



<u>SITE</u>

VICINITY MAP

INDEX OF DRAWINGS

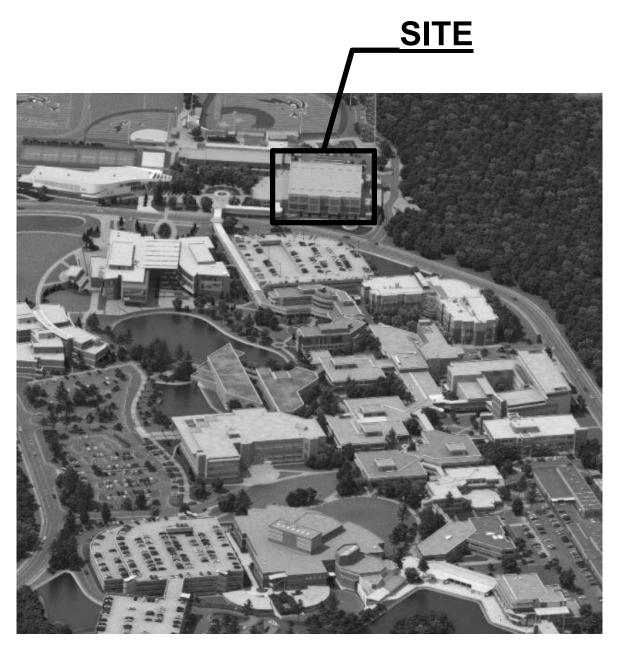
NUMBER	NAME	ISSUE DATE	REVISION	REVISION DESCRIPTION
GENERAL				1
G000	COVER SHEET	05/17/21		
LS-1	LIFE SAFETY PLAN - ROOM 1050, 1051	05/17/21		
LS-2	LIFE SAFETY PLAN - ROOM 1062	05/17/21		
ARCHITECTUR	AL			
A101	OVERALL FIRST FLOOR	05/17/21		
A102	OVERALL SECOND FLOOR	05/17/21		
A103	ROOM 1050, 1051 DEMOLITION AND NEW FLOOR PLAN	05/17/21		
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A601	CEILING PLANS - FIRST FLOOR	05/17/21		
A602	CEILING PLANS - FIRST FLOOR	05/17/21		
A1001	SCHEDULES AND DETAILS	05/17/21		
PLUMBING				
P1.0	PLUMBING FLOOR PLANS, NOTES AND LEGEND	05/17/21		
MECHANICAL				
M1.0	MECHANICAL NOTES, SCHEDULE, DETAILS, AND LEGEND	05/17/21		
M2.0	MECHANICAL FLOOR PLAN - DEMO	05/17/21		
M3.0	MECHANICAL FLOOR PLAN - NEW	05/17/21		
M4.0	MECHANICAL CONTROLS	05/17/21		
ELECTRICAL				1
E1.0	ELECTRICAL NOTES AND LEGEND	05/17/21		
E2.1	EXISTING FLOOR PLANS ELECTRICAL	05/17/21		
E2.2	EXISTING FLOOR PLANS ELECTRICAL	05/17/21		
E3.1	ELECTRICAL PARTIAL FLOOR PLANS	05/17/21		
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E5.1	ELECTRICAL PANEL SCHEDULES	05/17/21		
FIRE PROTECT	ION	I		
FP1.0	FIRE PROTECTION, DEMO FLOOR PLAN, NOTES AND DETAILS	05/17/21		
FP2.0	FIRE PROTECTION NEW FLOOR PLAN	05/17/21		

UNF ARENA OFFICE RELOCATION

11852 UNIVERSITY OF NORTH FLORIDA DRIVE JACKSONVILLE, FLORIDA 32224

PROJECT SCOPE:

THE UNF ARENA OFFICE RELOCATION PROJECT IS A MULTI-PHASE PROJECT THAT INVOLVES THE RELOCATION OF THE WOMEN'S BASKETBALL COACHING STAFF, OFFICE STYLE CUBICLES/SYSTEMS FURNITURE, AND ASSOCIATED CONFERENCE SPACE AS WELL AS THE DEVELOPMENT OF A NEW EVENT/MULTIPURPOSE SPACE THAT WILL SERVE AS A DONOR ROOM OR VIP SUITE DURING ARENA FUNCTIONS. THE INITIAL PROJECT WILL INVLOVE THE RELOCATION OF THE SYSTEMS FURNITURE TO ROOM 1062. ROOM 1062 WILL BE REMODELED INTO A LARGE OPEN OFFICE AREA. FOLLOWING THE RELOCATION OF THE SYSTEMS FURNITURE, OFFICES 1050 AND 1051 WILL BE RENOVATED INTO AN OFFICE SUITE FOR THE WOMENS COACHING STAFF. A WALL WILL BE CONSTRUCTED BETWEEN ROOM 2004 AND 2005 TO SEPARATE THE FUTURE DONOR ROOM/VIP SUITE FROM THE EXISTING AV CONTROL ROOM. THE DONOR ROOM WHICH IS TO ENCOMPASS ROOM 2004 AND 2003, WILL BE ADDRESSED IN A SEPARATE CONTRACT NOT INCLUDED IN THIS INITIAL SCOPE.



LOCATION MAP

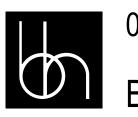
PROJECT CONTACTS:

ARCHITECT BHIDE & HALL ARCHITECTS, P.A. 1329-C KINGSLEY AVE. ORANGE PARK, FL 32073 Phone: (904) 264-1919 LIC. # AR0011549

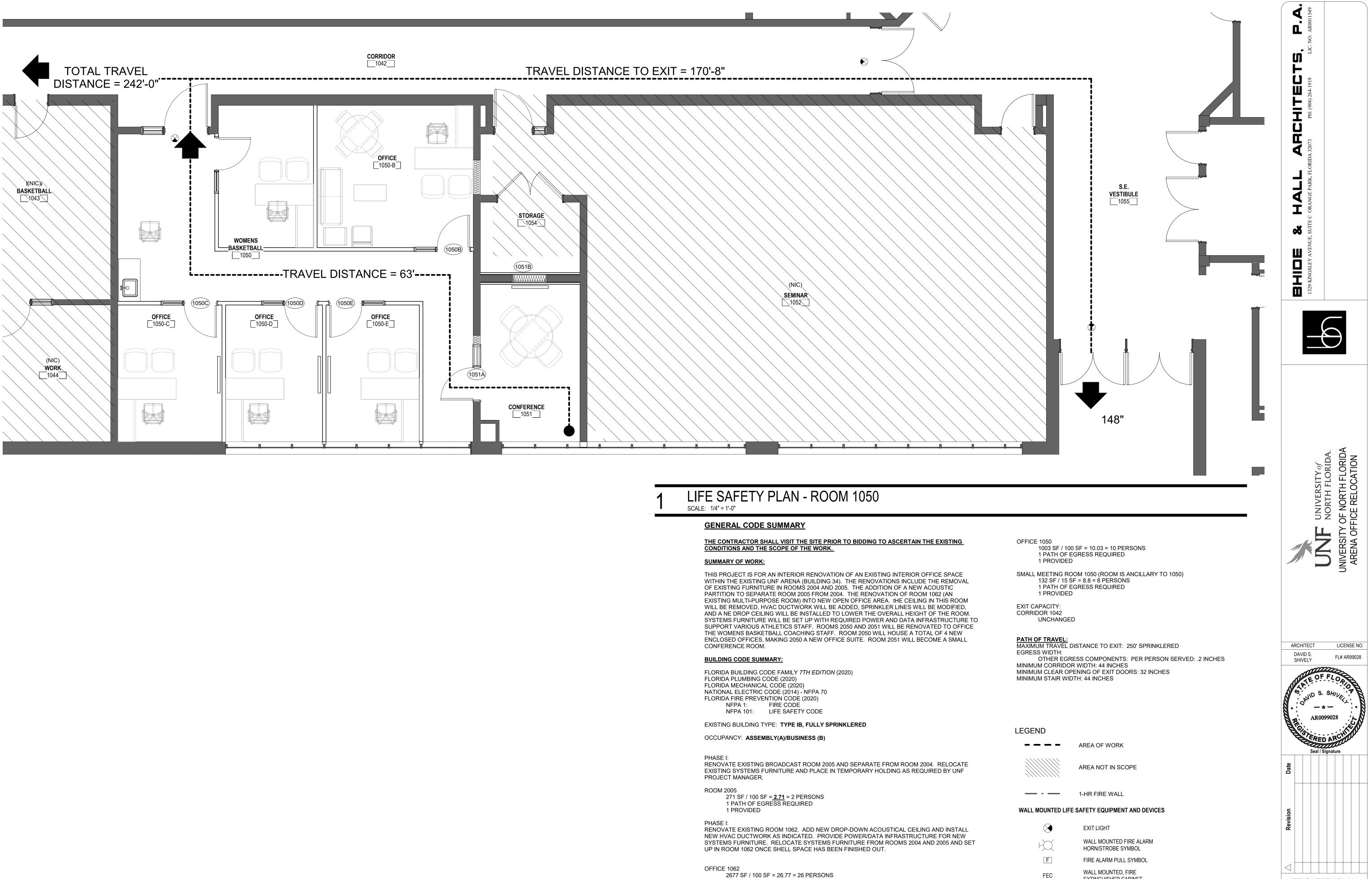
ELECTRICAL & PLUMBING ENGINEER HADDAD ENGINEERING, INC. 3030 HARTLEY ROAD, SUITE 290 JACKSONVILLE, FL 32257 Phone: (904) 262-5066 CERT. OF AUTHORIZATION NO. 4000



FOR CONSTRUCTION



05/17/2021 BHA # 202102





2677 SF / 100 SF = 26.77 = 26 PERSONS 1 PATH OF EGRESS REQUIRED

2 PROVIDED

PHASE II:

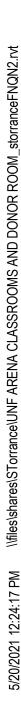
RENOVATE EXISTING ROOM 1050. REMOVE ALL EXISTING SYSTEMS FUNRITURE AND RELOCATE TO ROOM 1062. CONSTRUCT NEW PARTITIONS AS INDICATED TO CREATE NEW OFFICE SUITE TO HOUSE WOMENS BASKETBALL COACHING STAFF.

