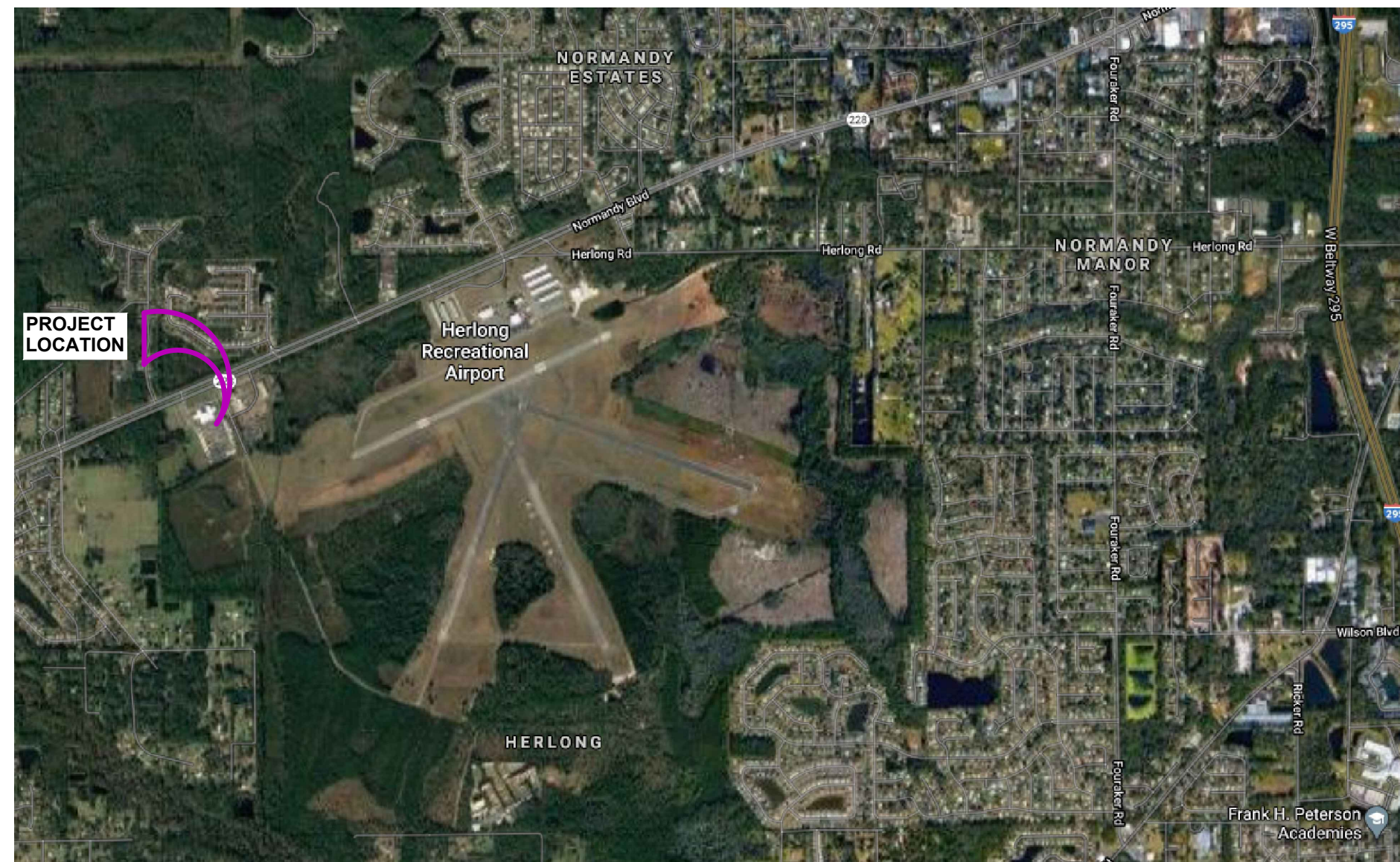


JACKSONVILLE FMS #11 CONSTRUCT PEMB PARTS STORAGE

PROJECT #12219016

9900 NORMANDY BLVD
 JACKSONVILLE, FLORIDA, 32221
 CONSTRUCTION DOCUMENTS



VICINITY MAP
 SCALE: NOT TO SCALE

INDEX OF DRAWINGS		ISSUED						
SHEET NUMBER	SHEET NAME	1	2	3	4	5	6	7
REVISION								
GENERAL								
CS	COVER SHEET, DRAWING INDEX BUILDING INFORMATION							
CIVIL								
CO.1	COVER SHEET FOR CIVIL							
VO.1	TOPOGRAPHIC SURVEY							
V1.1	TOPOGRAPHIC SURVEY							
C1.1	SITE DIMENSION PLAN							
C1.2	GRADING AND EROSION AND SED. CONTROL PLAN							
C1.3	GRADING AND EROSION AND SED. CONTROL PLAN							
C1.4	COMPOSITE UTILITY PLAN							
C1.5	COMPOSITE UTILITY PLAN							
C5.1	GENERAL NOTES AND DETAILS							
ARCHITECTURAL								
A1.0	FLOOR PLAN AND LIFE SAFETY PLAN							
A1.1	FOUNDATION PLAN							
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MECHANICAL								
M1.0	MECHANICAL FLOOR PLAN							
ELECTRICAL								
E0.1	ELECTRICAL GENERAL NOTES AND SHEET INDEX							
E1.0	EXISTING ELECTRICAL SITE PLAN							
E1.1	NEW ELECTRICAL BUILDING PLAN							
E2.0	ELECTRICAL PANEL SCHEDULE							

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 www.cphcorp.com
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 5200 Belfort Road, Suite 220
 Jacksonville, FL 32256
 Ph: 904.332.0999
 Plans Prepared By:
CPH, Inc.
 State of Florida Licenses:
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA26000926
 Landscape No. LC000298



100% REVIEW SET

ALTERNATE BID ITEMS (ABI):

DESCRIPTION OF ABI	REFER TO SHEET
ABI 1) G6 TELEPHONE SYSTEM	E1.0
ABI 2) SHELVING RACK UNITS: HUSKY, STANLEY, LYON	A1.0
ABI 3) CEILING FANS: BIG ASS FANS, GREENHECK, CAPTIVEAIRE	M1.0
ABI 4) EXHAUST FAN: GREENHECK, CAPTIVEAIRE	M1.0

PROJECT INFORMATION:

THIS PERMIT APPLICATION IS FOR THE CONSTRUCTION OF A NEW STORAGE WAREHOUSE. THE IMPROVEMENTS CONSIST OF A NEW PRE-FABRICATED METAL BUILDING WITH VENTILATION AND ELECTRICAL.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE SIGNED AND SEALED PLANS FOR THE PRE-ENGINEERED METAL BUILDING ASSEMBLY AND CONCRETE FOUNDATION SYSTEM.

BUILDING CODES:

GOVERNING JURISDICTION:
 CITY OF JACKSONVILLE BUILDING INSPECTION DIVISION

FLORIDA BUILDING CODE, 7TH EDITION 2020
 FLORIDA BUILDING CODE - ACCESSIBILITY 2020
 FLORIDA MECHANICAL CODE, 7TH EDITION 2020
 FLORIDA PLUMBING CODE, 7TH EDITION 2020
 NATIONAL ELECTRICAL CODE (NFPA 70) 2017
 FLORIDA FIRE PREVENTION CODE, 7TH EDITION 2020

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING: YES
 EXIT SIGNS: YES
 FIRE ALARM & SMOKE DETECTION SYSTEM: NO

BUILDING DATA:

OCCUPANCY: WAREHOUSE
 CONSTRUCTION TYPE: IIB, NON-FIRE SPRINKLERED
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 15'-0" (PEAK OF ROOF)

DESIGNERS OF RECORD:

ARCHITECT:

JOHN A BAER, AIA
 CPH INC 500 WEST FULTON ST. SANFORD, FL 32771 407-322-6841 JBAER@CPHCORP.COM

MECHANICAL/PLUMBING:

JEFF A DEAL P.E.
 CPH INC 500 WEST FULTON ST. SANFORD, FL 32771 407-322-6841 JDEAL@CPHCORP.COM

ELECTRICAL:

GREGORY TAYLOR P.E.
 CPH INC 500 WEST FULTON ST. SANFORD, FL 32771 407-322-6841 GTAYLOR@CPHCORP.COM

CIVIL:

WADE OLSZEWSKI P.E.
 CPH INC 5200 BELFORT PKWY #220 JACKSONVILLE, FL 32256 904-332-0999 WOLSZEWSKI@CPHCORP.COM

REVISION HISTORY		
REVISION NO.	DATE	REVISION DESCRIPTION

CERTIFICATION

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, INFORMATION, AND BELIEF, THIS DESIGN IS IN COMPLIANCE WITH APPLICABLE CODES AND LAWS.

6/24/2021
 DATE

COVER SHEET, DRAWING INDEX
 BUILDING INFORMATION

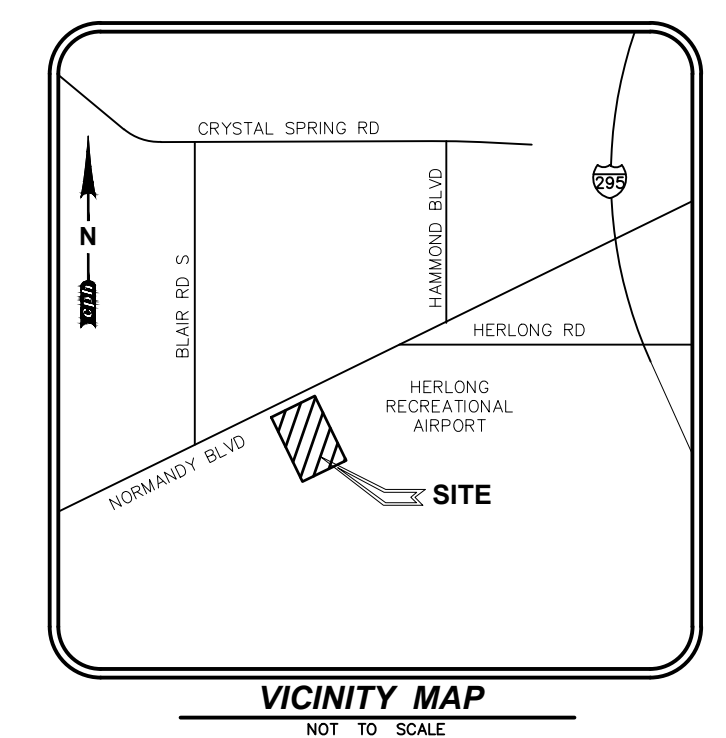
SNYDER FMS PEMB STORAGE
 9900 NORMANDY BLVD., JACKSONVILLE, FL.

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
CS

CPH logo, www.cphcorp.com, A Full Service A & E Firm, 520 Palm Coast Pkwy, SW, Suite 200, Palm Coast, FL 32137, Ph: 386.445.6569, Plans Prepared By: CPH, Inc., State of Florida Licenses: Engineer No. 3215, Surveyor No. LB7143, Architect No. AA26000296, Landscape No. LC000298

TOPOGRAPHIC SURVEY FOR ARMORY BOARD OF THE STATE OF FLORIDA AT 9900 NORMANDY BOULEVARD LYING IN SECTION 32-TOWNSHIP 2 SOUTH-RANGE 25 EAST DUVAL COUNTY, JACKSONVILLE, FLORIDA



Topographic Survey Area: A PORTION OF RE # 009029-0020 PER DUVAL COUNTY PROPERTY APPRAISER WEBSITE: WWW.COJ.NET

- Survey Notes: 1. COPIES OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 2. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. 3. THIS SURVEY IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)...

Abbreviation Legend:

Table with 2 columns: Abbreviation and Description. Includes entries for (A) ACTUAL, A/C AIR CONDITIONER, ACSM AMERICAN CONGRESS ON SURVEYING & MAPPING, ADA AMERICANS WITH DISABILITIES ACT, ALTA AMERICAN LAND TITLE ASSOCIATION, APPROX APPROXIMATE, ARV AIR RELEASE VALVE, AVE AVENUE, AVG AVERAGE, (BB) BEARING BASIS, BFP BACK FLOW PREVENTER, BLK BLOCK, BLDG BUILDING, BLVD BOULEVARD, BM BENCH MARK, BOW BACK OF WALK, BSL BUILDING SETBACK LINE, BWF BARBED WIRE FENCE, C-X DENOTES SHEET NUMBERING FOR ENGINEERING PLANS, (C) CALCULATED, CHORD CHORD, CATV CABLE TELEVISION RISER, CB CHORD BEARING, CBS CONCRETE BLOCK STRUCTURE, C.C.R. CERTIFIED CORNER RECORD, C&G CURB & GUTTER, CI CATCH INLET, C/L CENTERLINE, CLF CHAIN LINK FENCE, CM CONCRETE MONUMENT, CMP CORRUGATED METAL PIPE, CO CLEANOUT, CONC CONCRETE, COR CORNER, CRPP CORRUGATED PLASTIC PIPE, CUE COUNTY UTILITY EASEMENT, CVS CAN'T VERIFY SIZE, CVS&T CAN'T VERIFY SIZE & TYPE, CWS CROSSWALK SIGNAL, (D) DELTA, (D) DESCRIPTION, DB DIAMETER AT BREAST HEIGHT IN INCHES, DE DRAINAGE EASEMENT, DEPT DEPARTMENT, DIP DUCTILE IRON PIPE, DR DRIVE, DRU DRAINAGE AND UTILITY EASEMENT, (E) ENGINEERING PLAN, E.B. ELECTRIC JUNCTION BOX, EL UNDERGROUND ELECTRICAL LINES, ELEC ELECTRIC, ELEV ELEVATION, ELLIP ELLIPTICAL, EO END OF INFORMATION, EOP EDGE OF PAVEMENT, FB FIELD BOOK, FDC FIRE DEPARTMENT CONNECTION, FDOT FLORIDA DEPARTMENT OF TRANSPORTATION, FF FINISH FLOOR, FGI FLAT GRATE INLET, FGLP FIBERGLASS LIGHT POLE, FH FIRE HYDRANT, FM FORCE MAIN, FND FOUND, FPL FLORIDA POWER AND LIGHT, FS FLORIDA STATUTES, (G) GRID (STATE PLANE), (G) UNDERGROUND GAS LINES, GOV'T GOVERNMENT, GPR GROUND PENETRATING RADAR, GTMH GREASE TRAP MANHOLE, HDPE HIGH DENSITY POLYETHYLENE PIPE, HWF HOOD WIRE FENCE, ID IDENTIFICATION, ICV IRRIGATION CONTROL VALVE, INFO INFORMATION, INV INVERT, IP IRON PIPE, IP&C IRON PIPE & CAP, IR IRON ROD, IR&C IRON REBAR & CAP, IRR IRRIGATION, L ARC LENGTH, LB# LICENSED BUSINESS NUMBER, LP LIGHT POLE, (M) MEASURED, MB MAP BOOK, MBX MAILBOX, MES MITERED END SECTION, MH MANHOLE, MLP METAL LIGHT POLE, MPH MILES PER HOUR, MPP METAL POWER POLE, N/A NOT APPLICABLE, NAVD NORTH AMERICAN VERTICAL DATUM, NAD NORTH AMERICAN DATUM, NG NATURAL GROUND, NGS NATIONAL GEODETIC SURVEY, NGVD NATIONAL GEODETIC VERTICAL DATUM, N & D NAIL AND DISK, NO. NUMBER, NR NON-RADIAL, NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS, NT NON-TANGENT, NTS NOT TO SCALE, OR OUTSIDE DIAMETER, ORB OFFICIAL RECORDS BOOK, OR OFFICIAL RECORDS, OUL OVERHEAD UTILITY LINES, OTL OVERHEAD TRAFFIC LINES, (P) PLAT, PB PLAT BOOK, PC POINT OF CURVATURE, PCC POINT OF COMPOUND CURVATURE, PCP PERMANENT CONTROL POINT, PFF PROPOSED FINISHED FLOOR, PG PAGE, PGS PAGES, PI POINT OF INTERSECTION, PIW POST INDICATOR VALVE, PK PARKER KAYLON, POB POINT OF BEGINNING, POC POINT OF COMMENCEMENT, POL POINT ON LINE, PP POWER POLE, PRC POINT OF REVERSE CURVATURE, PRM PERMANENT REFERENCE MONUMENT, PSM PROFESSIONAL SURVEYOR & MAPPER, PT POINT OF TANGENCY, PVL POLYVINYL CHLORIDE PIPE, PVM PAVEMENT, R2SE RANGE 25 EAST, R RADIUS, RAD RADIAL, RCP REINFORCED CONCRETE PIPE, REC RECOVERED, REV REVISION, RP RADIUS POINT, R/W RIGHT-OF-WAY, RLS REGISTERED LAND SURVEYOR, RP RADIUS POINT, RWL UNDERGROUND RECLAIM WATER LINE, RWM RECLAIMED WATER METER, SE SPECIAL EASEMENT, SEC 32 SECTION 32, SSM SANITARY SEWER MANHOLE, (SP) STATE PLANE, SQ SQUARE, SQ FT SQUARE FEET, ST STREET, STMH STORM DRAINAGE MANHOLE, SW SIDEWALK, TB TANGENT BEARING, T2S TOWNSHIP 2 SOUTH, TELE TELEPHONE, TL OVERHEAD TRAFFIC SIGNAL LINES, TOB TOP OF BANK, TOE TOE OF SLOPE, TR TELEPHONE RISER, TRANS TRANSFORMER, TSB TRAFFIC SIGNAL BOX, TSSP TRAFFIC SIGNAL SUPPORT POLE, TVL TELEVISION, (TY) TYPICAL, UE UTILITY EASEMENT, UNK UNKNOWN, UTL UNDERGROUND TELEPHONE LINES, W/ WITH, WF WROUGHT IRON FENCE, WL UNDERGROUND WATER LINE, WLP WOOD LIGHT POLE, WM WATER METER, WP WORK PROGRAM, WPF WOOD POST FENCE, WPP WOOD POWER POLE, WV WATER VALVE

