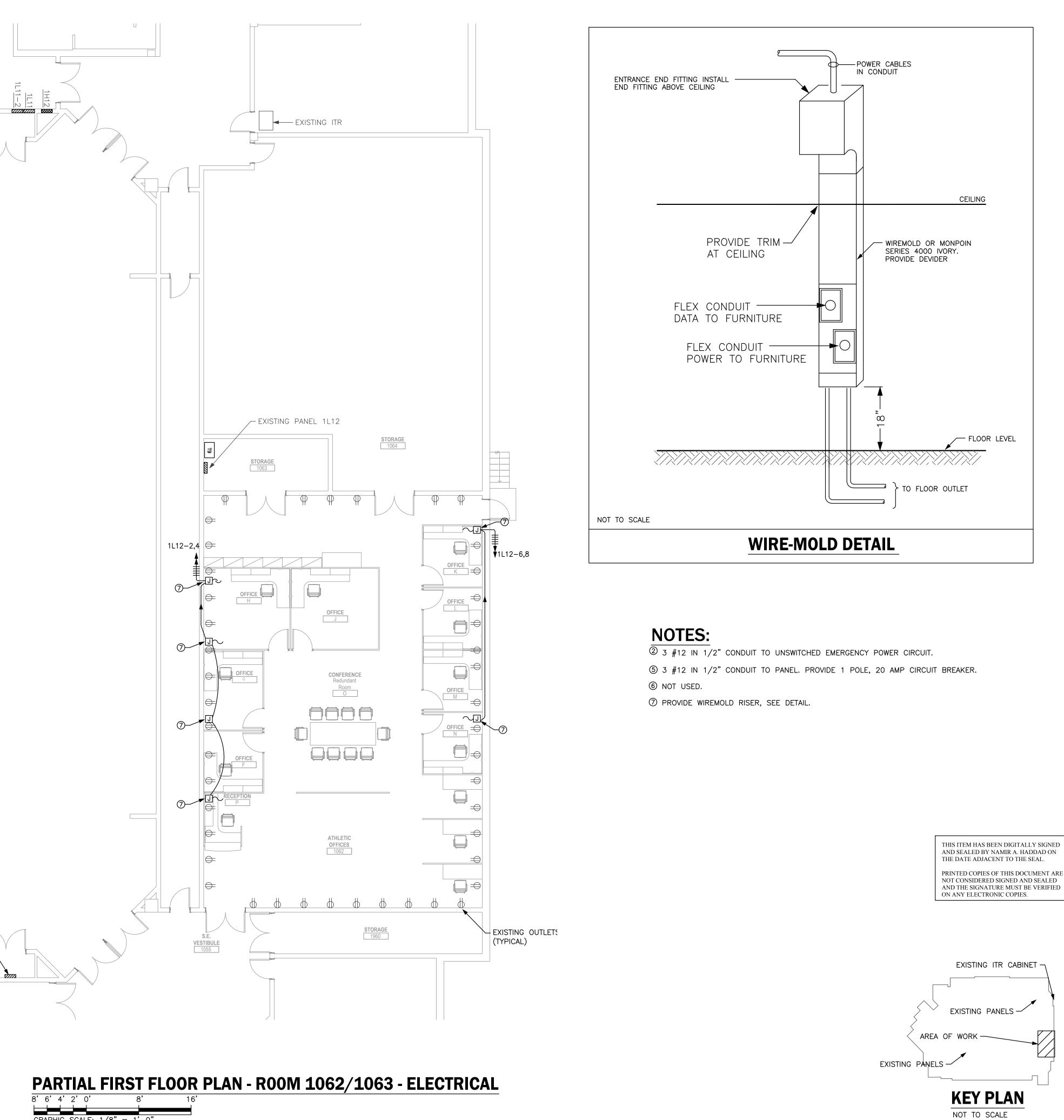




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EXISTING PANEL 1L21





GRAPHIC SCALE: 1/8" = 1'-0"