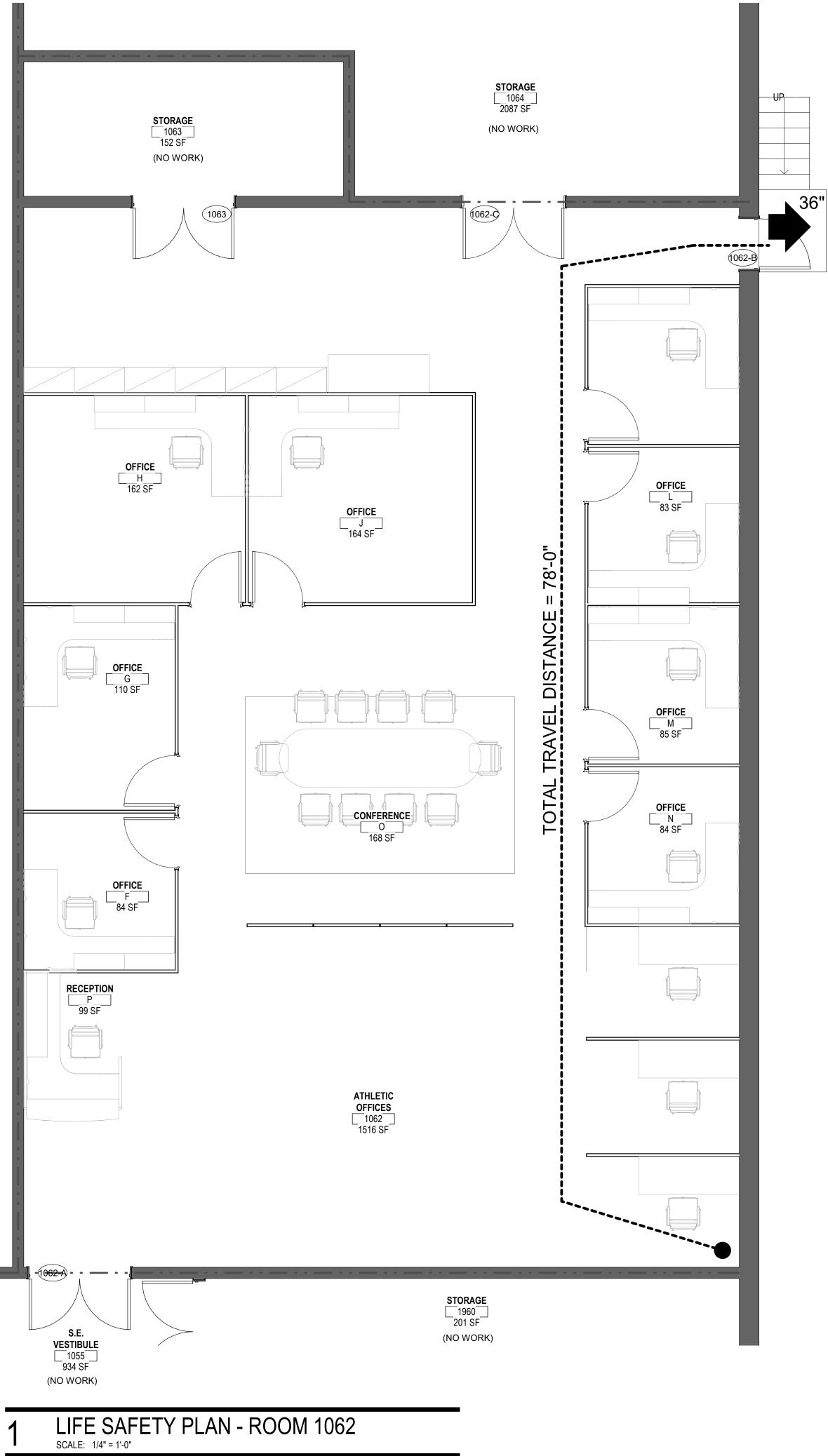
EXTINGUISHER CABINET



LIFE SAFETY PLAN -

ROOM 1050, 1051





GENERAL CODE SUMMARY

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO CONDITIONS AND THE SCOPE OF THE WORK.

SUMMARY OF WORK:

THIS PROJECT IS FOR AN INTERIOR RENOVATION OF AN EXISTING INTERIOR OFFICE SPACE WITHIN THE EXISTING UNF ARENA (BUILDING 34). THE RENOVATIONS INCLUDE THE REMOVAL OF EXISTING FURNITURE IN ROOMS 2004 AND 2005. THE ADDITION OF A NEW ACOUSTIC PARTITION TO SEPARATE ROOM 2005 FROM 2004. THE RENOVATION OF ROOM 1062 (AN EXISTING MULTI-PURPOSE ROOM) INTO NEW OPEN OFFICE AREA. THE CEILING IN THIS ROOM WILL BE REMOVED, HVAC DUCTWORK WILL BE ADDED, SPRINKLER LINES WILL BE MODIFIED, AND A NE DROP CEILING WILL BE INSTALLED TO LOWER THE OVERALL HEIGHT OF THE ROOM. SYSTEMS FURNITURE WILL BE SET UP WITH REQUIRED POWER AND DATA INFRASTRUCTURE TO SUPPORT VARIOUS ATHLETICS STAFF. ROOMS 2050 AND 2051 WILL BE RENOVATED TO OFFICE THE WOMENS BASKETBALL COACHING STAFF. ROOM 2050 WILL HOUSE A TOTAL OF 4 NEW ENCLOSED OFFICES, MAKING 2050 A NEW OFFICE SUITE. ROOM 2051 WILL BECOME A SMALL CONFERENCE ROOM.

BUILDING CODE SUMMARY:

FLORIDA BUILDING CODE FAMILY 7TH EDITION (2020)

- FLORIDA PLUMBING CODE (2020)
- FLORIDA MECHANICAL CODE (2020) NATIONAL ELECTRIC CODE (2014) - NFPA 70
- FLORIDA FIRE PREVENTION CODE (2020)

OCCUPANCY: ASSEMBLY(A)/BUSINESS (B)

- NFPA 1: FIRE CODE
- NFPA 101: LIFE SAFETY CODE

EXISTING BUILDING TYPE: TYPE IB, FULLY SPRINKLERED

PHASE I:

RENOVATE EXISTING BROADCAST ROOM 2005 AND SEPARATE FROM ROOM 2004. RELOCATE EXISTING SYSTEMS FURNITURE AND PLACE IN TEMPORARY HOLDING AS REQUIRED BY UNF PROJECT MANAGER.

ROOM 2005

271 SF / 100 SF = <u>2.71</u> = 2 PERSONS 1 PATH OF EGRESS REQUIRED 1 PROVIDED

PHASE I: RENOVATE EXISTING ROOM 1062. ADD NEW DROP-DOWN ACOUSTICAL CEILING AND INSTALL NEW HVAC DUCTWORK AS INDICATED. PROVIDE POWER/DATA INFRASTRUCTURE FOR NEW SYSTEMS FURNITURE. RELOCATE SYSTEMS FURNITURE FROM ROOMS 2004 AND 2005 AND SET UP IN ROOM 1062 ONCE SHELL SPACE HAS BEEN FINISHED OUT.

OFFICE 1062

2677 SF / 100 SF = 26.77 = 26 PERSONS 1 PATH OF EGRESS REQUIRED 2 PROVIDED

PHASE II:

RENOVATE EXISTING ROOM 1050. REMOVE ALL EXISTING SYSTEMS FUNRITURE AND RELOCATE TO ROOM 1062. CONSTRUCT NEW PARTITIONS AS INDICATED TO CREATE NEW OFFICE SUITE TO HOUSE WOMENS BASKETBALL COACHING STAFF.

	O ASCERTAIN THE EXISTING	
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OFFICE 1050 1003 SF / 100 SF = 10.03 = 10 PERSONS 1 PATH OF EGRESS REQUIRED 1 PROVIDED

SMALL MEETING ROOM 1050 (ROOM IS ANCILLARY TO 1050) 132 SF / 15 SF = 8.8 = 8 PERSONS 1 PATH OF EGRESS REQUIRED 1 PROVIDED

EXIT CAPACITY: CORRIDOR 1042 UNCHANGED

PATH OF TRAVEL: MAXIMUM TRAVEL DISTANCE TO EXIT: 250' SPRINKLERED EGRESS WIDTH: OTHER EGRESS COMPONENTS: PER PERSON SERVED: .2 INCHES MINIMUM CORRIDOR WIDTH: 44 INCHES MINIMUM CLEAR OPENING OF EXIT DOORS: 32 INCHES MINIMUM STAIR WIDTH: 44 INCHES