Line Legend:

Table with 2 columns: Line Style and Description. Includes entries for 1 FOOT CONTOURS, 5 FOOT CONTOURS, ADJOINER PROPERTY LINES, BARBED WIRE FENCE, BROKEN LINE, BURIED CABLE, BURIED CABLE TELEVISION, BURIED ELECTRIC, BURIED FIBER OPTICS, BURIED GAS, BURIED RECLAIMED WATER LINE, BURIED SANITARY LINES, BURIED SANITARY SEWER FORCE MAIN LINE, BURIED TRAFFIC CONTROL, BURIED TELEPHONE LINE, BURIED WATER LINES, CENTER LINE R/W, CHAIN LINK FENCE, EASEMENT LINES (EXISTING), EASEMENT LINES (PROPOSED), EXISTING DRAINAGE PIPES, EXISTING DRAINAGE PIPES (TERMINUS & ANGLE UNKNOWN), FIRE WATER MAIN LINES, HOT WATER SUPPLY LINES, IRRIGATION LINES, OVERHEAD TRAFFIC LINES, OVERHEAD UTILITY LINES, RAILROAD TRACKS, RIGHT-OF-WAY LINES, SECTION LINES, STONE WALL LINES, TOP OF BANK LINES, TOE OF SLOPE LINES, TRAIL LINES, TRAVERSE LINES, UNKNOWN BURIED LINES, VINYL FENCE, WOOD FENCE, UNKNOWN BURIED LINE, WITH, WROUGHT IRON FENCE, UNDERGROUND WATER LINE, WOOD LIGHT POLE, WATER METER, WORK PROGRAM, WOOD POST FENCE, WOOD POWER POLE, WATER VALVE

Symbol Legend:

Table with 2 columns: Symbol and Description. Includes entries for AIR RELEASE VALVE, BORING HOLE LOCATION, BRICK PAVERS, CABLE TV RISER, CENTRAL ANGLE, CLEAN OUT, COMMUNICATION MANHOLE, CONCRETE, CONCRETE LIGHT POLE, CONCRETE LIGHT POLE (DUAL), CONCRETE LIGHT POLE (TRIPLE), CONCRETE LIGHT POLE (QUAD), CONCRETE MITERED END SECTION, CONCRETE PAVERS, CONCRETE RIP RAP, CONCRETE UTILITY POLE, COUNTY ROAD SYMBOL, EASEMENT SIGNAL POLE, DETECTABLE WARNING AREA, DUAL SUPPORT SIGN, ELECTRICAL MANHOLE, ELECTRIC METER, ELECTRICAL JUNCTION BOX, ELECTRIC OUTLET, ELECTRIC RISER, FIBER OPTIC MARKER, FIRE DEPARTMENT CONNECTION, FIRE HYDRANT, FLOOD LIGHT, FOUND CONCRETE MONUMENT (AS NOTED), FOUND IRON PIPE (AS NOTED), FOUND IRON REBAR (AS NOTED), FOUND/SET NAIL (AS NOTED), GARBAGE CAN, TREE LINES, GAS MARKER, GAS VALVE, GOPHER TORTOISE HOLE, GRATE INLET, GRAVEL/DIRT, WETLAND MANHOLE, GROUND LIGHT, GUY ANCHOR, HANDICAP PARKING SPACE, INTERSTATE SYMBOL, IRRIGATION CONTROL VALVE, LIGHT POLE, LIGHT POLE (DUAL), LIGHT POLE (TRIPLE), LIGHT POLE (QUAD), MAILBOX, MONITOR WELLS, NAIL & DISC (AS NOTED), PARKING SPACES (2), POST INDICATOR VALVE, PULL BOX (AS NOTED), REVISION NUMBER (3), RECLAIMED WATER METER, RECLAIMED WATER VALVE, ROOF DRAIN, SANITARY SEWER MANHOLE, SANITARY SEWER VALVE, TITLE OR REPORT ITEM NUMBER, SECTION CORNER, 4" X 4" CM LB #7143, 5/8" IR&C LB #7143, SIGN, SITE BENCH MARK, STORM SEWER MANHOLE, STRIPING (DIRECTIONAL), TELEPHONE CABLE RISER, TELEPHONE MANHOLE, TELEPHONE LINE MARKER, TELEPHONE JUNCTION BOX, TEST HOLE, TRAFFIC SIGNAL BOX, TRAFFIC SIGNAL SUPPORT POLE, UNKNOWN MANHOLE, UNKNOWN RISER, UNKNOWN UTILITY, UNKNOWN VALVE, UTILITY FLAG (AS NOTED), VENT (AS NOTED), WATER METER, WATER RISER, WATER SERVICE, WATER SPIGOT, WATER SPRINKLER, WATER VALVE, WELL, WETLAND FLAG, WOOD UTILITY POLE, WATER LINE MARKER, WIRE HEIGHTS (SEE CHART)

Sign Legend:

Table with 2 columns: Sign Symbol and Description. Includes entries for ROW NUMBER SIGN, BUS STOP SIGN, DEAD END SIGN, DO NOT ENTER SIGN (R5-1), HANDICAP SIGN, DUAL HANDICAP SIGN, FIRE DEPARTMENT CONNECTION, INFORMATION SIGN, KEEP RIGHT SIGN, LEFT TURN ONLY, MEDIUM SIGN, NO DUMPING SIGN, NO LEFT TURN SIGN (R3-2), NO LITTERING SIGN, NO OUTLET SIGN, NO PARKING FIRE LANE SIGN, NO RIGHT TURN SIGN (R3-1), NO THRU TRAFFIC SIGN, NO TRUCKS (R5-2), NO PARKING SIGN, ONE WAY SIGN (R6-2), PEDESTRIAN CROSSING SIGN, RIGHT TURN ONLY, SPEED LIMIT SIGN, STOP SIGN (R1-1), STREET SIGN, TOW AWAY ZONE SIGN, TRUCK ENTRANCE SIGN, UNKNOWN SIGN, WEIGHT LIMIT SIGN, YIELD SIGN

Reference Material

- 1) LIMITED TOPO @ BAY COUNTY JAIL AS PREPARED BY BAY COUNTY PUBLIC WORKS DEPARTMENT, FEBRUARY 28, 2020.

Index of Survey Sheets

Table with 2 columns: Sheet Number and Description. Includes entries for 1 COVER SHEET, 2 TOPOGRAPHIC SURVEY

Surveyor's Certification:

I hereby certify that the attached "Topographic Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on November 5, 2020. I further certify that this "Topographic Survey" meets the standards of practice set forth in Rule Chapter 51-17 of the Florida Administrative Code, pursuant to FS 472.027.

For the Firm By: Jeffrey W. Patterson, Professional Surveyor and Mapper, Florida Registration No. 6384

Table with 2 columns: No. and Date. Includes entries for 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

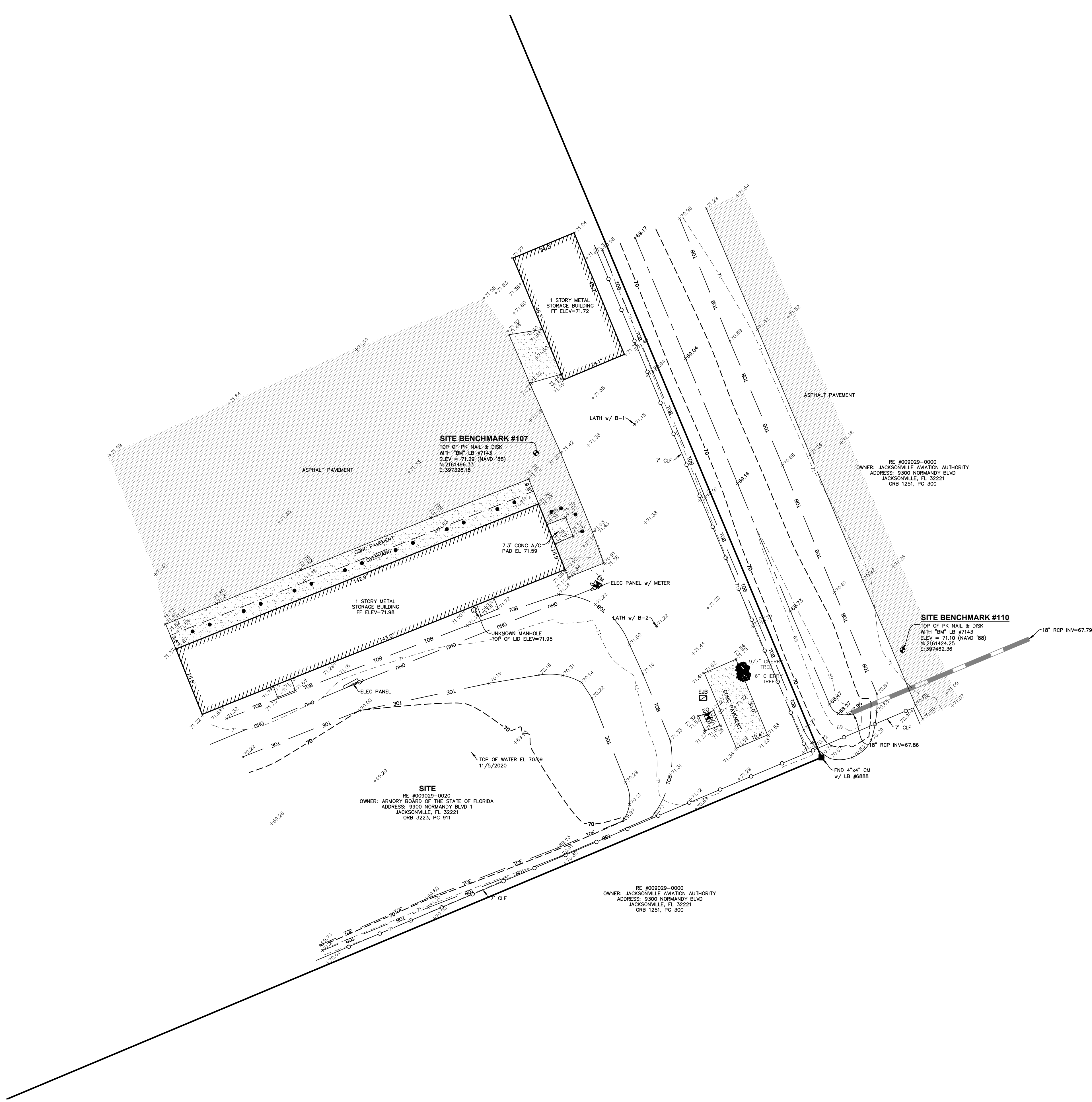
Field Crew: D. Sullivan, Drawn By: B. Benard, Checked By: R. Roberts, Approved By: J. Patterson, Job No.: F11508, Date: 11/5/2020

TOPOGRAPHIC SURVEY, ARMORY BOARD OF THE STATE OF FLORIDA, 9900 NORMANDY BOULEVARD, SECTION 32-TOWNSHIP 2 SOUTH-RANGE 25 EAST, DUVAL COUNTY, JACKSONVILLE, FLORIDA

THIS SURVEY IS NOT VALID WITHOUT SURVEY SHEETS 1 THROUGH 2 OF 2. Sheet No. V0.1

No.	Date	Revision	By

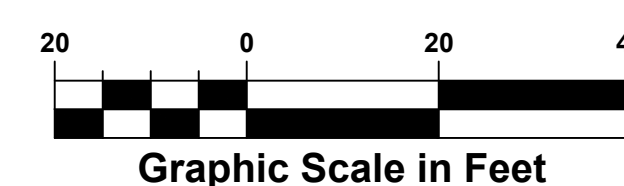
Field Crew: D. Sullivan
 Drawn By: B. Benard
 Checked By: R. Roberts
 Approved By: J. Patterson
 Job No.: F11508
 Date: 11/5/2020 © 2020



TOPOGRAPHIC SURVEY

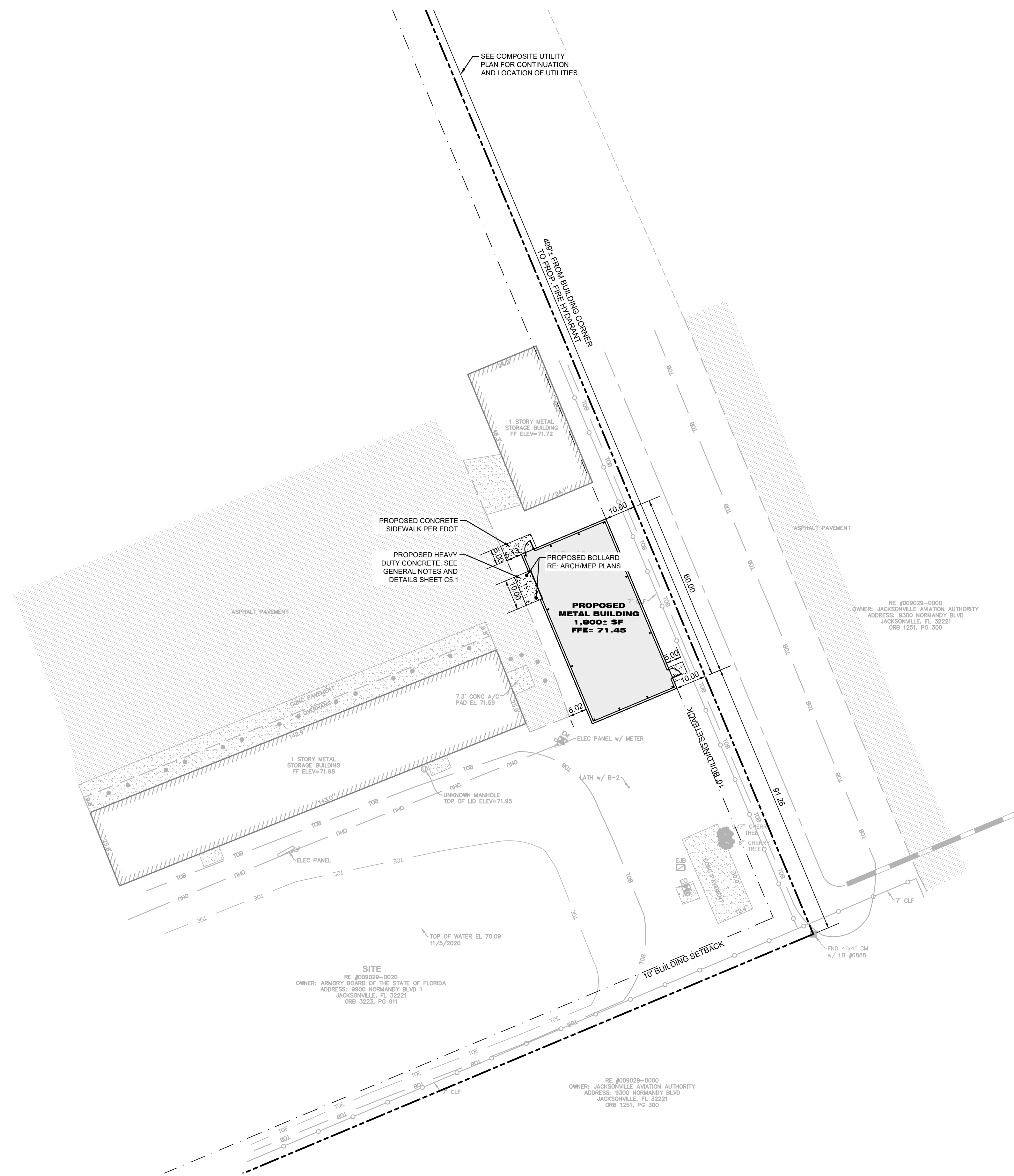
ARMORY BOARD OF THE STATE OF FLORIDA
 9900 NORMANDY BOULEVARD
 SECTION 32-TOWNSHIP 2 SOUTH-RANGE 28 EAST
 DUVAL COUNTY, JACKSONVILLE, FLORIDA

THIS SURVEY IS NOT VALID WITHOUT SURVEY SHEETS 1 THROUGH 2 OF 2.