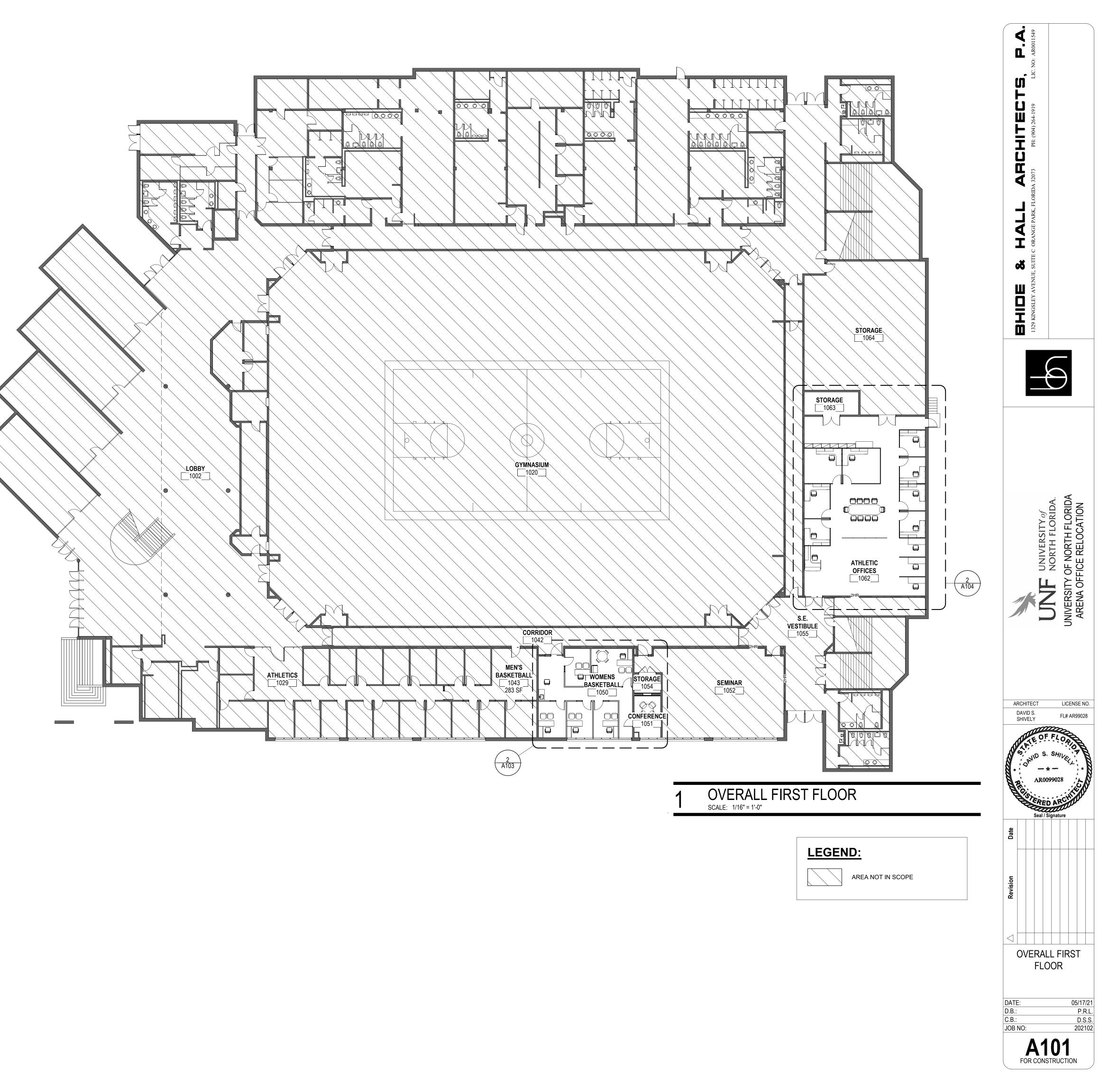
LEGEND	
	AREA OF WORK
	AREA NOT IN SCOPE
<u> </u>	1-HR FIRE WALL

WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES

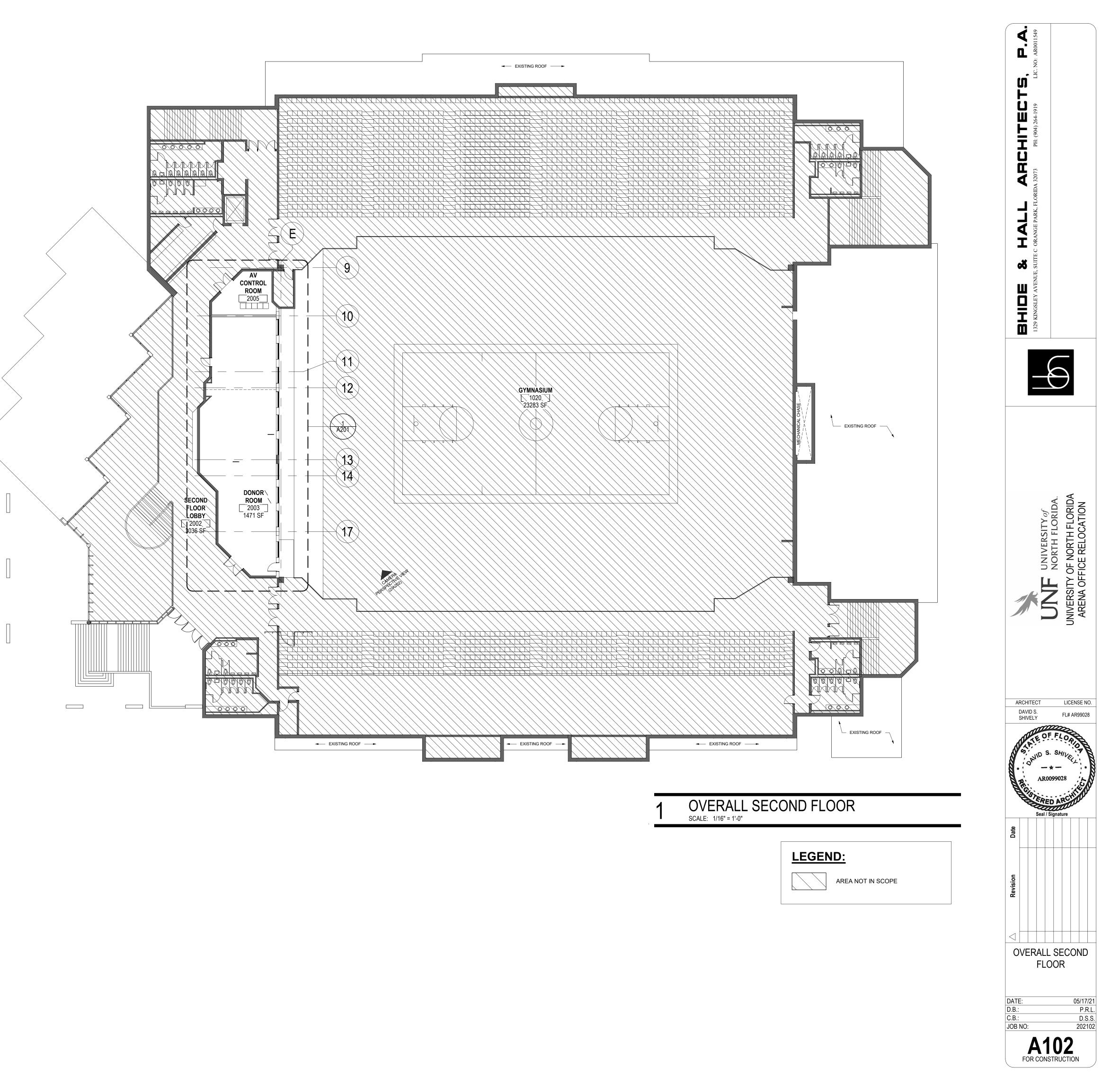
\bigotimes	EXIT LIGHT
HX	WALL MOUNTED FIRE ALARM HORN/STROBE SYMBOL
F	FIRE ALARM PULL SYMBOL
FEC	WALL MOUNTED, FIRE EXTINGUISHER CABINET

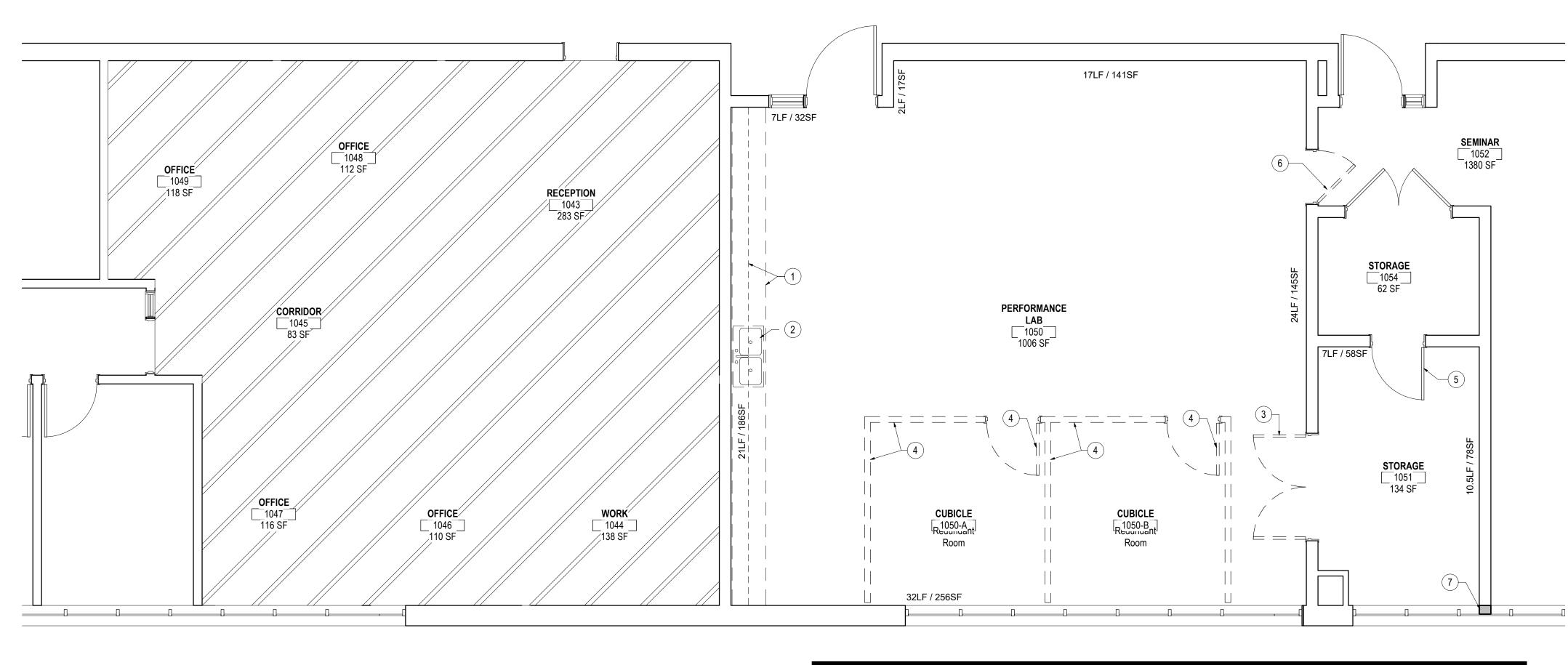


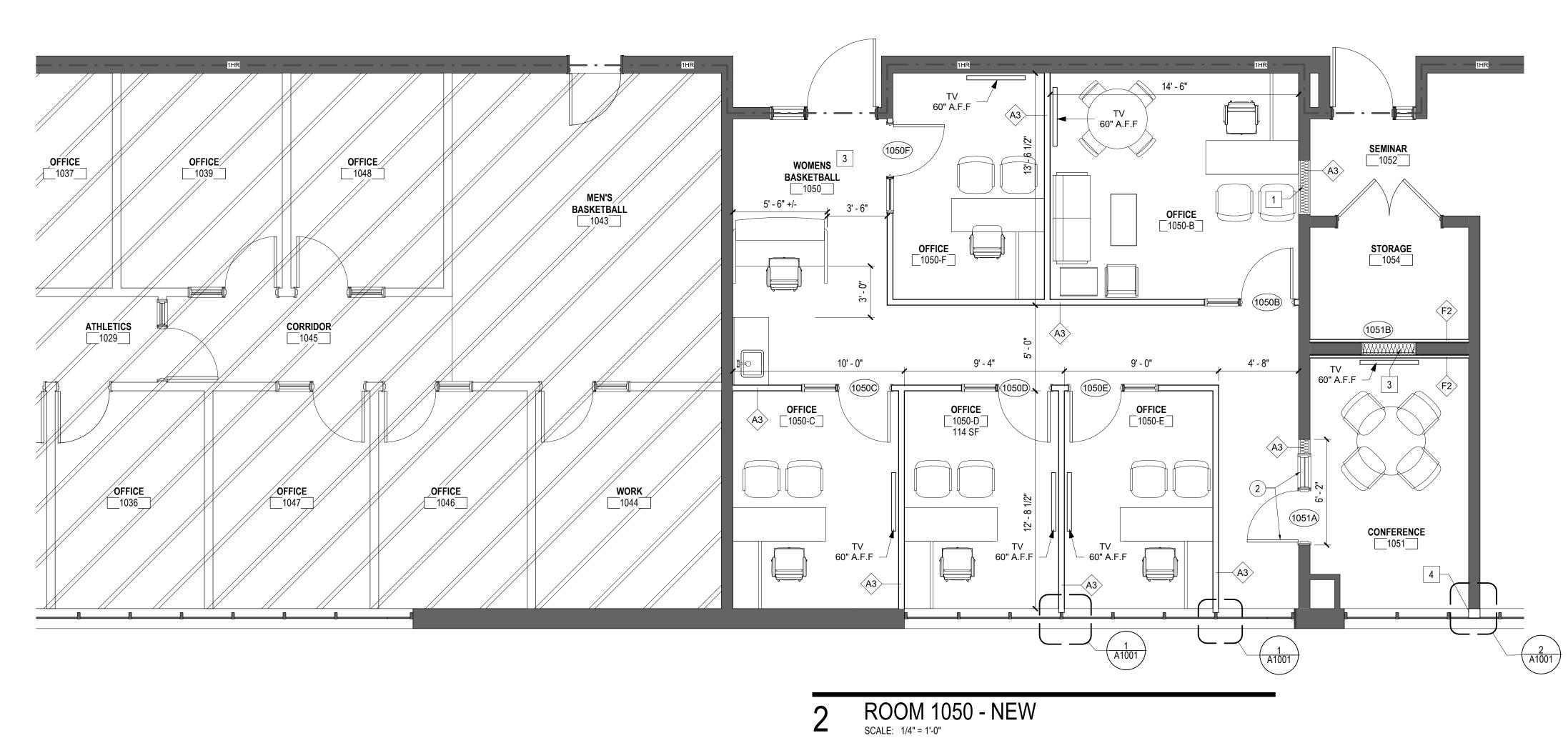
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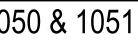






EXISTING / DEMOLITION FLOOR PLAN - ROOM 1050 & 1051 SCALE: 1/4" = 1'-0"

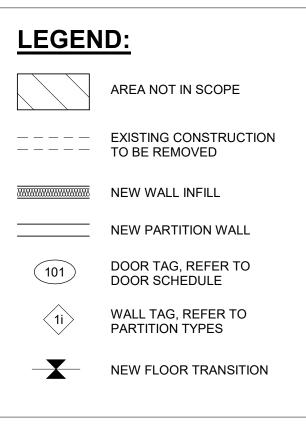




DEMOLITION KEY NOTES

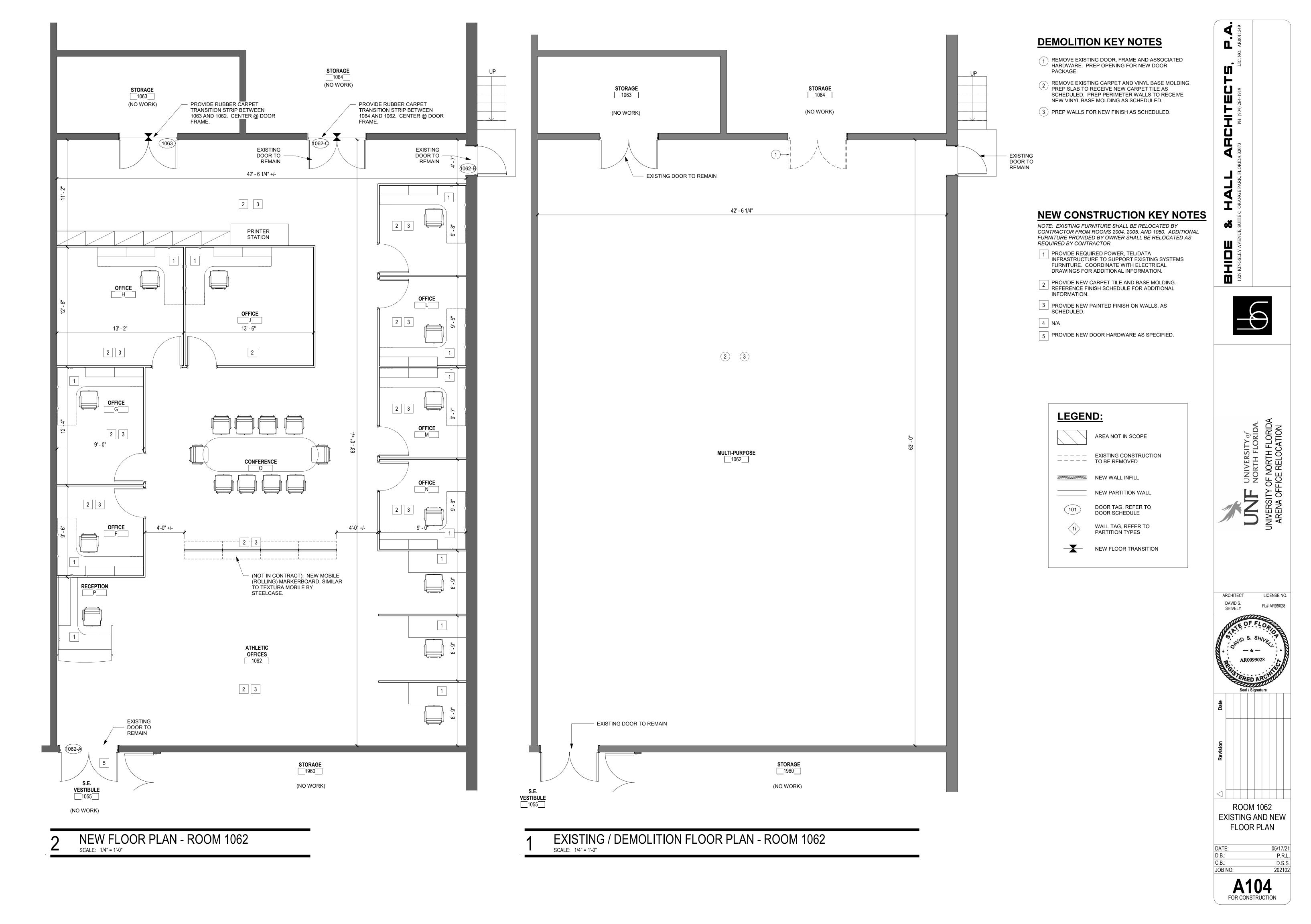
- 1 REMOVE EXISTING BASE AND WALL CABINETS WITH COUNTERTOP. PREP WALL FOR NEW FINISHES.
- 2 REMOVE EXISTING SINK AND REMOVE PLUMBING SUPPLY LINES TO NEAREST VALVE LOCATION. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFOMATION.
- 3 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP OPENING FOR NEW DOOR PACKAGE.
- 4 REMOVE EXISTING CUBICLE SYSTEMS FURNITURE. RELOCATE SYSTEM TO ROOM 1062 OR AS DIRECTED BY UNF FACILITIES REPRESENTATIVE.
- 5 EXISTING DOOR AND FRAME TO REMAIN, DOOR TO BE CLOSED (NOT LOCKED), AND LEFT IN PLACE.
- 6 REMOVE EXISTING DOOR AND FRAME. PREP WALL FOR NEW METAL STUD INFILL.
- 7 REMOVE EXISTING PLEXI-GLASS INFILL PANEL @ EXTERIOR WINDOW. PREP AREA TO REVEICE FRAMED INFILL (METAL STUD TRACK AND DRYWALL).