TITLE BLOCK ABBREVIATIONS

Eng. = ENGINEERING	L.B. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION	A.A. = ARCHITECTURAL
Landsc. = LANDSCAPE	N/A = NOT APPLICABLE
No. = NUMBER	P.O. = POST OFFICE
	© = COPYRIGHT



SITE DATA INFORMATION:

SITE PARCEL NUMBERS:
 PARCEL NO: 009029-0020 9900 NORMANDY BLVD. (24.83 A.C.)
 TOTAL (24.83 A.C.)

SECTION - 32 / TOWNSHIP - 2 S / RANGE - 25 E

ON-SITE LAND INFORMATION:

CURRENT LAND USE: PBF
 CURRENT ZONING: PBF-3
 DEVELOPMENT TYPE: STORAGE BUILDING

FLOOD ZONE INFORMATION:

HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12005C0356H, DUVAL COUNTY UNINCORPORATED AREAS EFFECTIVE DATE JUNE 2, 2009, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND LIES IN ZONE A, WHICH ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100 YEAR FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED (NAVD '88). THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.

BUILDING INFORMATION:

BUILDING AREA: 1,800 S.F.
 MAXIMUM BUILDING HEIGHT (CITY CODE): 35'-0"
 ACTUAL BUILDING HEIGHT (ONE STORY): 15'
 MAXIMUM FLOOR AREA RATIO (FAR) (CITY CODE): 60%

BLDG. SETBACKS AND LANDSCAPE BUFFERS:

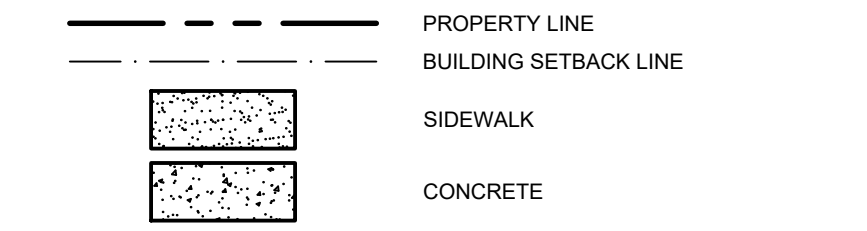
BLDG. SETBACKS:

	NORTH	SOUTH	EAST	WEST
REQUIRED:	20'	10'	10'	10'
PROVIDED:	848.74'	91.26'	1,102'	10'

LANDSCAPE BUFFERS:

	NORTH	SOUTH	EAST	WEST
REQUIRED:	10'	10'	10'	10'

LEGEND



NOTE:
 ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

PROJ. #12219016

cph
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 5200 Belfort Road, Suite 220
 Jacksonville, FL 32256
 Ph: 904.332.0999
 Plans Prepared By:
 CPH, Inc.
 State of Florida Licenses:
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA26000926
 Landscape No. LC000298

WADE P. OLSZEWSKI, P.E.

This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



No.	Date	Revision

Designed: P. Ranucci
 Drawn: D. Schneider
 Checked: W. Olszewski
 Job No.: F11508
 Date: 3/17/2021 © 2021

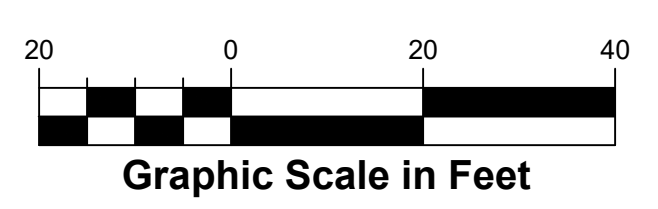
SITE DIMENSION PLAN
SNYDER FMS PEMB STORAGE - #12219016
 9900 NORMANDY BLVD
 JACKSONVILLE, FL 32221

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
C1.1



KEY MAP
 N.T.S.



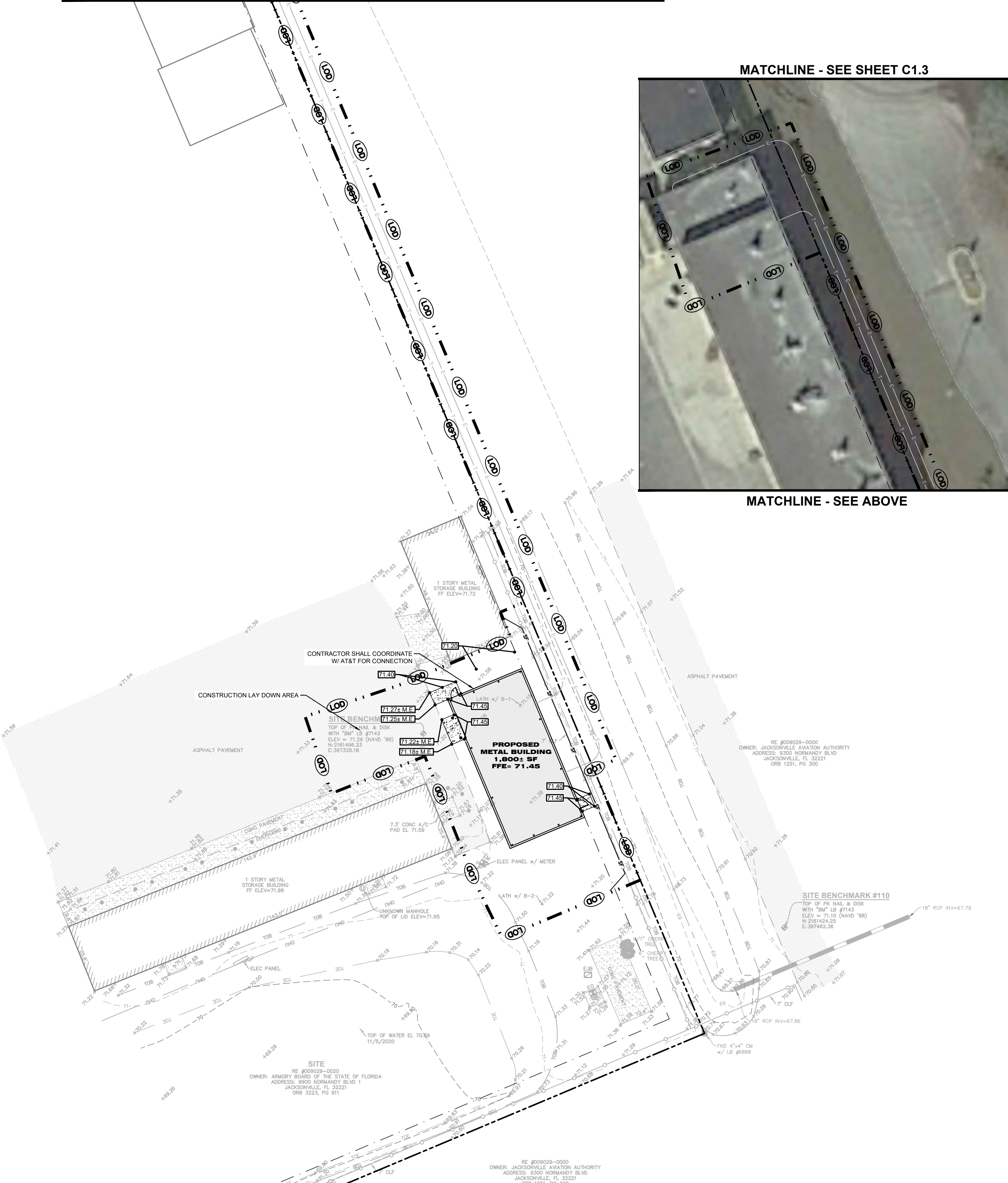
MATCHLINE - SEE BELOW

MATCHLINE - SEE SHEET C1.3

MATCHLINE - SEE ABOVE

EROSION AND SEDIMENT CONTROL PLAN NOTES

- SITE DESCRIPTION
A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.
B. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST...
WETLANDS/BUFFERS
NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT.
PLAN INTENT
THE INTENT OF THIS PLAN IS TO PREVENT THE RELEASE OF SOILS, TRASH, CHEMICALS, TOXINS AND OTHER POLLUTANTS...
GENERAL NOTES
A. AN ENVIRONMENTAL RESOURCE PERMIT IS NOT REQUIRED.
MS4 OPERATOR NAME (IF ANY): N/A
THE CONTRACTOR SHALL COORDINATE WITH THE MS4 TO ENSURE THAT ALL SPECIFIC REQUIREMENTS ARE MET.
B. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.
C. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY...
D. CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER...
E. THE CONTRACTOR SHALL FURNISH, INSTALL PER THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE ALL NECESSARY TEMPORARY BMPs...
F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMPs AS NECESSARY TO COMPLY WITH THE INTENT OF THE PLAN FOR NO ADDITIONAL COMPENSATION...
G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS...
H. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION...
I. SEPARATE PERMIT COVERAGE MUST BE OBTAINED BY THE CONTRACTOR UNDER THE DEPARTMENT'S GENERIC PERMIT FOR DISCHARGE OF POOLED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY...
DUST CONTROL
A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST...
B. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE...
WASTE MANAGEMENT
A. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT STORMWATER OR LEAVE THE PERMITTED AREA...
B. THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, OILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC SUBSTANCES ARE PROPERLY MANAGED AND DISPOSED OF...
C. THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS NOT DISCHARGED FROM THE SITE...
D. THE CONTRACTOR SHALL PROVIDE ADEQUATE SANITARY FACILITIES FOR SITE PERSONNEL...
E. WHEN A SPILL OF REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE...
MATERIALS MANAGEMENT AND EQUIPMENT STAGING AND MAINTENANCE
A. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM WATER RUNOFF...
B. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES...
C. THE CONTRACTOR SHALL ENSURE THAT ALL TOXIC / HAZARDOUS SUBSTANCES AND CHEMICALS ARE PROPERLY STORED, OUT OF THE WEATHER, AND USED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS...
D. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, EQUIPMENT, DEBRIS, WASTE, TRAILERS, AND OTHER SUPPORT RELATED ITEMS ARE CONTAINED WITHIN THE PROJECT LIMITS OF DISTURBANCE...
OFFSITE VEHICLE TRACKING
A. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION EXIT IS USED BY ALL VEHICLES AND EQUIPMENT ENTERING OR LEAVING THE JOBSITE...
FERTILIZERS, HERBICIDES AND PESTICIDES
A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, OUT OF THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS...
B. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.
INSPECTIONS AND MAINTENANCE
A. THE CONTRACTOR SHALL INSPECT BMPs (I.E. DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERIMETER CONTROLS, INLET PROTECTION, STABILIZATION, CONSTRUCTION DOCUMENTATION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF BMPs...
B. ANY MAINTENANCE, REPAIR AND NECESSARY REVISIONS TO BMP ITEMS SHALL BE ADDRESSED IN A TIMELY MANNER...
REFERENCES
THE CONSTRUCTION PLANS AND SPECIFICATIONS FOR JOB #F11508 AS PREPARED BY CPH, INC. ON DECEMBER, 2020 ARE HEREBY REFERENCED AND MADE A PART OF THIS PLAN.



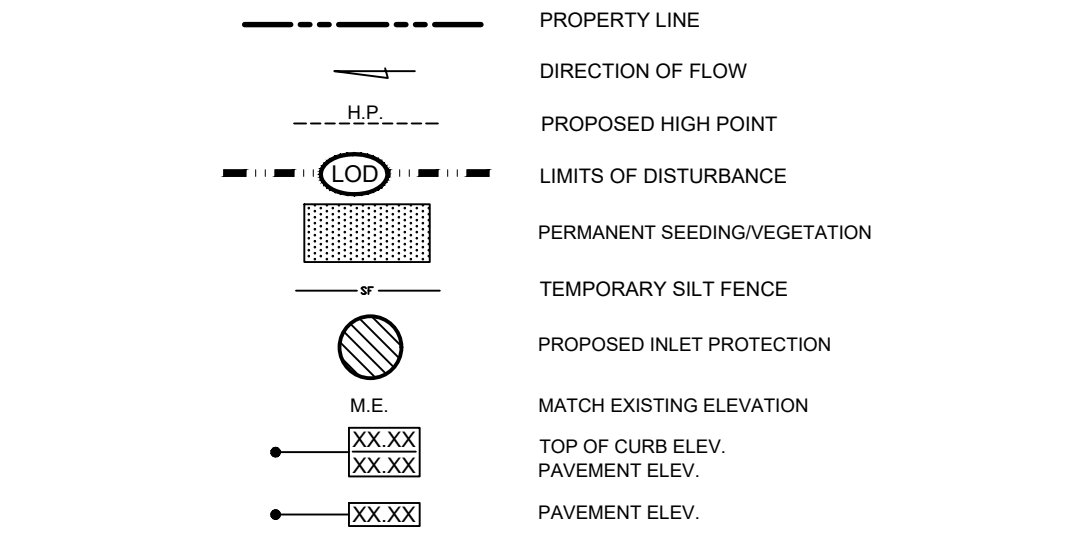
GENERAL GRADING NOTES

- 1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL CONDUCT GROUND STABILIZING MEASURES (PAVING, GRASSING, MULCHING AND SOODING) AS SOON AS PRACTICABLE FOLLOWING FINAL GRADING OF THE SITE.
3. FOLLOWING COMPLETION OF CONSTRUCTION AND COMPLETED STABILIZATION OF POTENTIAL EROSION AREAS, THE CONTRACTOR SHALL REMOVE SEDIMENTATION CONTROL MEASURES AND CLEAN AND REPAIR ANY AREAS AFFECTED BY THE CONSTRUCTION ACTIVITIES...
4. HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12060C0356H, DUAL COUNTY UNINCORPORATED AREAS EFFECTIVE DATE JUNE 2, 2009...
5. CONTRACTOR SHALL FIELD VERIFY EXISTING AND SURROUNDING DEVELOPMENT GRADES AND CONTACT ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY POSITIVE DRAINAGE FLOW AWAY FROM BLDG. AND THAT A MINIMUM SLOPE OF AT LEAST 1% IN THE DIRECTION OF DRAINAGE FLOW INDICATED CAN BE ACHIEVED.
7. CONTRACTOR SHALL CLEAN OUT ALL STORM STRUCTURES AND PIPES PRIOR TO PROJECT CLOSE OUT.

SEQUENCE OF CONSTRUCTION

- 1. INSTALL PERIMETER CONTROLS IMMEDIATELY DOWNSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXIT.
2. INSTALL REMAINING PERIMETER CONTROLS.
3. INSTALL TEMPORARY PARKING AND STORAGE AREAS (TRAILER, PARKING, LAY DOWN, SANITARY FACILITIES, WHEEL WASH, CONCRETE WASHOUT, MANSIONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC.)
4. BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE.
5. TEMPORARILY SEED, IMMEDIATELY AND THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
6. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
7. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
8. PREPARE SITE FOR PAVING.
9. PAVE SITE.
10. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
11. COMPLETE GRADING AND INSTALL PERMANENT STABILIZATION OVER ALL AREAS.
12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

LEGEND



ACREAGE SUMMARY

Table with 2 columns: Description and Acreage. Rows include: TOTAL SITE AREA (24.83 AC), ON-SITE DISTURBED AREA (0.15 AC), OFF-SITE DISTURBED AREA (0.27 AC), TOTAL DISTURBED AREA (0.42 AC).

Always call 811 two full business days before you dig. Sunshine 811.com logo.

PROJ. #12219016. Graphic Scale in Feet (0 to 40 feet).

CPH logo, www.cphcorp.com, A Full Service A & E Firm, 5206 Buford Road, Suite 220 Jacksonville, FL 32256, Ph: 904.332.9999.

Plans Prepared By: CPH, Inc. State of Florida Licenses: Engineer No. 3215, Surveyor No. LB17143, Architect No. AA26000926, Landscape No. LC000298.

Seal of the Florida National Guard, Department of Military Affairs.

Revision table with columns: No., Date, Revision.

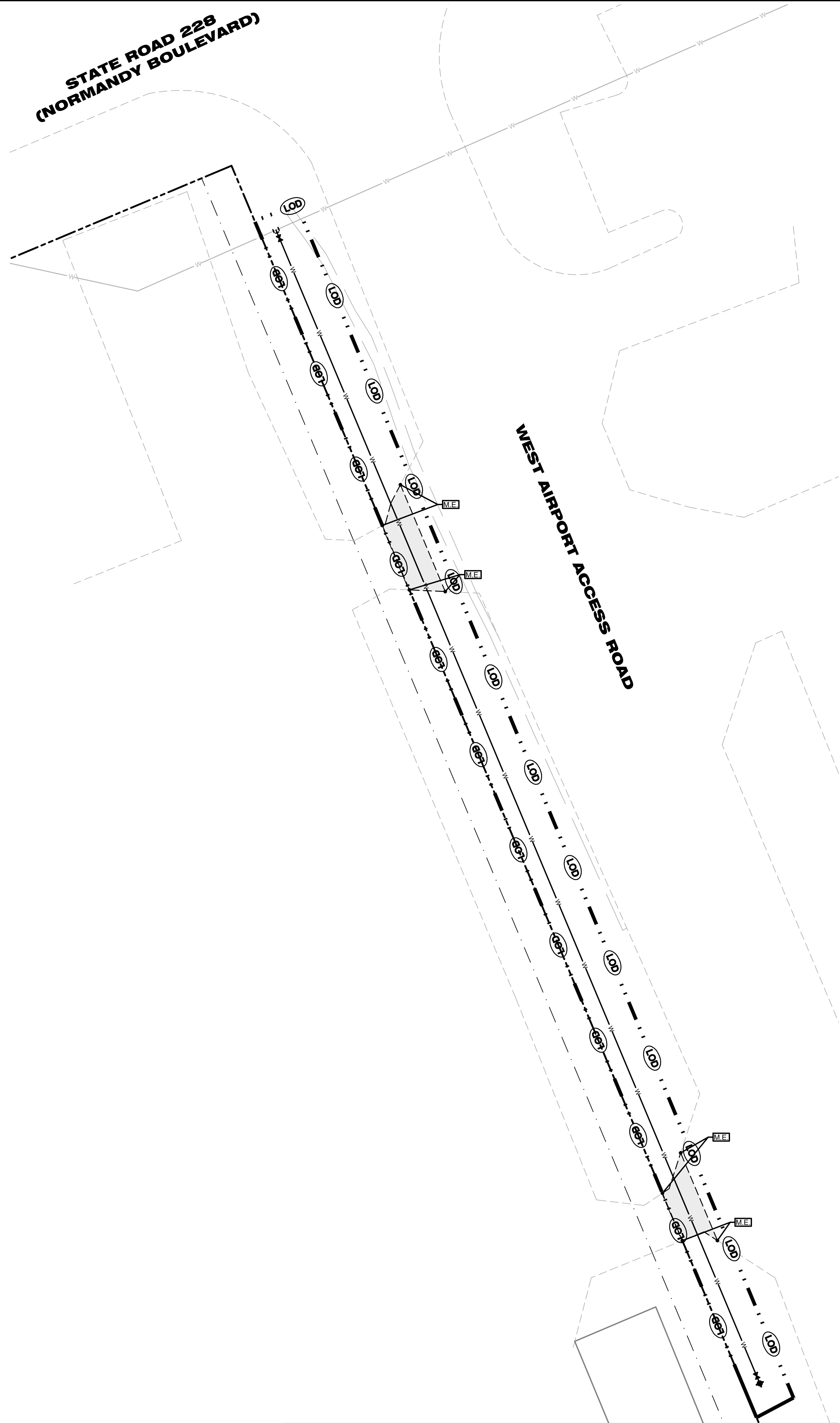
Designed: P. Ranucci, Drawn: D. Schneider, Checked: W. Olszewski, Job No.: F11508, Date: 3/17/2021, © 2021.

GRADING AND EROSION AND SEDIMENTATION CONTROL PLAN, SNYDER FMS PEMB STORAGE - #12219016, 9900 NORMANDY BLVD JACKSONVILLE, FL 32221.

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. Sheet No. C1.2

STATE ROAD 228
(NORMANDY BOULEVARD)

WEST AIRPORT ACCESS ROAD



MATCHLINE - SEE SHEET C1.2



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Surveyor No. LB7143
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Landscape No. LC000298

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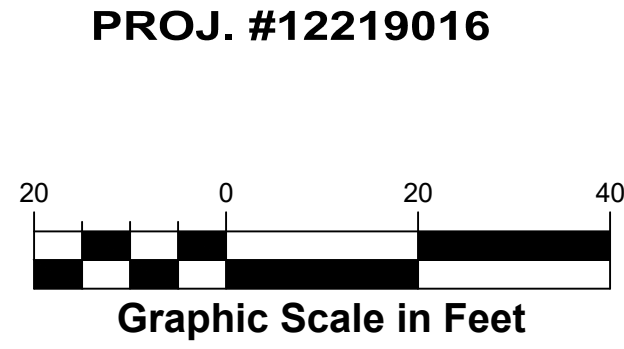
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Date: 3/17/2021 © 2021

**GRADING AND EROSION AND SEDIMENTATION
CONTROL PLAN**
SNYDER FMS PEMB STORAGE - #12219016
9900 NORMANDY BLVD
JACKSONVILLE, FL 32221

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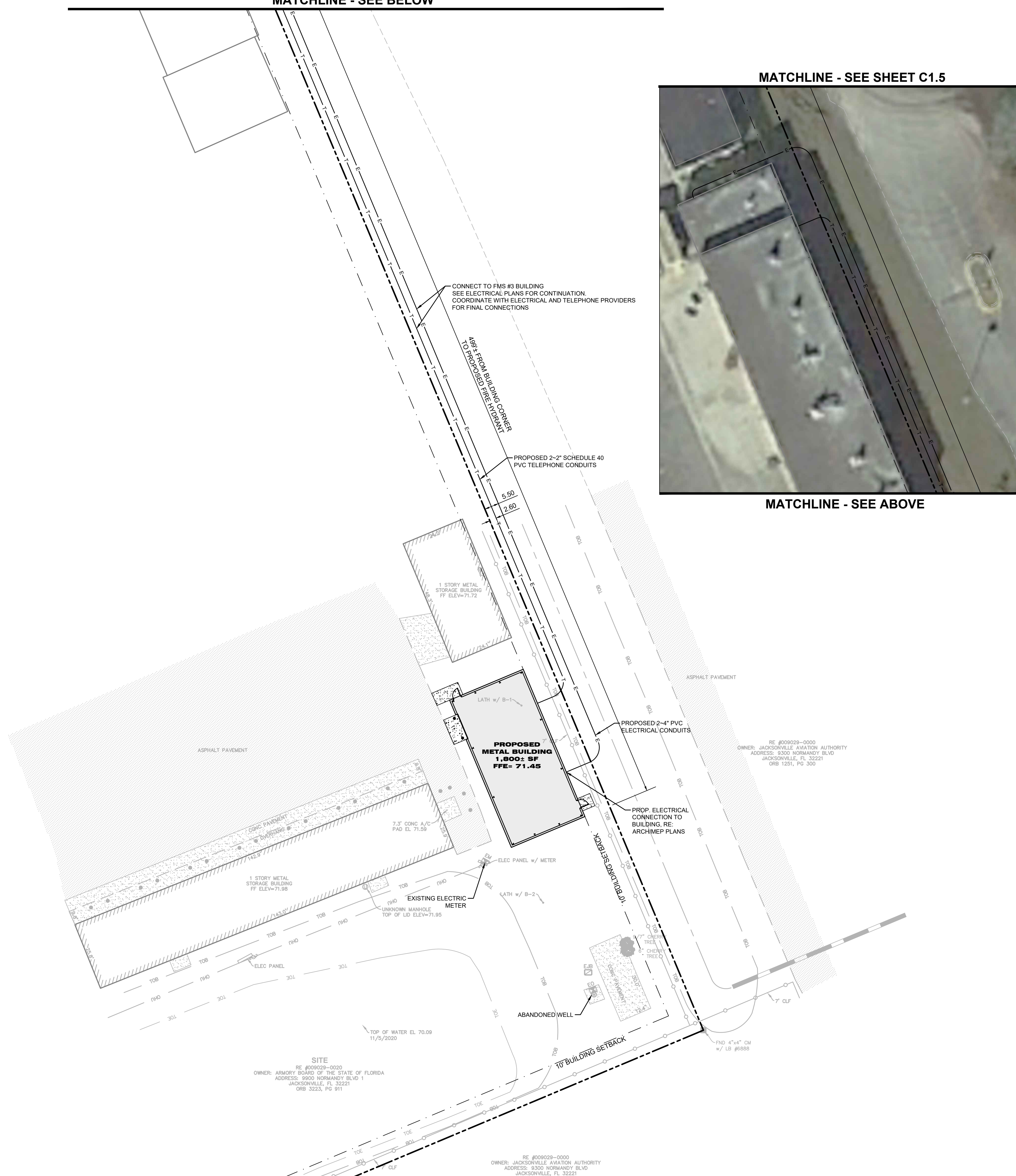
Sheet No.
C1.3



MATCHLINE - SEE BELOW

MATCHLINE - SEE SHEET C1.5

MATCHLINE - SEE ABOVE



LEGEND

	PROPERTY LINE
	BUILDING SETBACK LINE
	WATER MAIN
	OPEN CUT ASPHALT REPAIR
	FIRE HYDRANT
	GATE VALVE

NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

PROJ. #12219016

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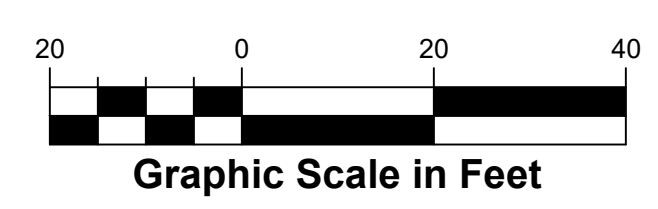
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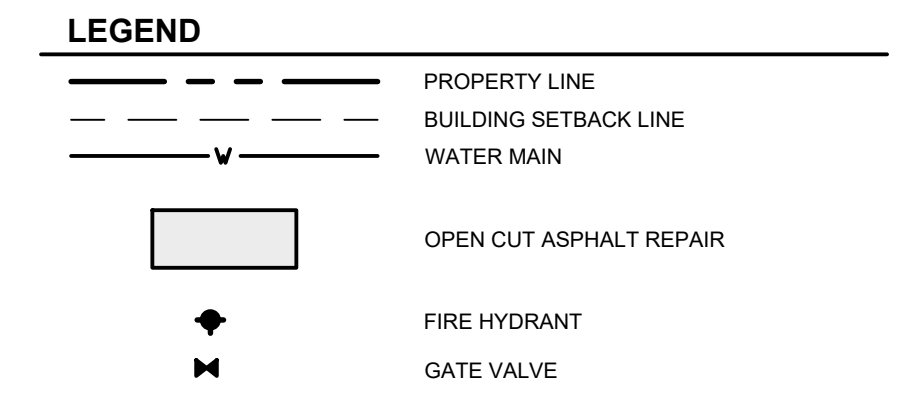
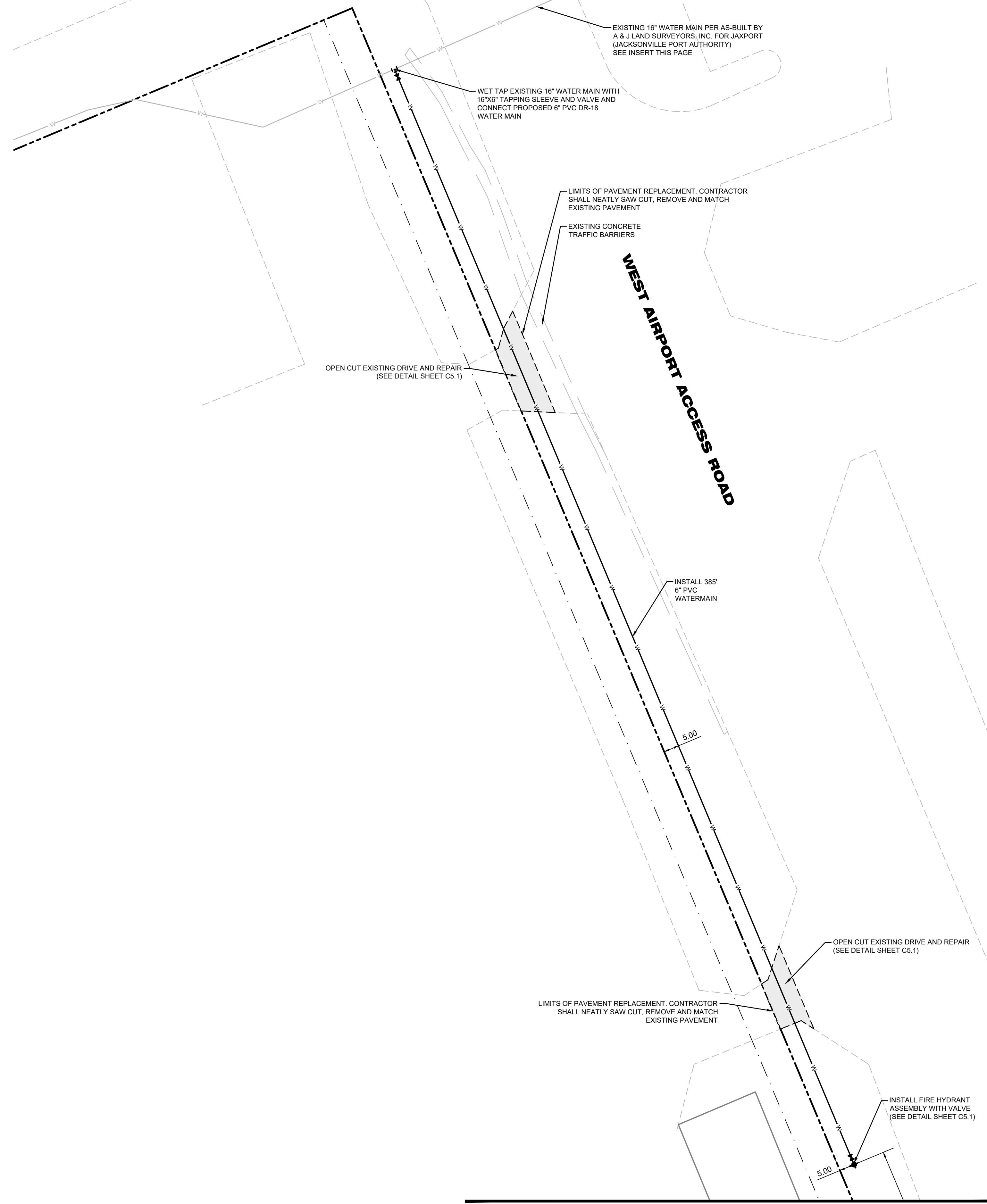
COMPOSITE UTILITY PLAN
SNYDER FMS PEMB STORAGE - #12219016
9900 NORMANDY BLVD
JACKSONVILLE, FL 32221