	L.A.			
	LIC. NO: AR0011549			
	PH: (904) 264-1919			
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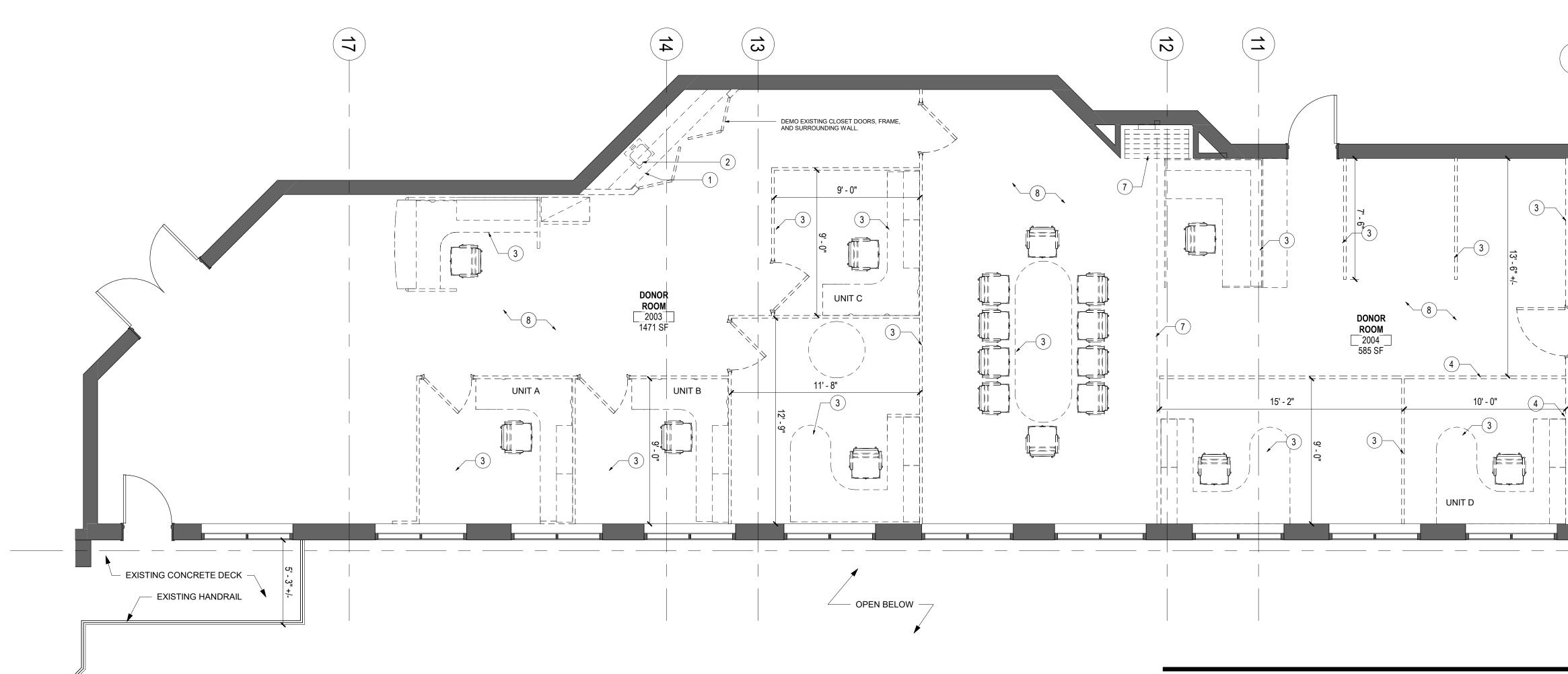


CONSTRUCTION KEY NOTES

- 1 PROVIDE METAL FRAME WALL INFILL
- 2 PROVIDE NEW 3'x7' DOOR WITH SIDE LITE
- 3 INSTALL FURNITURE PROVIDED BY OWNER
- 4 PROVIDE NEW METAL STUD AND GYP. BD. INFILL BETWEEN EXISTING MASONRY WALL AND WINDOW.

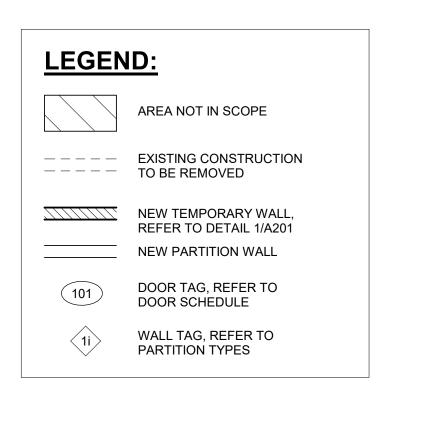


0/2021 12:23:38 PM /\files\shares\STorrance\UNF ARENA CLASSROOMS AND DONOR ROOM_storranceFNQN2.