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Sheet No.
C1.4

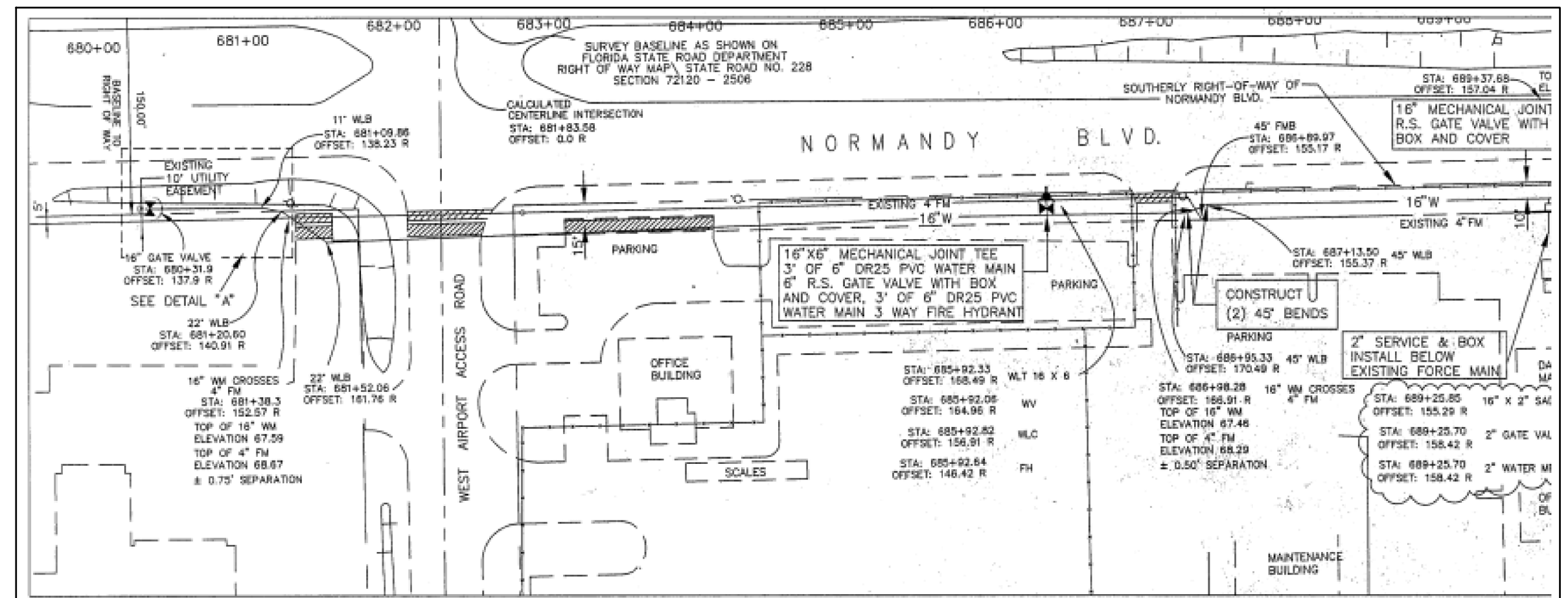


**STATE ROAD 228
(NORMANDY BOULEVARD)**



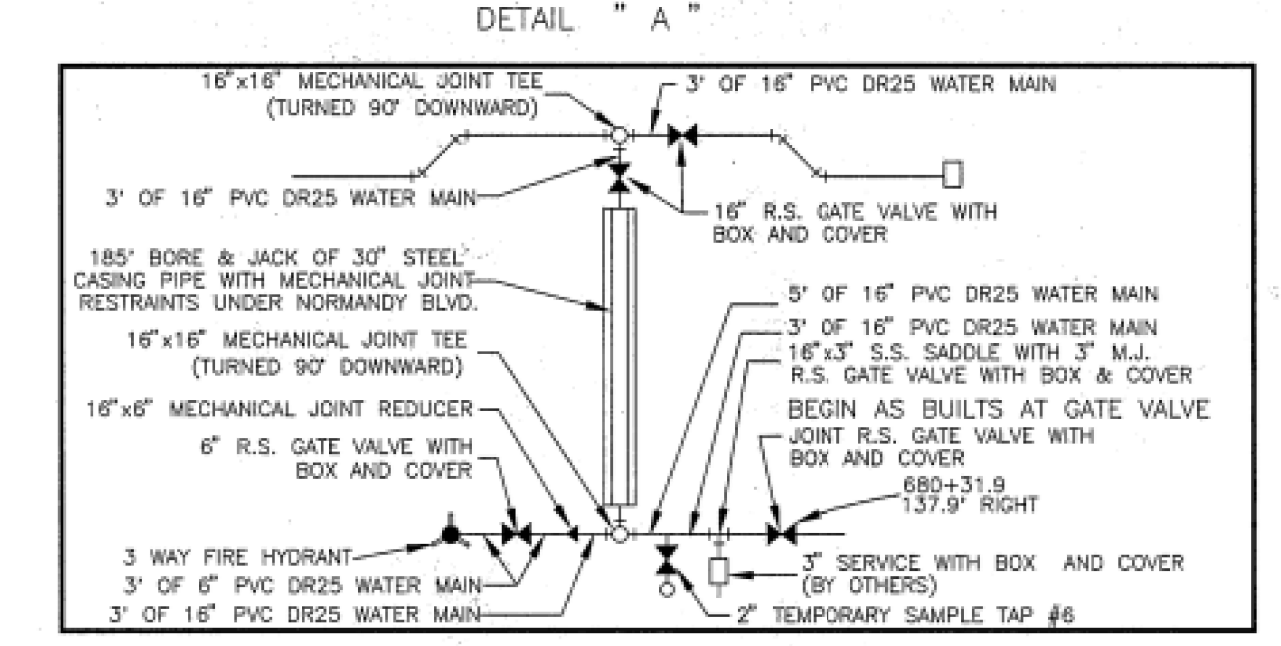
NOTE:
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PROJ. #12219016



AS BUILT

FORCE MAIN AND WATER MAIN AS BUILTS



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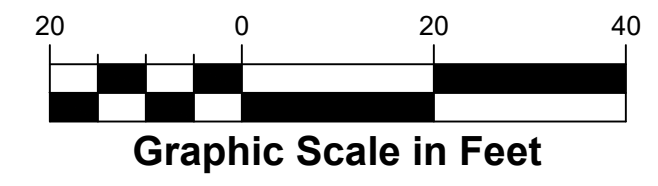
COMPOSITE UTILITY PLAN

SNYDER FMS PEMB STORAGE - #12219016

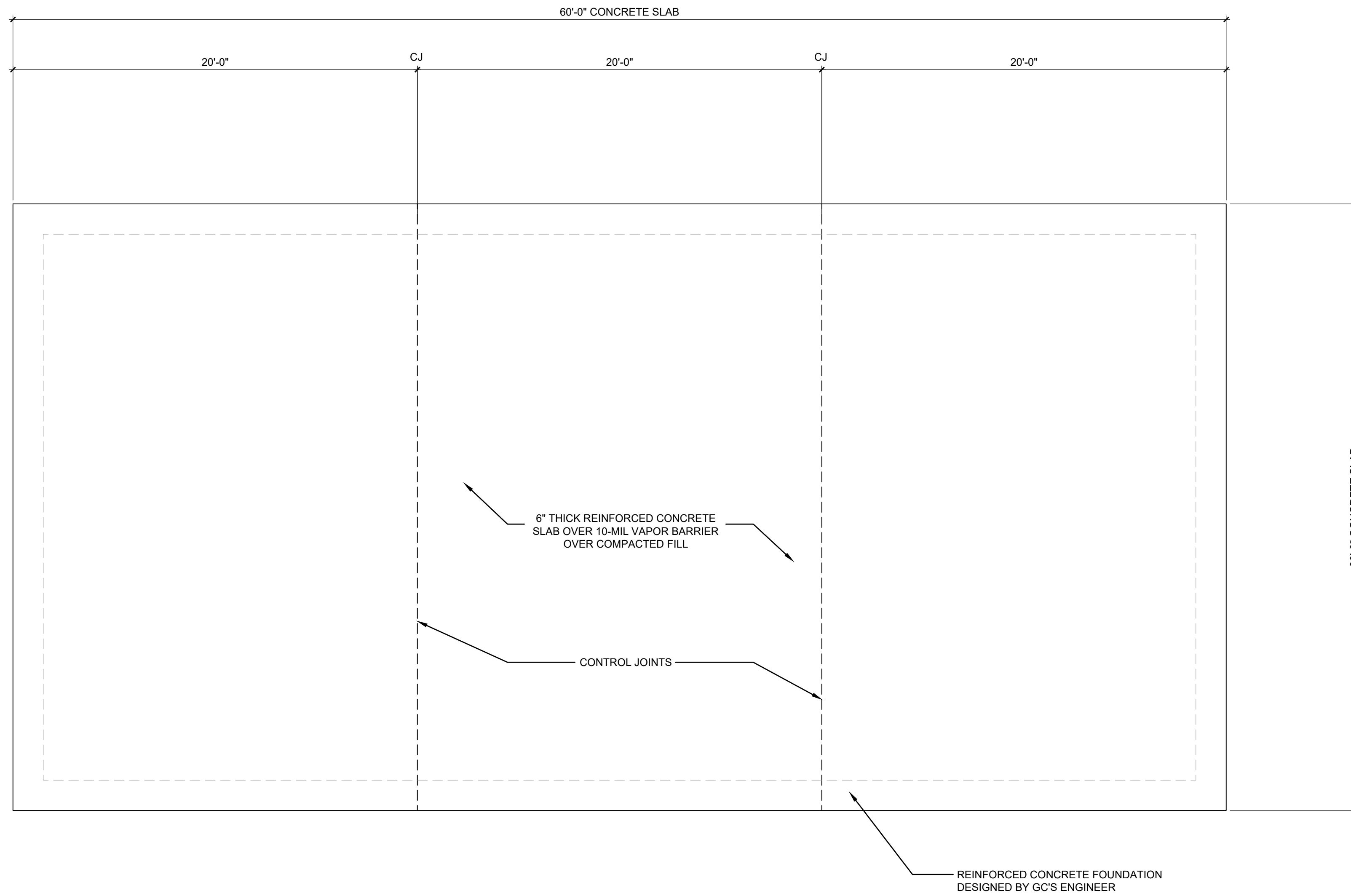
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JACKSONVILLE, FL 32221

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Sheet No.
C1.5



MATCHLINE - SEE SHEET C1.4



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



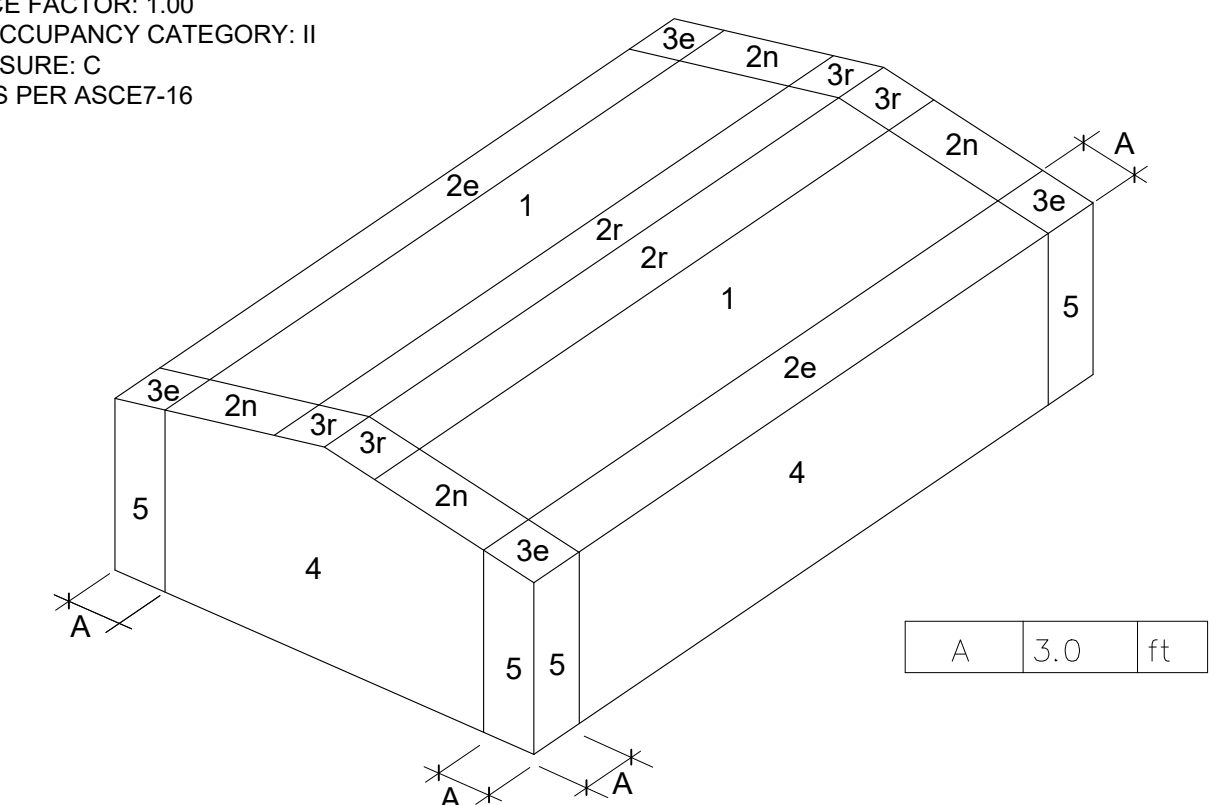
ASCE 7-16 / COMPONENT AND CLADDING / ROOF PRESSURES

EFFECTIVE WIND AREA	ZONE	+GCp	-GCP	ULTIMATE PRESSURES		ALLOWABLE PRESSURES	
				Pres (+ve) (PSF)	Pres (-ve) (PSF)	Pres (+ve) (PSF)	Pres (-ve) (PSF)
<=2 sf	1	0.70	-2.00	24.60	-61.00	14.76	-36.60
20 sf	1	0.46	-2.00	18.00	-61.00	10.80	-36.60
50 sf	1	0.37	-1.15	16.00	-37.10	9.60	-22.26
>100 sf	1	0.30	-0.50	16.00	-19.00	9.60	-11.40
<=2 sf	2e	0.70	-2.00	24.60	-61.00	14.76	-36.60
20 sf	2e	0.46	-2.00	18.00	-61.00	10.80	-36.60
50 sf	2e	0.37	-1.15	16.00	-37.10	9.60	-22.26
>100 sf	2e	0.30	-0.50	16.00	-19.00	9.60	-11.40
<=2 sf	2n	0.70	-3.00	24.60	-89.00	14.76	-53.40
10 sf	2n	0.54	-3.00	20.00	-89.00	12.00	-53.40
100 sf	2n	0.30	-1.57	16.00	-49.00	9.60	-29.40
>250 sf	2n	0.30	-1.00	16.00	-33.00	9.60	-19.80
<=2 sf	2r	0.70	-3.00	24.60	-89.00	14.76	-53.40
10 sf	2r	0.54	-3.00	20.00	-89.00	12.00	-53.40
100 sf	2r	0.30	-1.57	16.00	-49.00	9.60	-29.40
>250 sf	2r	0.30	-1.00	16.00	-33.00	9.60	-19.80
<=2 sf	3e	0.70	-3.00	24.60	-89.00	14.76	-53.40
10 sf	3e	0.54	-3.00	20.00	-89.00	12.00	-53.40
100 sf	3e	0.30	-1.57	16.00	-49.00	9.60	-29.40
>250 sf	3e	0.30	-1.00	16.00	-33.00	9.60	-19.80
<=2 sf	3r	0.70	-3.60	24.60	-105.80	14.76	-63.48
10 sf	3r	0.54	-3.60	20.00	-105.80	12.00	-63.48
50 sf	3r	0.37	-2.34	16.00	-70.60	9.60	-42.36
>100 sf	3r	0.30	-1.80	16.00	-55.40	9.60	-33.24

ASCE 7-16 / COMPONENT AND CLADDING / WALL PRESSURES

EFFECTIVE WIND AREA	ZONE	+GCp	-GCP	ULTIMATE PRESSURES		ALLOWABLE PRESSURES	
				Pres (+ve) (PSF)	Pres (-ve) (PSF)	Pres (+ve) (PSF)	Pres (-ve) (PSF)
<=10 sf	4	1.00	-1.10	33.00	-35.80	19.80	-21.48
50 sf	4	0.88	-0.98	29.60	-32.40	17.76	-19.44
200 sf	4	0.77	-0.87	26.60	-29.40	15.96	-17.64
>500 sf	4	0.70	-0.80	24.60	-27.40	14.76	-16.44
<=10 sf	5	1.00	-1.40	33.00	-44.20	19.80	-26.52
50 sf	5	0.88	-1.15	29.60	-37.30	17.76	-22.38
200 sf	5	0.77	-0.94	26.60	-31.40	15.96	-18.84
>500 sf	5	0.70	-0.80	24.60	-27.40	14.76	-16.44

WIND CRITERIA:
 BASIC WIND SPEED: 95 MPH (3-SECOND GUST)
 ULTIMATE WIND SPEED: 123 MPH (3 SECOND GUST)
 IMPORTANCE FACTOR: 1.00
 BUILDING OCCUPANCY CATEGORY: II
 WIND EXPOSURE: C
 PRESSURES PER ASCE7-16