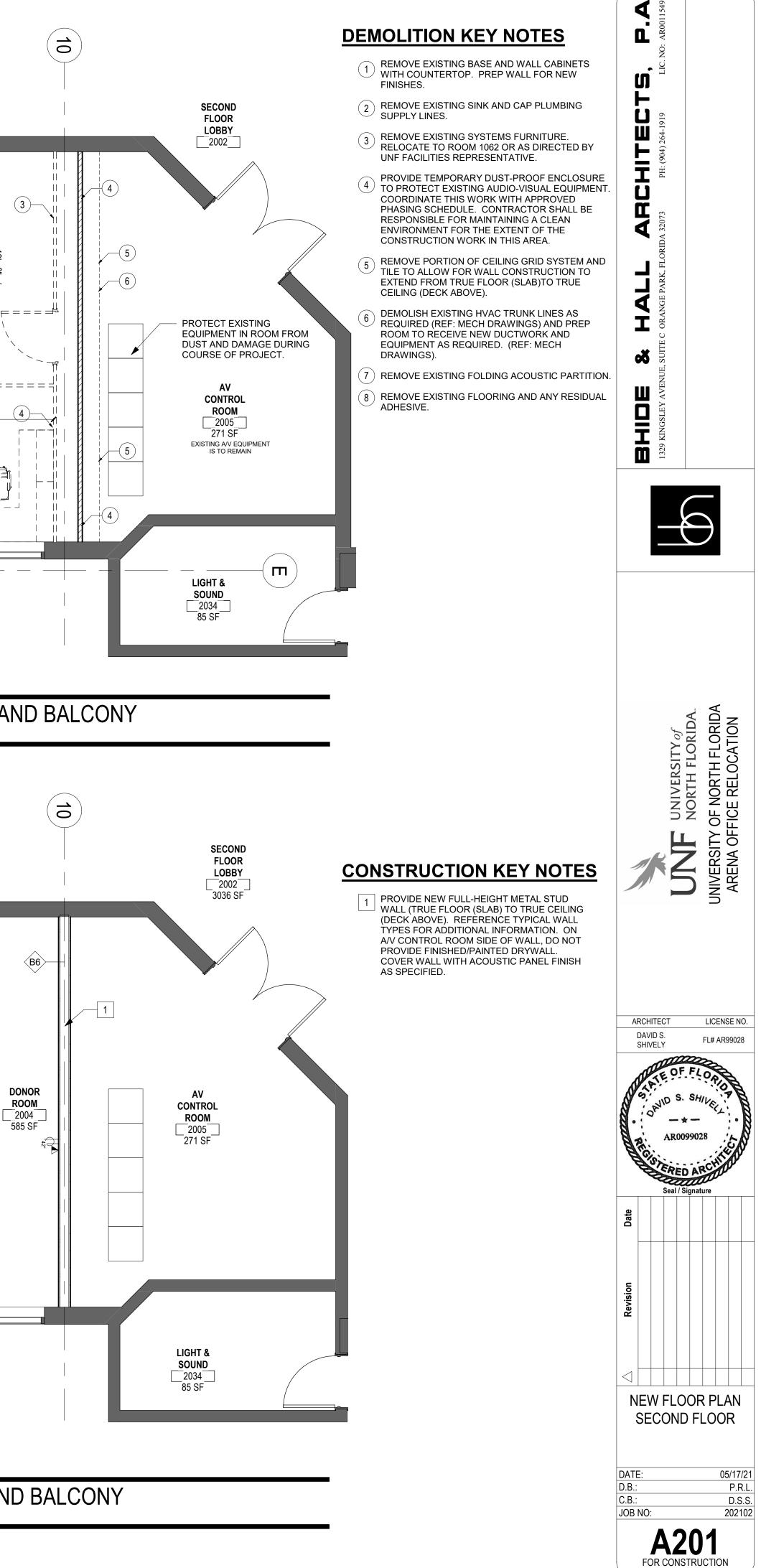


1 DEMO FLOOR PLAN - ROOM 2003 AND BALCONY SCALE: 1/4" = 1'-0"

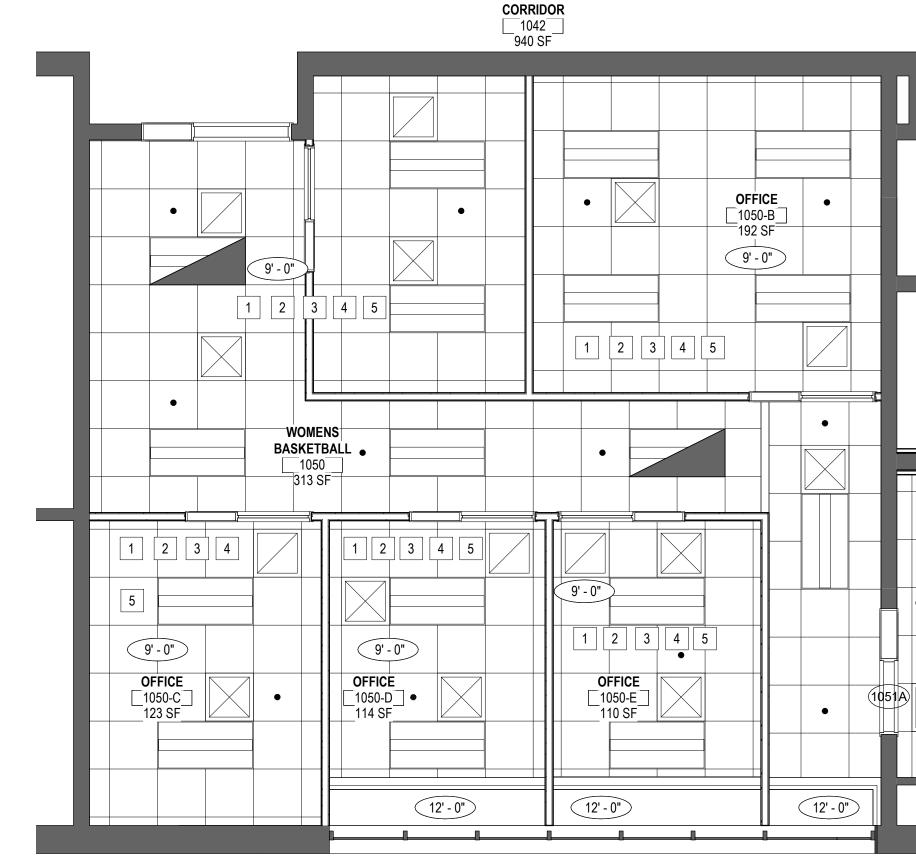


NEW FLOOR PLAN - ROOM 2003 AND BALCONY SCALE: 1/4" = 1'-0"

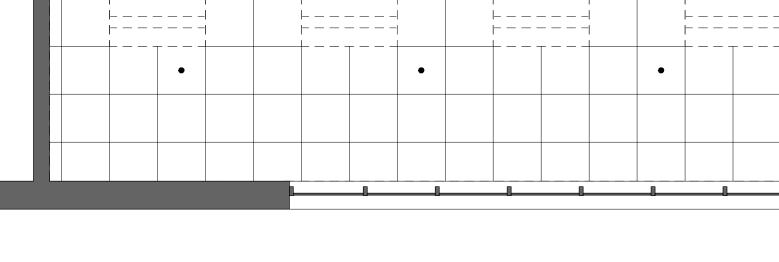
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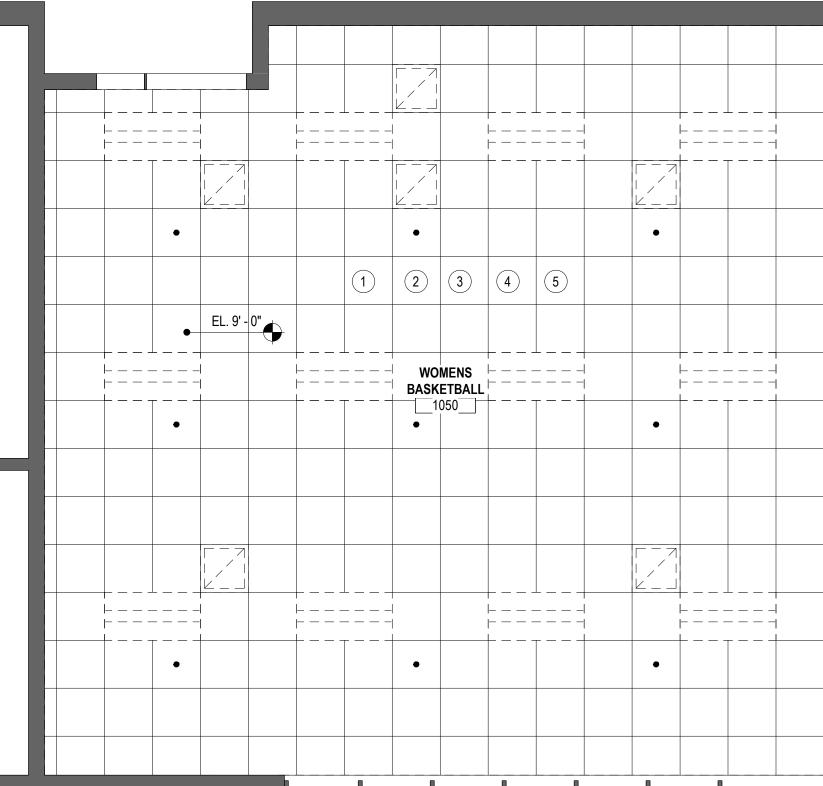








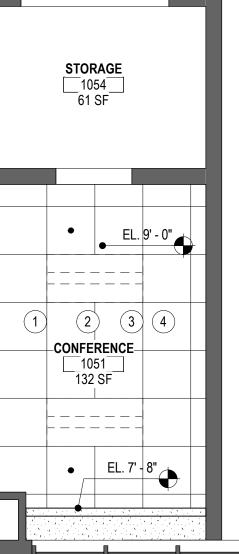


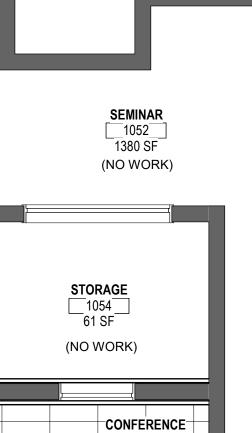


CORRIDOR1042
940 SF

(NO WORK)

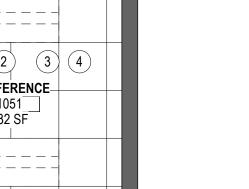
SEMINAR 1052 1380 SF





1051 132 SF

9' - 0"



DEMOLITION KEY NOTES

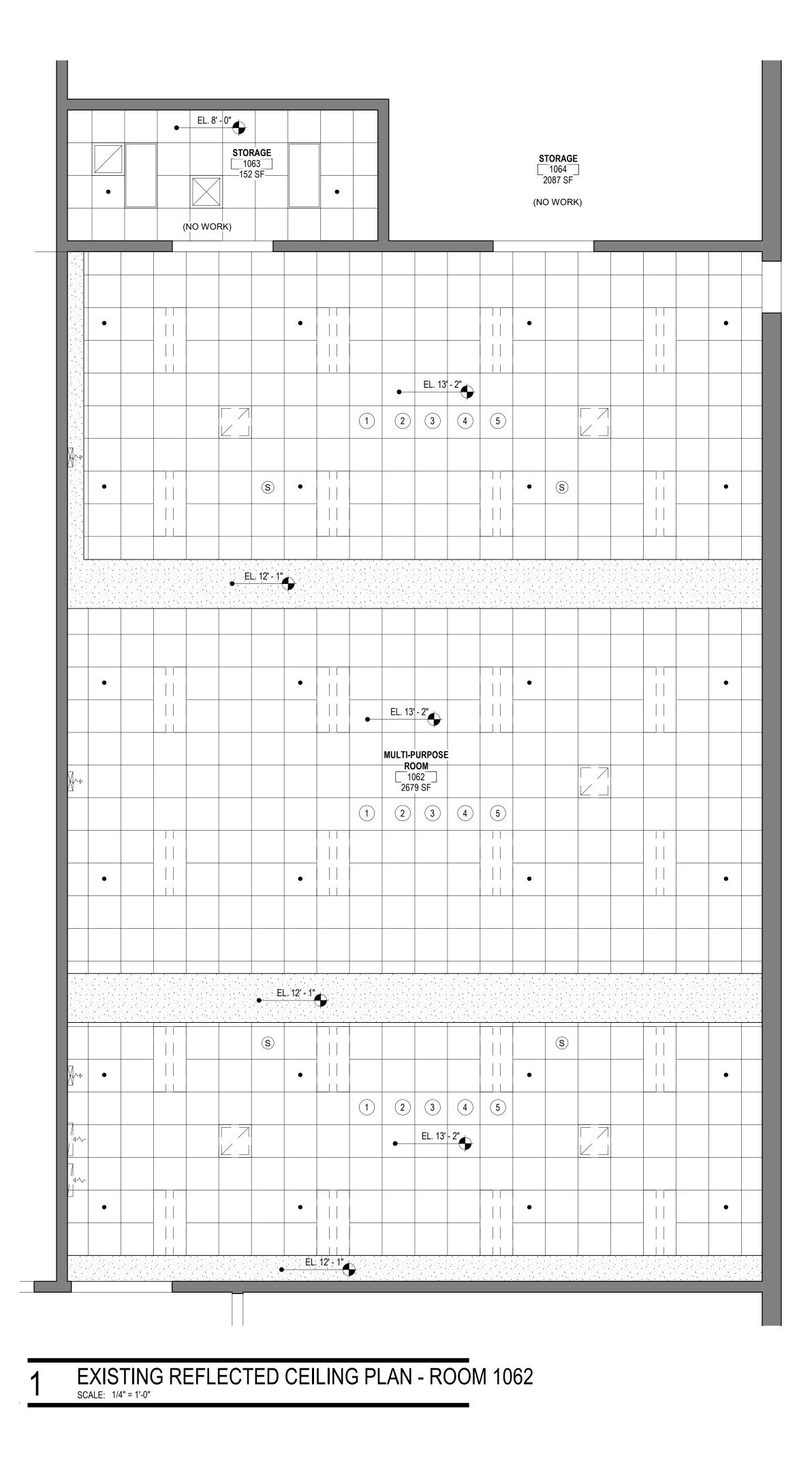
- 1 REMOVE / REPLACE EXISTING LIGHT FIXTURE. NEW FIXTURE TYPE A-2 (2X4 LED TROFFER)
- (2) REMOVE EXISTING HVAC DIFFUSER.
- (3) REMOVE EXISTING CEILING TILES AND GRID.
- 4 RELOCATE EXISTING FIRE SPRINKLER AS REQUIRED TO ACCOMODATE NEW LIGHTING LAYOUT. REFER TO FIRE PROTECTION DRAWINGS FOR MORE INFOMATION.
- 5 REMOVE AND STORE EXITING CEILING MOUNTED EQUIPTMENT AND PROTECT FOR REINSTALLATION AT COMPLETIONAL PROJECT.

NEW CONSTRUCTION KEY NOTES

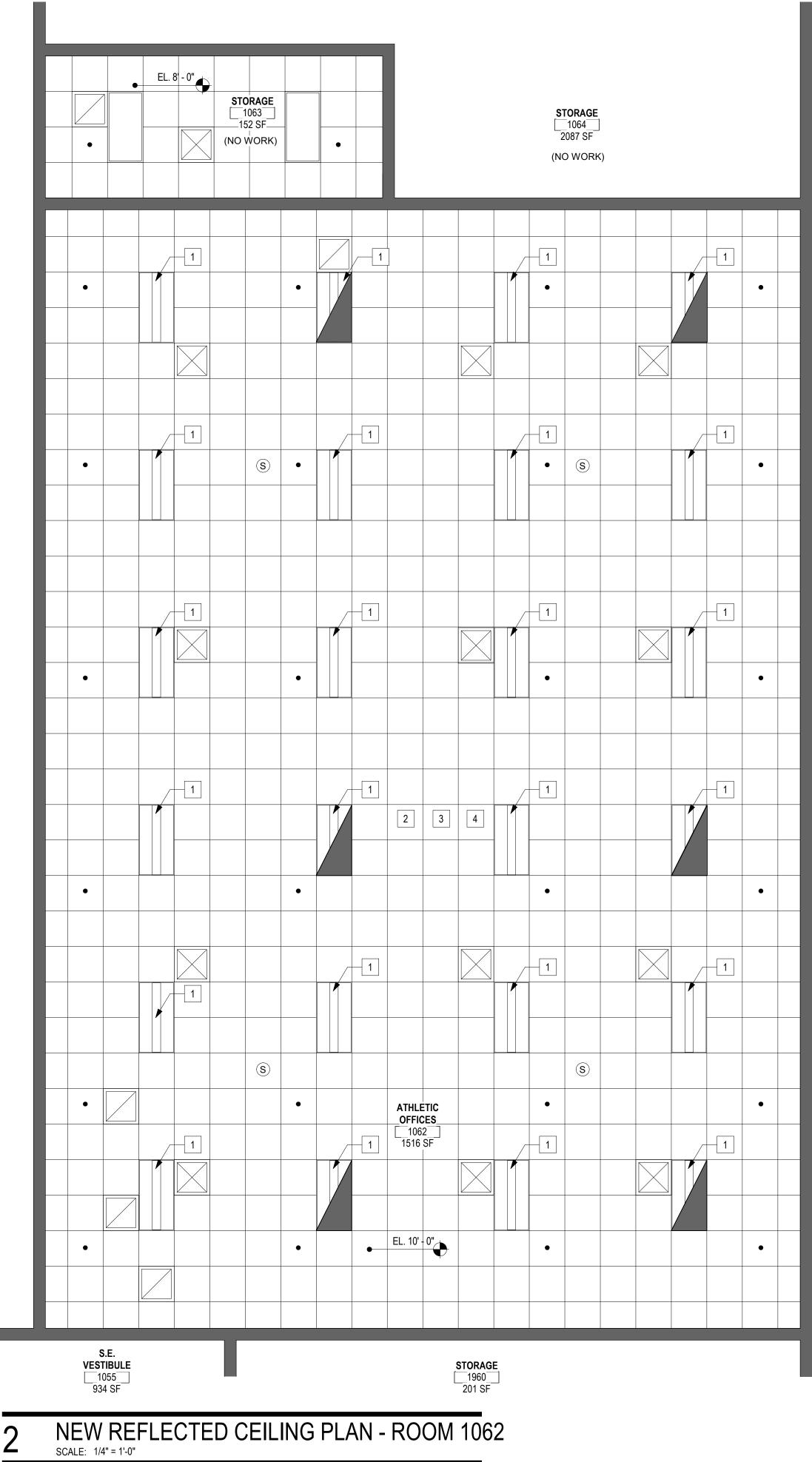
- 1 PROVIDE NEW LED LIGHT FIXTURES THROUGHOUT. TYPICAL FIXTURE: TYPE A-2 (2X4 LED TROFFER)
- 2 PROVIDE NEW 2X2 CEILING TILE AND GRID SYSTEM AS SPECIFIED.
- 3 RE-INSTALL EXISTING CEILING MOUNTED EQUIPMENT.
- 4 RE-INSTALL EXISTING FIRE SPRINKLER HEADS AND RE-LOACTE IN CEILING SYSTEM AS REQUIRED TO MAINTAIN COVERAGE.
- 5 REINSTALL EXISTING CEILING MOUNTED EQUIPMENT.

LEGENDS:						
	EXISTING CONSTRUCTION TO BE REMOVED					
	2' x 2' SUSP. ACOUSTICAL. CEILING					
	GYPSUM BOARD SOFFIT OR CEILING					
	2' x 4' LIGHT FIXTURE					
	2' x 4' EMERGENCY LIGHT FIXTURE					
	HVAC RETURN					
	HVAC SUPPY					
•	FIRE SPRINKLER HEAD					
S	CEILING MOUNTED SPEAKER					









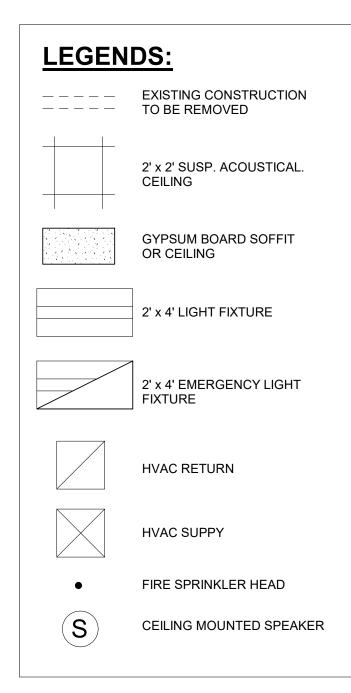
DEMOLITION KEY NOTES

(1) REMOVE EXISTING LIGHT FIXTURES.

- (2) REMOVE EXISTING HVAC DIFFUSERS.
- (3) REMOVE EXISTING CEILING TILES AND GRID.
- 4 RELOCATE EXISTING FIRE SPRINKLER HEADS AS REQUIRED TO ACCOMODATE NEW LIGHTING LAYOUT.
- 5 REMOVE AND STORE EXITING CEILING MOUNTED EQUIPTMENT AND PROTECT FOR REINSTALLATION AT COMPLETIONAL PROJECT.

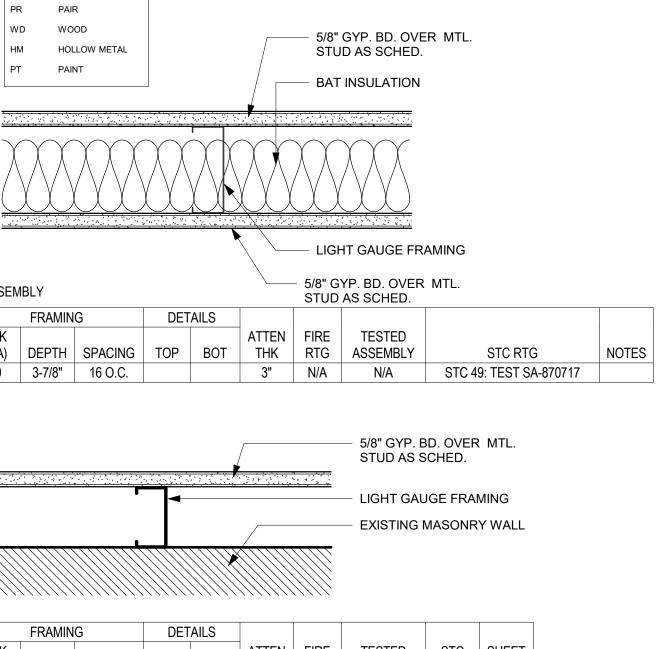
NEW CONSTRUCTION KEY NOTES

- 1 PROVIDE NEW LED LIGHT FIXTURES THROUGHOUT. TYPICAL FIXTURE: TYPE A-2 (2X4 LED TROFFER)
- 2 PROVIDE NEW 2'X2' CEILING TILE AND GRID SYSTEM AS SPECIFIED.
- 3 RE-INSTALL EXISTING CEILING MOUNTED EQUIPMENT.
- 4 RE-INSTALL EXISTING FIRE SPRINKLER HEADS AND RE-LOACTE IN CEILING SYSTEM AS REQUIRED TO MAINTAIN COVERAGE.