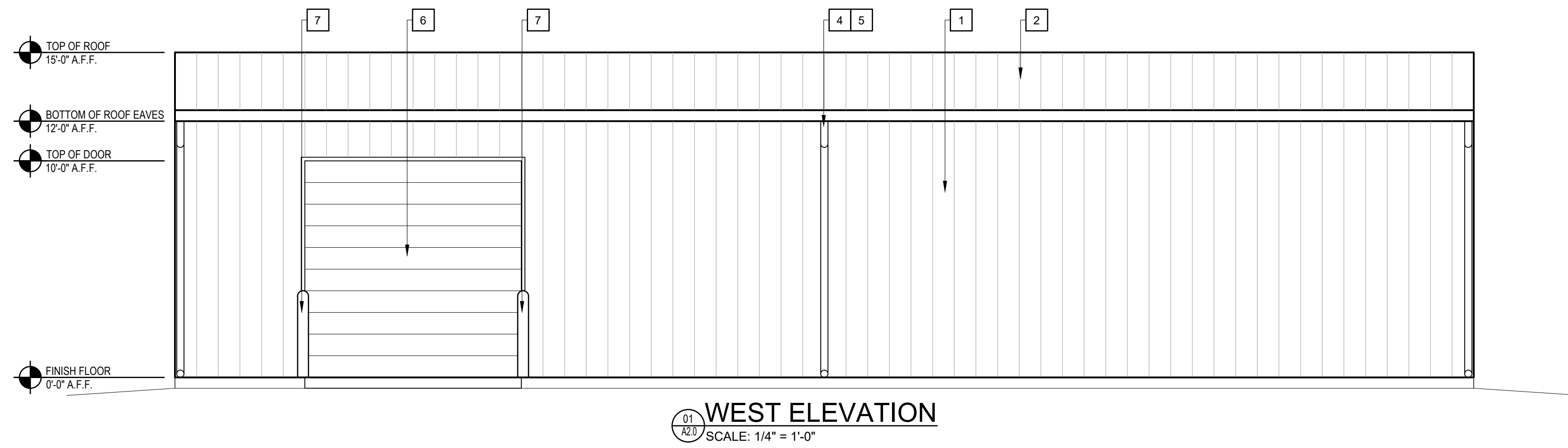
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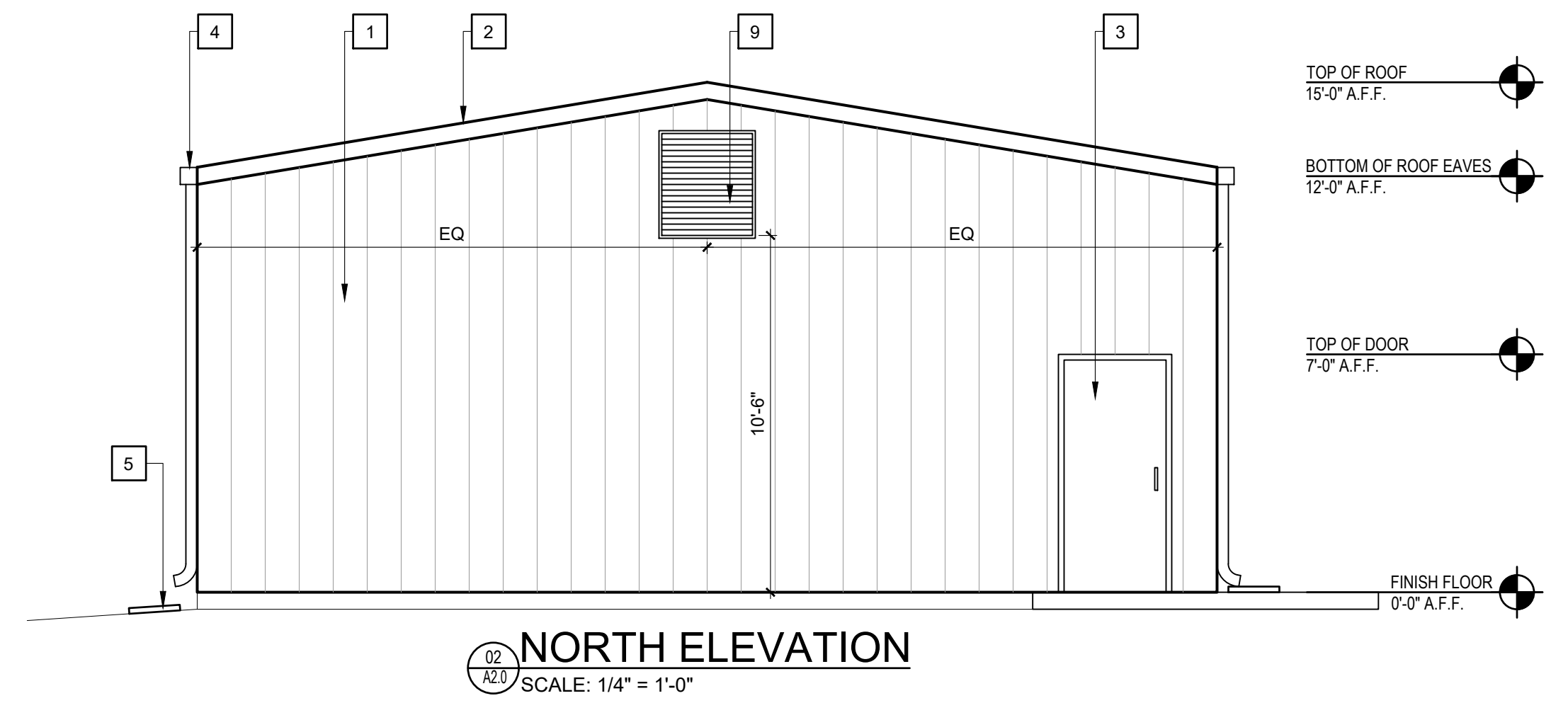
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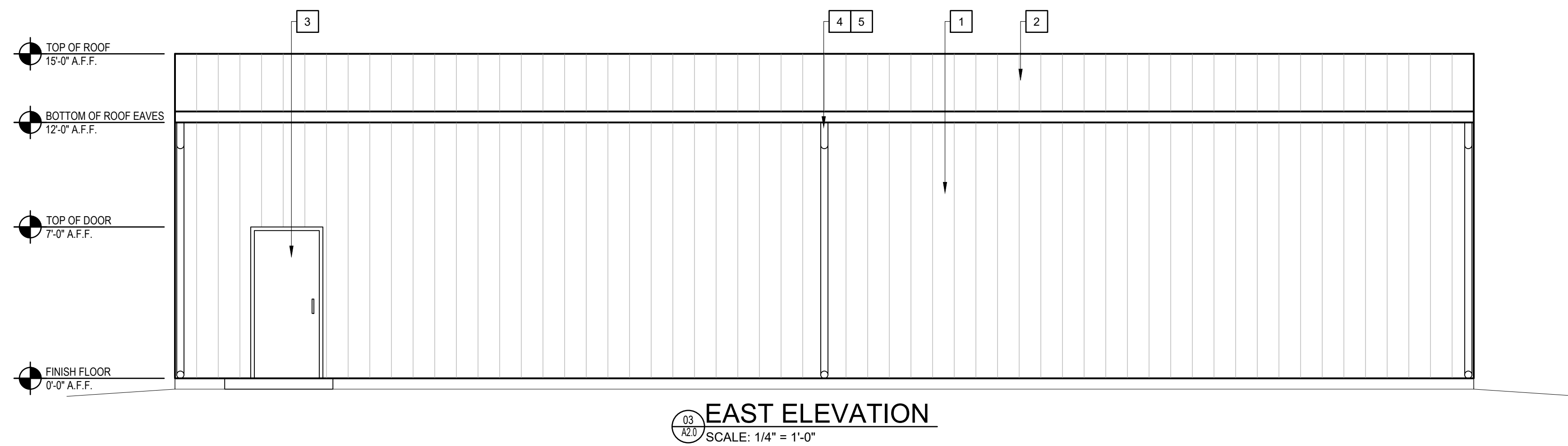
FOUNDATION PLAN
SNYDER FMS PEMB STORAGE
 8900 NORMANDY BLVD., JACKSONVILLE, FL.
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 Sheet No.
A1.1



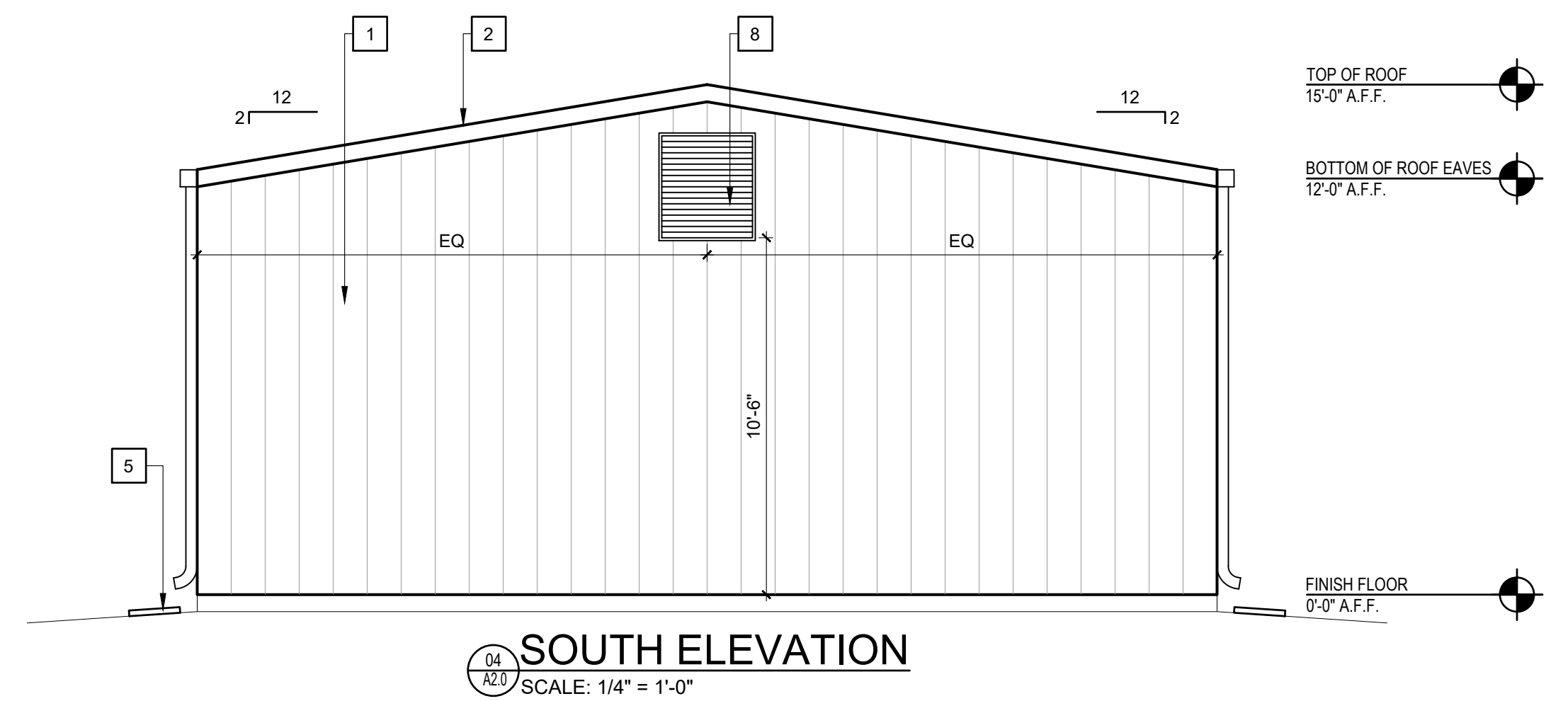
WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
1	26GA GALVANIZED STEEL SIDING - RIBBED AND EXPOSED FASTENER. COLOR OF SIDING BY OWNER. NEW TRIM AND FLASHING AS REQUIRED.
2	26GA GALVANIZED STEEL ROOFING (GALVALUM) RIBBED AND EXPOSED FASTENER. COLOR OF ROOF BY OWNER. NEW TRIM AND FLASHING AS REQUIRED.
3	WALK DOOR, FRAME, AND HARDWARE.
4	GUTTERS AND DOWNSPOUT - PRE-FINISHED ALUMINUM. COLOR BY OWNER.
5	SPLASH BLOCK
6	10'-0" X 10'-0" OVERHEAD DOOR.
7	BOLLARD, PAINTED.
8	32" x 36" LOUVER WITH INSECT SCREEN - REFER TO MECHANICAL.
9	32" x 36" LOUVER WITH INSECT SCREEN AND OPTIONAL EXHAUST FAN - REFER TO MECHANICAL.

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BUILDING ELEVATIONS

SNYDER FMS PEMB STORAGE
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A2.0



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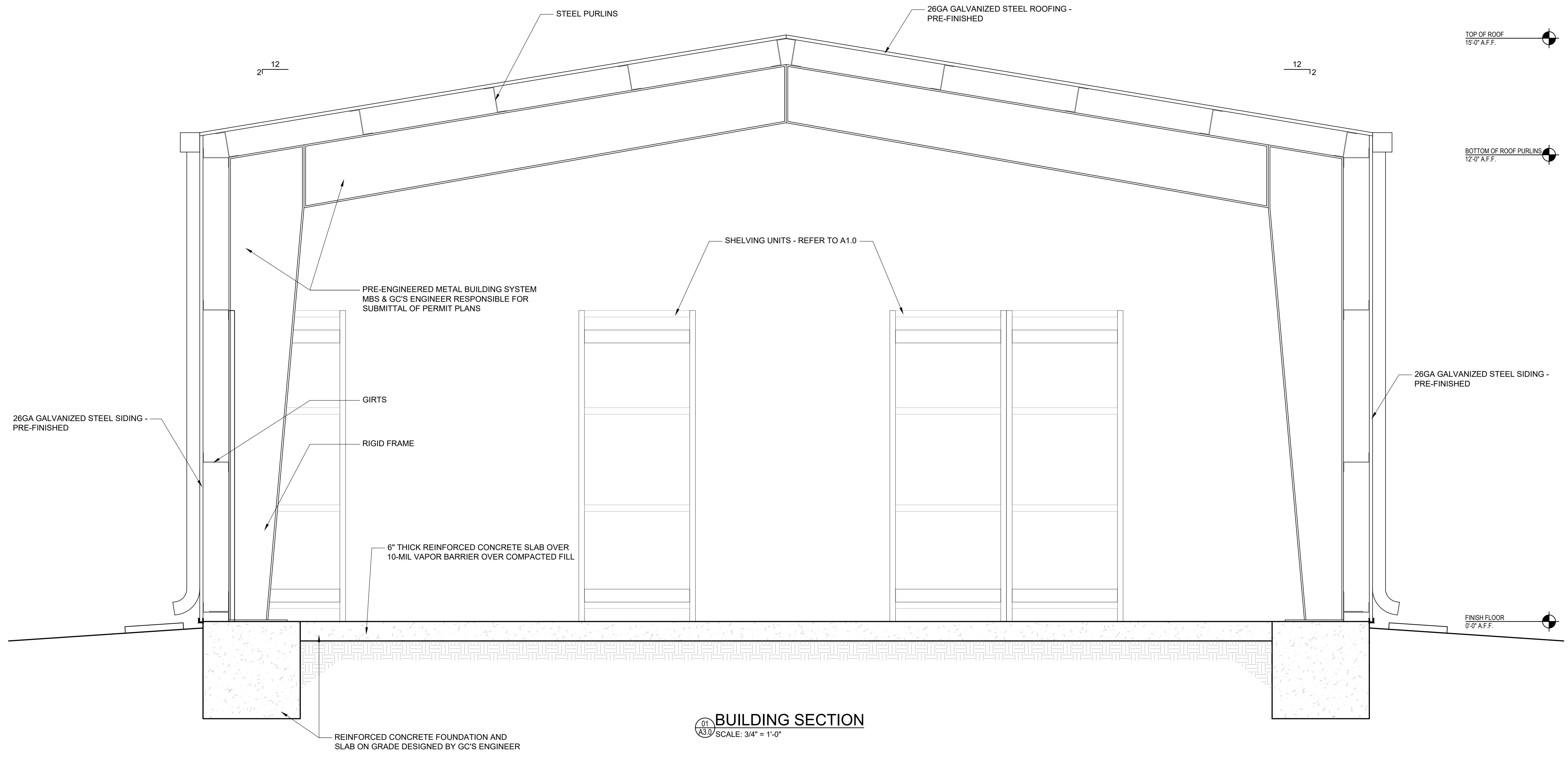
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BUILDING SECTION

SNYDER FMS PEMB STORAGE
 9900 NORMANDY BLVD., JACKSONVILLE, FL.

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Sheet No.
A3.0



BUILDING SECTION
 SCALE: 3/4" = 1'-0"

LOUVER SCHEDULE

TAG	CFM	SIZE W"XH"	MAX. FPM	FREE AREA	BASIS OF DESIGN	NOTES
L-1	3600	32X36	823	4.4	GREENHECK ESD-635X	1
L-2	3600	32X36	823	4.4	GREENHECK ESD-635X	2

NOTES:
1. PROVIDE INSECT SCREEN
2. PROVIDE BIRD SCREEN

EXHAUST FAN SCHEDULE ABI #4

TAG	AREA SERVED	TYPE	DRIVE	CFM	MOTOR RPM	ESP (IN.)	BHP	HP	V/PH/Hz	APPROXIMATE WALL OPENING SIZE (IN.)	MANUFACTURER/ MODEL NO.	NOTES
EF-1	WAREHOUSE	PROPELLER WALL FAN	DIRECT	3600	1725/1692	0.5	0.772	7/8	115/1/60	32X36	GREENHECK/ XWD-VF	1

NOTES:
1. PRPOVIDE THERMOSTAT CONTROL, SET TEMPERATURE TO 85°F.

HVLS FAN SCHEDULE ABI #3

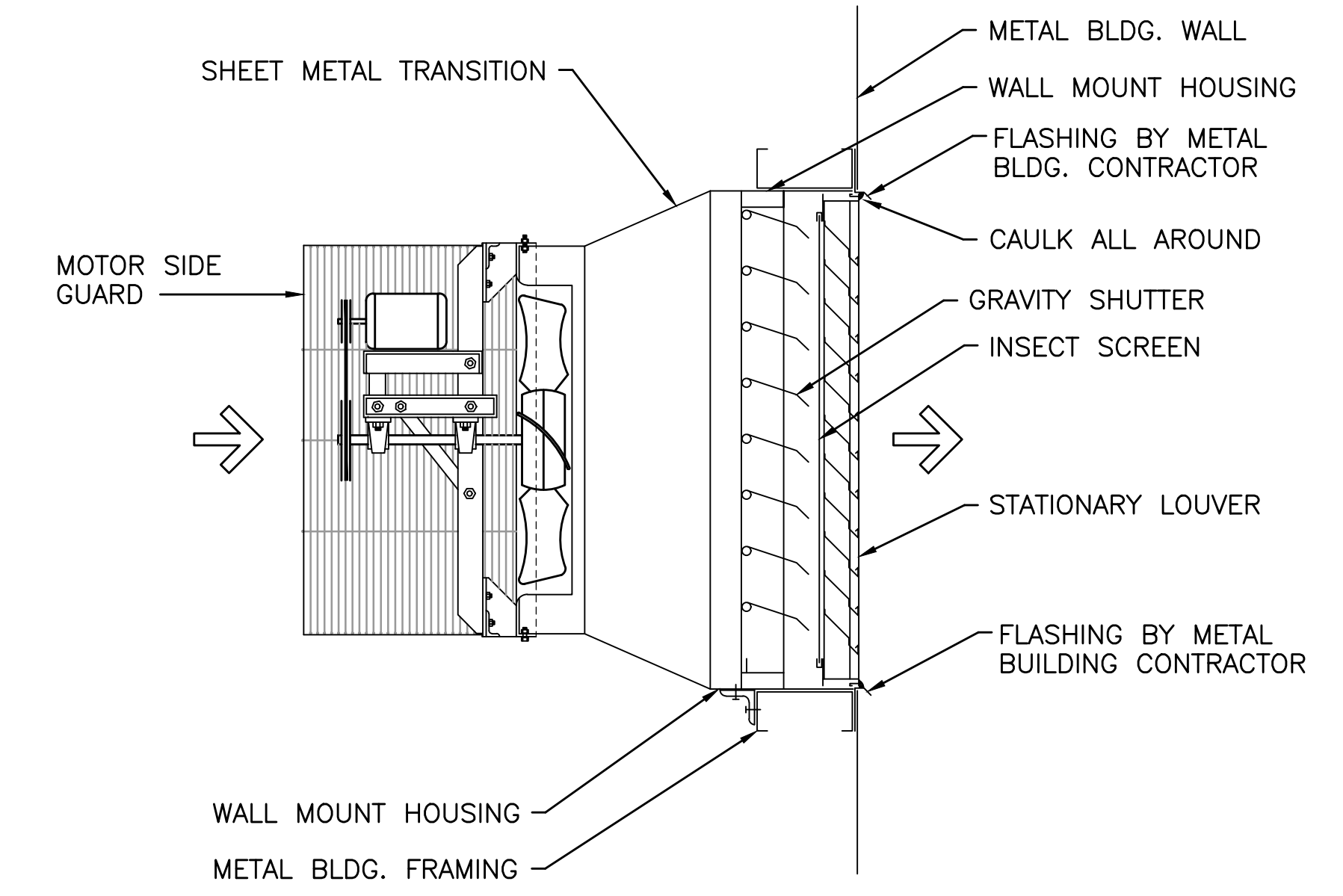
TAG	MANUFACTURER	MODEL	DIAMETER (IN)	# OF AIR FOLDS	WEIGHT (LBS)	FAN SPEED	MAX RPM	CONTROL	VOLT/PH	MAX WATTS	MAX AMPS	NOTES
F-1 F-2	BIG ASS FANS	i6	60	6	34	7 SPEEDS	200	SENSEME	100-277 / 1	67.3	0.57	1

NOTES:
1. VERIFY EXTENSION TUBE LENGTH AND MOUNTING BRACKET WITH MANUFACTURER PRIOR TO ORDERING.

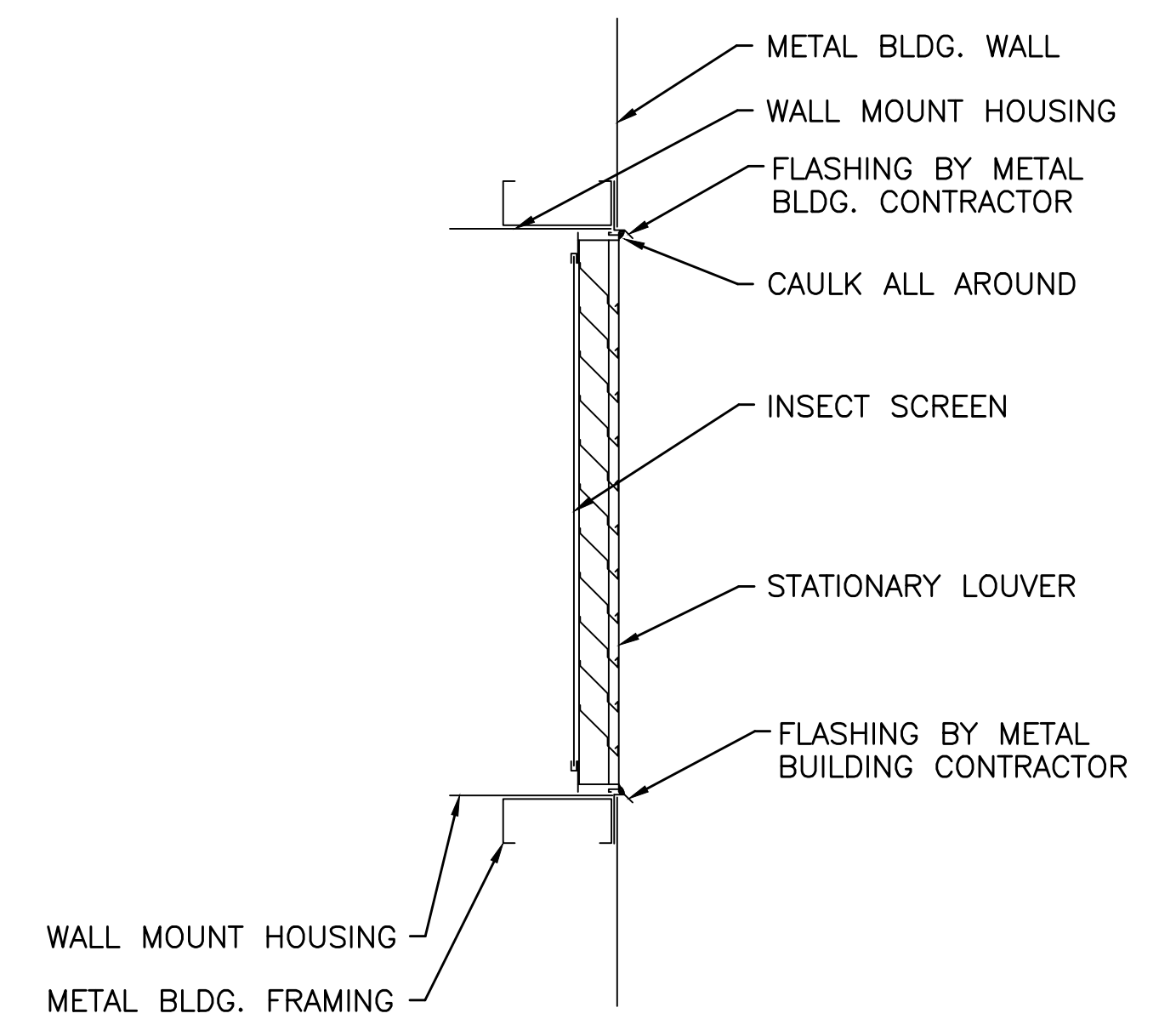
MECHANICAL PLAN NOTES

1. BOTTOM OF FAN TO BE 12'-0" AFF. PROVIDE EXTENSION TUBE AND MOUNTING BRACKET AS REQUIRED. COORDINATE FAN LOCATION WITH LIGHTING LAYOUT.

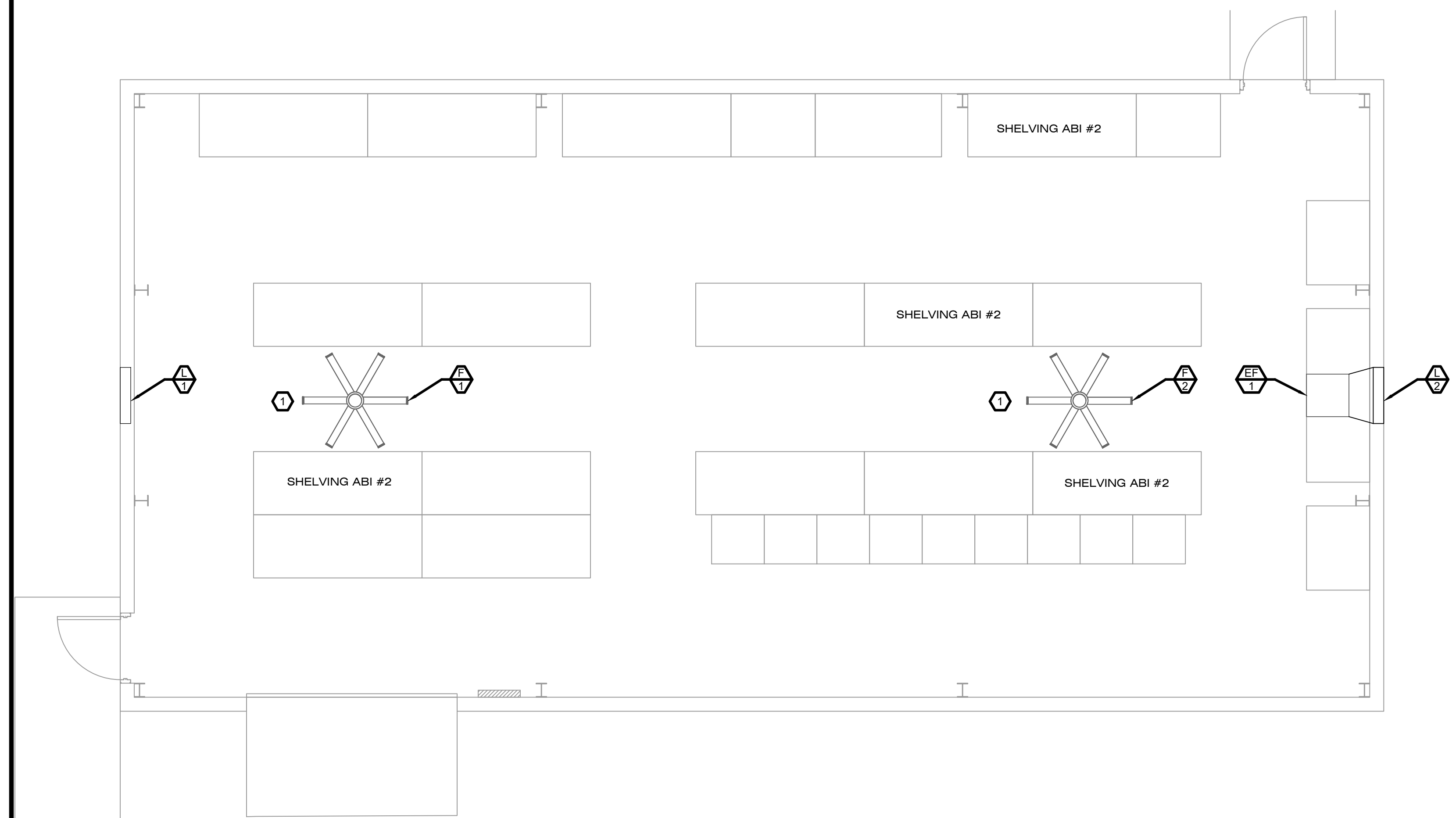
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WALL EXHAUST FAN DETAIL
NTS



LOUVER DETAIL
NTS



MECHANICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
N

No.	Date	Revision
1		
2		
3		
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Designed: SJC
Drawn: SJC
Checked: JAD
Job No.: F11508
Date: 3/17/2021 © 2021

MECHANICAL FLOOR PLAN
SNYDER FMS PEMB STORAGE
9900 NORMANDY BLVD., JACKSONVILLE, FL.

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M1.0



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 Checked: GDT
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 Date: 3/17/2021 © 2021

ELECTRICAL GENERAL NOTES
 AND SHEET INDEX
SNYDER FMS PEMB STORAGE
 9900 NORMANDY BLVD., JACKSONVILLE, FL.

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ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DISCONNECT SWITCH - XXXXX/XX = FRAME SIZE / FUSE SIZE / POLES/ENCLOSURE.
	FLUSH MOUNTED PANEL.
	SURFACE MOUNTED PANEL.
	ABOVE GRADE CIRCUIT.
	BELOW GRADE CIRCUIT.
	CIRCUIT HOMERUN.
	CONDUIT STUB OUT AND CAP.
	WALL OUTLET BOX & 20 AMP DUPLEX RECEPTACLE.
	WALL OUTLET BOX & 20 AMP GFI RECEPTACLE.
	WALL OUTLET BOX & 20 AMP RECEPTACLE WITH WEATHERPROOF-IN-USE COVER.
	WALL OUTLET BOX & QUAD RECEPTACLE.
	TELEPHONE/DATA OUTLET.
	DATA OUTLET.
	SPECIAL RECEPTACLE FOR EQUIPMENT, NEMA TYPE AS INDICATED
	CEILING MOUNTED OCCUPANCY SENSOR.
	PILOT SWITCH.
	SINGLE POLE LIGHT SWITCH.
	THREE WAY LIGHT SWITCH.
	CONDUIT STUB UP LOCATION.

NOTE:
 1. THESE ARE STANDARD SYMBOLS AND MAY NOT ALL APPEAR ON THE PROJECT DRAWINGS.