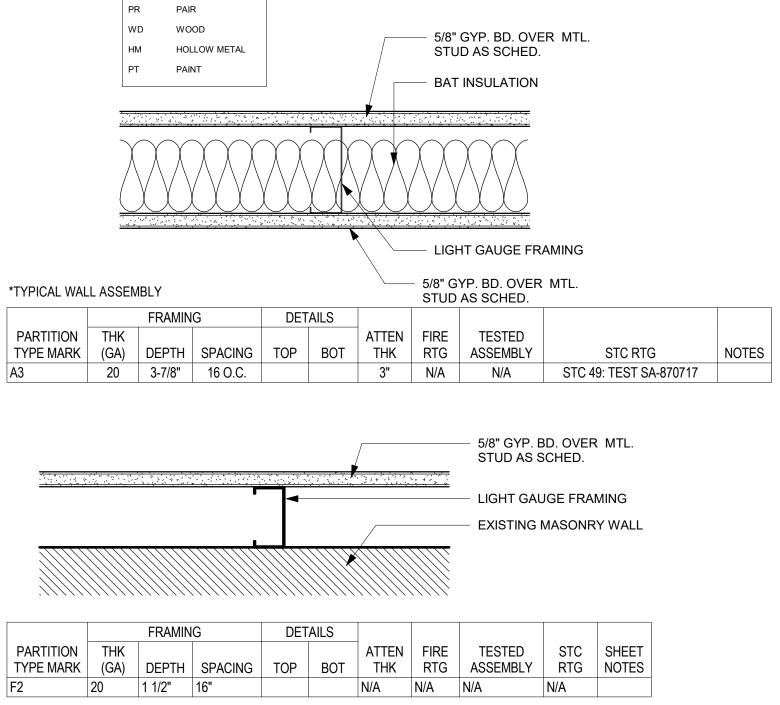






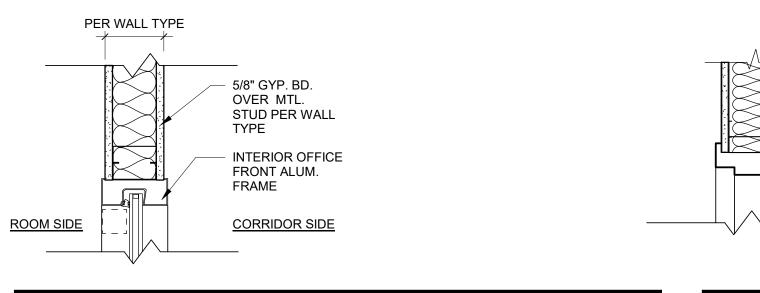
*TYPICAL WALL ASSEMBLY

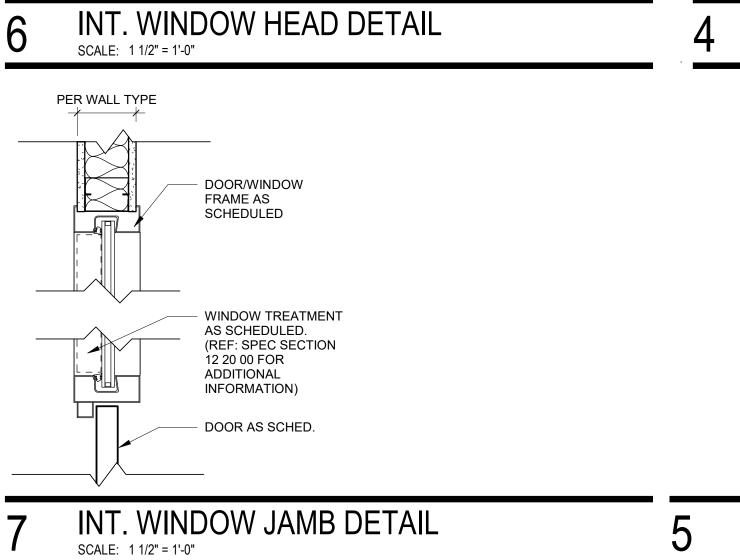
		DET			
PARTITION	THK				Γ
TYPE MARK	(GA)	DEPTH	SPACING	TOP	
A3	20	3-7/8"	16 O.C.		



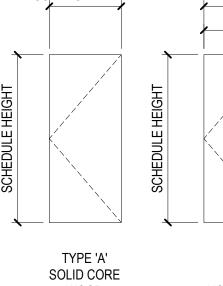
ROOM FINISH SCHEDULE

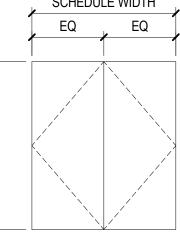
		FINISHES				
NO	ROOM NAME	FLOOR	BASE	WALL	CEILING	
1050	WOMENS BASKETBALL	CPT-1	RB-1	PT-1	ACT-1	
1050-B	OFFICE	CPT-1	RB-1	PT-1	ACT-1	
1050-C	OFFICE	CPT-1	RB-1	PT-1	ACT-1	
1050-D	OFFICE	CPT-1	RB-1	PT-1	ACT-1	
1050-E	OFFICE	CPT-1	RB-1	PT-1	ACT-1	
1050-F	OFFICE	CPT-1	RB-1	PT-1	ACT-1	
1051	CONFERENCE	CPT-1	RB-1	PT-1	ACT-1	
1062	ATHLETIC OFFICES	CPT-1	RB-1	PT-1	ACT-1	

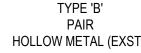




Assembly		Door				
			Dimensions			
Number	Location	Туре	Width	Height	Material	Finish
1050	CORRIDOR	EXST	4' - 0"	7' - 0"	WD	N/A
1050B	OFFICE	A	3' - 0"	7' - 0"	WD	PT
1050C	OFFICE	Α	3' - 0"	7' - 0"	WD	PT
1050D	OFFICE	A	3' - 0"	7' - 0"	WD	PT
1050E	OFFICE	A	3' - 0"	7' - 0"	WD	PT
1050F	OFFICE	Α	3' - 0"	7' - 0"	WD	PT
1051A	CONFERENCE	Α	3' - 0"	7' - 0"	WD	PT
1062-A	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A
1062-B	ATHLETIC OFFICES	EXST.	3' - 0"	7' - 0"	НМ	PT
1062-C	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A
1063	ATHLETIC OFFICES	EXST.	6' - 0"	7' - 0"	WD	N/A

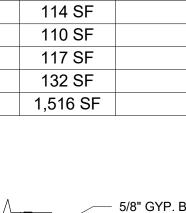






DOOR TYPES





Area

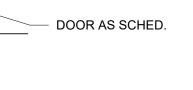
313 SF

192 SF

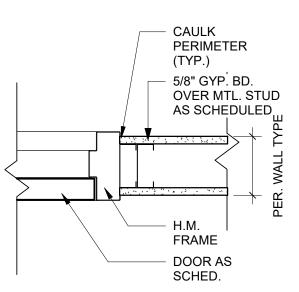
123 SF

5/8" GYP. BD. OVER MTL. STUD AS SCHED. CAULK PERIMETER (TYP.) HM FRAME

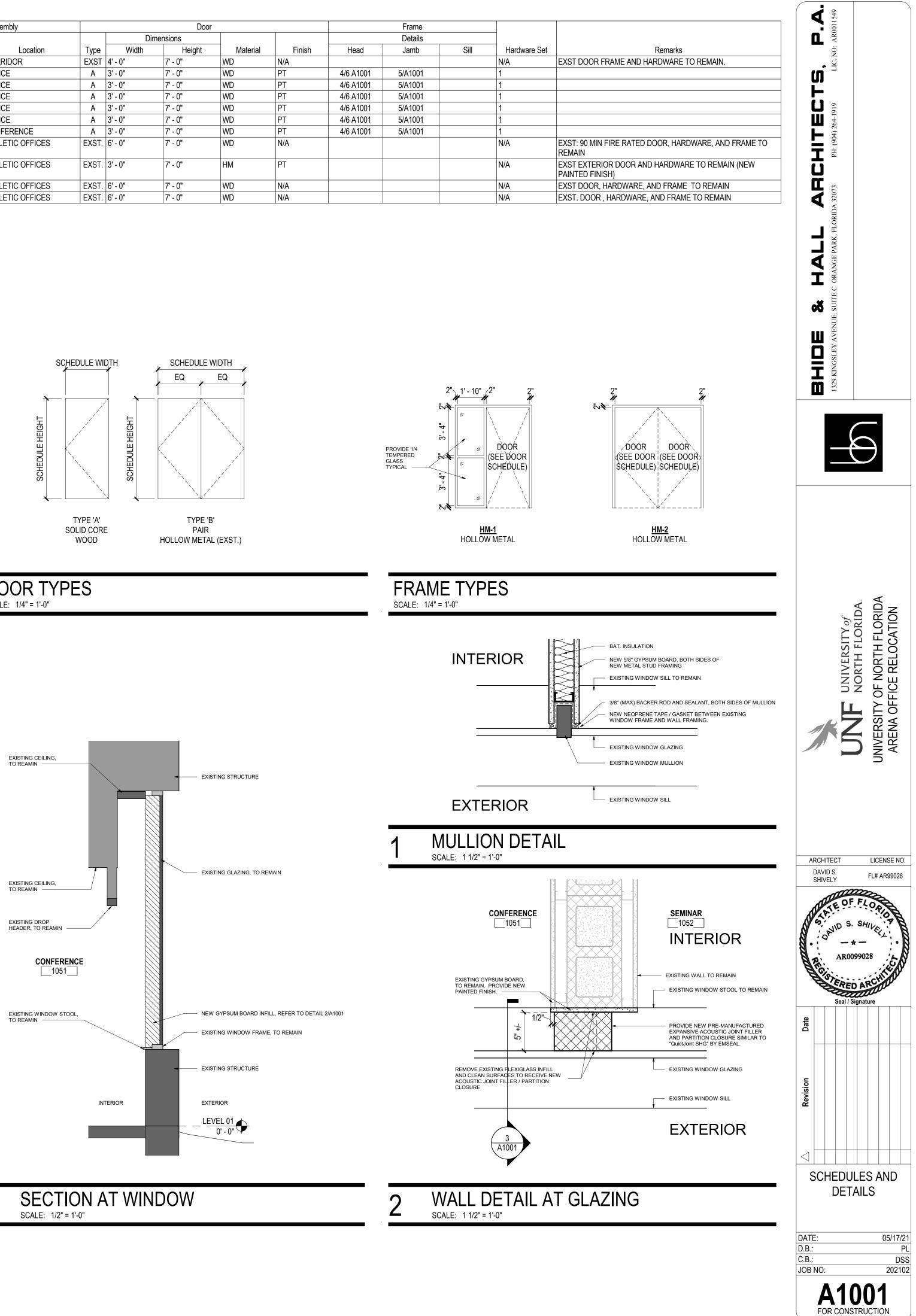
Comments



INT. DOOR HEAD, TYP. SCALE: 1 1/2" = 1'-0"



INT. DOOR JAMB , TYP. SCALE: 1 1/2" = 1'-0"



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