SCOPE OF WORK

1. NEW EXTERIOR DOOR LIGHTS TO BE INSTALLED AT DOORS.
2. NEW INTERIOR LED LIGHTING TO BE INSTALLED.
3. NEW EMERGENCY LIGHTING TO BE INSTALLED.
4. NEW 100A PANEL BOARD WITH NEW BREAKERS TO BE INSTALLED.
5. NEW FIBER OPTIC CABLE AND TELEPHONE CABLE TO BE INSTALLED.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE, STATE, AND LOCAL CODE, STANDARDS AND ORDINANCES.
2. THE DRAWINGS ARE DIAGRAMMATIC AND THE OMISSION OF AN ITEM NECESSARY FOR THE PROPER FUNCTIONING OF THE SYSTEM DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THAT ITEM.
3. NOTIFY ARCHITECT/ ENGINEER OF ANY CONFLICTS PRIOR TO PURCHASING EQUIPMENT AND PRIOR TO CUTTING OPENING.
4. PRIOR TO BID, COORDINATE ALL ELECTRICAL WORK WITH EXISTING BUILDING AND OTHER TRADES. SEE SPECIFICATIONS FOR REQUIREMENTS.
5. CONTRACTOR SHALL NOT CONCEAL ANY WORK UNTIL INSPECTED BY ELECTRICAL INSPECTOR AND/OR ARCHITECT/ENGINEER. CONTRACTOR SHALL NOTIFY A/E OF A SCHEDULED INSPECTION TIME WITHIN 72 HOURS. CONTRACTORS SHALL NOT CONCEAL WORK UNTIL APPROVED.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR ON REQUIREMENTS FOR STRUCTURAL SUPPORT AND FRAMING FOR ALL ELECTRICAL EQUIPMENT AND SYSTEMS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND VERIFYING STRUCTURAL SUPPORT AND FRAMING.
7. THE SIZE, LOCATION, WEIGHT, AND NEC ARTICLE 110 REQUIRED SERVICE CLEARANCES OF EQUIPMENT INSTALLED UNDER DIVISION 16 ELECTRICAL SHALL BE COORDINATED WITH ALL OTHER TRADES.
8. WHERE CROWDED LOCATIONS EXIST OR WHERE THERE IS A POSSIBILITY OF CONFLICT BETWEEN TRADES, CONTRACTOR SHALL MAKE COMPOSITE DRAWINGS SHOWING THE EXACT LOCATION OF DUCTS, CONDUIT AND EQUIPMENT. DRAWINGS SHALL BE BASED ON FIELD MEASUREMENTS AND, AFTER CONSULTATION AND AGREEMENT BETWEEN THE TRADES, SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION OF THE WORK.
9. SURGE PROTECTION SHALL BE PROVIDED ON ALL LIGHTING CABLES ENTERING/ EXITING BUILDINGS THAT CONNECT TO ELECTRICAL EQUIPMENT.
10. INSTALL SURGE PROTECTIVE DEVICE IN EACH PANEL WITH EQUIPMENT SHOWN ON THE PANEL SCHEDULE AS SURGE DEVICE OR TVSS. LOCATE SPD CB IN BREAKER POSITION CLOSEST TO END OF BUS FED (TOP OR BOTTOM) AND REGARDLESS OF LOCATION SHOWN IN SCHEDULE. REARRANGE CIRCUITS AS REQUIRED.
11. ALL SITE EXCAVATION OR TRENCHING SHALL BE DONE BY HAND. ALL CONDUITS SHALL HAVE A MINIMUM BURIAL DEPTH OF 24".
12. ELECTRICAL CONTRACTOR IS TO PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT AND RACEWAYS WITH LABELING TAGS AT EACH END.
13. ALL RACEWAY TERMINATION SHALL HAVE BUSHINGS AND BE GROUNDED WHERE RACEWAY IS METAL.
14. ALL WALL OUTLETS AND FLOOR OUTLETS SHALL HAVE A 3/4" MINIMUM CONDUIT CONTINUOUS TO PANEL OF BRANCH CIRCUIT.
15. ALL NEW PANELS SHALL BE BONDED TO THE BUILDING'S GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC ARTICLE 250-58.
16. ALL BARE NON GALVANIZED METAL SURFACES SHALL BE PRIMED AND PAINTED TO PREVENT ANY RUST, INCLUDING BUT NOT LIMITED TO ANGLE FRAMING, EQUIPMENT SUPPORTS, MOUNTING HARDWARE, ETC.
17. NO SPLICES SHALL BE PERMITTED IN UNDERGROUND/FLUSH IN-GRADE PULL BOXES WITHOUT PRIOR WRITTEN APPROVAL BY ENGINEER OF RECORD.
18. DO NOT SCALE FROM THESE DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS.
19. ALL EQUIPMENT SHALL HAVE A MEANS OF DISCONNECT REQUIRED BY NEC.
20. ALL RACEWAYS SHALL HAVE A GREEN GROUNDING CONDUCTOR.
21. WHERE PENETRATIONS ARE MADE THROUGH A REQUIRED FIRE-RESISTIVE WALL, FLOOR, OR PARTITION FOR THE PURPOSE OF RUNNING RACEWAY CARRYING ELECTRICAL, TELEPHONE, TELEVISION, OR LOCAL COMMUNICATION AND/OR SIGNALING CIRCUITS, PROVIDE FIRE STOPPING AROUND THE OPENING OF THE RACEWAY PER THE STATE BUILDING CODE. MAINTAIN COORDINATION WITH THE GENERAL CONTRACTOR TO INSURE THAT THIS FIRE STOPPING IS ACCOMPLISHED.
22. EC SHALL FURNISH AND INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE BUILDING EXPANSION JOINTS ARE USED.
23. ALL METAL SURFACES SHALL BE GROUNDED.

TYPICAL MOUNTING HEIGHTS

WALL SWITCHES	+48" A.F.F.
RECEPTACLE OUTLETS (GENERAL)	+18" A.F.F.
VOICE AND DATA	+48" A.F.F.

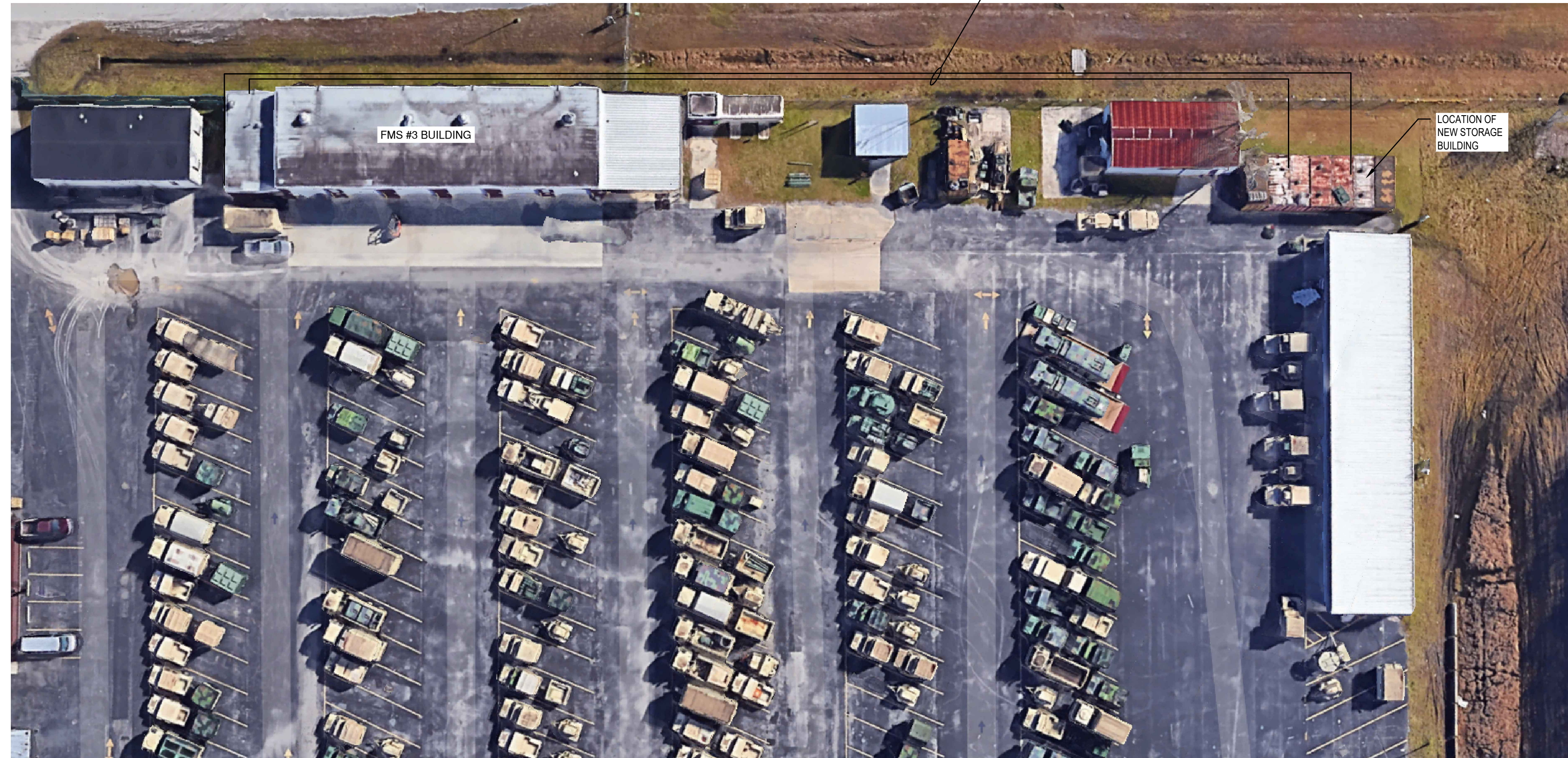
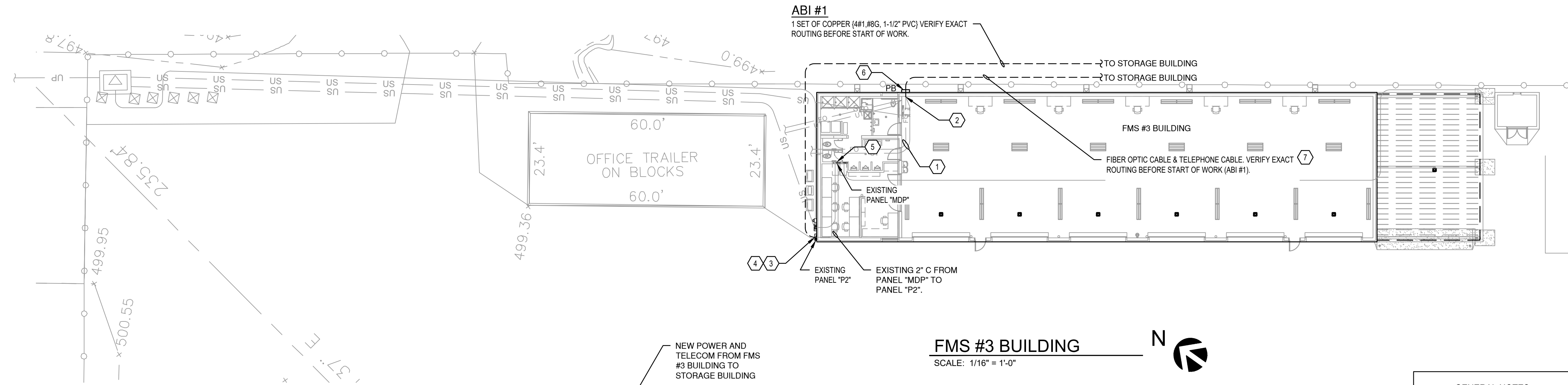
ABBREVIATIONS

MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION
ABV	ABOVE	CUH	CABINET UNIT HEATER	F	FUSE	NTS	NOT TO SCALE	TC	TERMINAL CABINET
AFF	ABOVE FINISHED FLOOR	CT	CURRENT TRANSFORMER	FUT	FUTURE	OCPP	OVERCURRENT PROTECTION DEVICE	TEL	TELEPHONE
ACL	ACROSS THE LINE	HZ	HERTZ (CYCLES/SECOND)	GRD,G	GROUND	PNL	PANEL	TTC	TELEPHONE TERMINAL CABINET
AC	ALTERNATING CURRENT	DED	DEDICATED CIRCUIT	GFI,GFCI	GROUND FAULT INTERRUPTER	PH	PHASE	TV	TELEVISION
A	AMPERE	DC	DIRECT CURRENT	HP	HORSE POWER	PT	POTENTIAL TRANSFORMER	XFMR	TRANSFORMER
AMP	AMPERE	DS	DISCONNECT SWITCH	IC	INTERRUPTING CAPACITY	PWR	POWER	TL	TWIST LOCK
AIC	AMPERES INTERRUPTING CAPACITY	DPDT	DOUBLE POLE DOUBLE THROW	IMC	INTERMEDIATE GRADE CONDUIT	PRI	PRIMARY	UL	UNDERWRITER'S LABORATORIES
AL	ALUMINUM	ECC	EQUIPMENT GROUNDING CONDUCTOR	JB	JUNCTION BOX	PA	PUBLIC ADDRESS	UH	UNIT HEATER
ATS	AUTOMATIC TRANSFER SWITCH	ELEC	ELECTRIC	KW	KILOWATT	PB	PULL BOX	UNO	UNLESS NOTED OTHERWISE
BAL	BALLAST	ETR	EXISTING TO REMAIN	KVA	KILOVOLT-AMPERE	RT	RAINTIGHT	VP	VAPORPROOF
BR	BRANCH	EWC	ELECTRIC WATER COOLER	KO	KNOCKOUT	RECEP	RECEPTACLE	VT	VAPORTIGHT
BKR	BREAKER	EWHR	ELECTRIC WATER HEATER	LTG	LIGHTING	RC	REMOTE CONTROL	V	VOLT
BGB	BUILDING GROUND BOX	EM	EMERGENCY	LS	LOUD SPEAKER	R	RELOCATED	VA	VOLT-AMPERE
CAB	CABINET	EQ	EQUIPMENT	LV	LOW VOLTAGE	SEC	SECONDARY	WT	WATERTIGHT
CATV	CABLE TELEVISION	EUH	ELECTRIC UNIT HEATER	MH	MANHOLE	SC	SHORT CIRCUIT	W	WATT
CLG	CEILING	EX	EXISTING	MFR	MANUFACTURER	SP	SINGLE POLE	WP	WEATHERPROOF
CB	CIRCUIT BREAKER	FPB	FAN POWERED BOX	MTR	MOTOR	SPST	SINGLE POLE SINGLE THROW		
CCT	CIRCUIT	FA	FIRE ALARM	MCP	MOTOR CIRCUIT PROTECTOR	SPDT	SINGLE POLE DOUBLE THROW		
CCTV	CLOSED CIRCUIT TELEVISION	FAAP	FIRE ALARM ANNUNCIATOR PANEL	MCC	MOTOR CONTROL CENTER	SPKR	SPEAKER		
COAX	COAXIAL	FACP	FIRE ALARM CONTROL PANEL	MTD	MOUNTED	SPEC	SPECIFICATION		
CU	COEFFICIENT OF UTILIZATION	FDC	FIRE DEPARTMENT CONNECTION	NEC	NATIONAL ELECTRICAL CODE (NFPA 70-14)	SS	STAINLESS STEEL		
C	CONDUIT	FB	FLOORBOX	NL	NIGHT LIGHT (UNSWITCHED CCT.)	STA	STATION		
CONT	CONTINUOUS	FBC	FLORIDA BUILDING CODE 6TH EDITION	NC	NORMALLY CLOSED	SW	SWITCH		
CP	CONTROL PANEL	FEC	FLORIDA ENERGY CODE 6TH EDITION	NO	NORMALLY OPENED	SWBD	SWITCHBOARD		
Cu	COPPER	FVNR	FULL VOLTAGE NON-REVERSING	NIC	NOT IN CONTRACT	SWGR	SWITCHGEAR		

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS PROJECT.

ELECTRICAL DRAWING INDEX	
SHEET	DESCRIPTION
EO.1	ELECTRICAL GENERAL NOTES AND SHEET INDEX
E1.0	EXISTING ELECTRICAL SITE PLAN
E1.1	NEW ELECTRICAL BUILDING PLAN
E2.0	ELECTRICAL PANEL SCHEDULE

ALL WORK AND EQUIPMENT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE LATEST LOCAL AND NATIONAL ELECTRICAL CODE ADOPTED BY THE JURISDICTION WHERE PROJECT TAKES PLACE.



SITE PLAN
 SCALE: N.T.S.

- GENERAL NOTES**
- ALL WIRING SHALL BE IN CONDUIT. CONDUIT SIZE IS 3/4" MINIMUM UNLESS OTHERWISE NOTED. IMC CABLE (MIN. 1/2") IS ALLOWED, HOWEVER, ALL HOMERUNS SHALL BE IN CONDUIT. ENT IS NOT PERMITTED. PVC IS ACCEPTABLE WHERE ALLOWED BY CODE. CONTRACTOR MAY USE EMT, GRS OR IMC AS ALLOWED BY CODE.
 - WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
 - WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
 - MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED. PROVIDE UNSWITCHED WIRE FOR ALL BATTERY UNITS.
 - CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

- KEY NOTES:**
- EXISTING 6 STRAND FIBER OPTIC OSP CABLE AND DIRECT BURY COPPER TELEPHONE CABLE FEED FROM MAIN BUILDING TO FMS-3 BUILDING.
 - TWO (2) 2" EMT - ONE WITH FO CABLE AND TYPE LC CONNECTORS FROM 24-PORT FIBER DISTRIBUTION PANEL IN WALL-MOUNTED TELECOMMUNICATIONS RACK AND ONE WITH TELEPHONE CABLE FROM BUILDING ENTRANCE PROTECTOR / 66 BLOCK TERMINALS ON TELEPHONE BACKBOARD IN THIS APPROXIMATE LOCATION. J-HOOKS MAY BE USED ABOVE SUSPENDED CEILING IN LIEU OF CONDUIT, IN EITHER CASE. EXTEND CONDUITS THROUGH WALL TO JUNCTION BOX ON EXTERIOR. CONTRACTOR SHALL VERIFY EXACT LOCATIONS BEFORE START OF WORK.
 - PROVIDE TRANSITION FITTINGS FROM RIGID TO PVC.
 - LOCATION OF EXISTING PANEL "P2". SEE PANEL SCHEDULE ON SHEET E2.0 FOR FURTHER INFORMATION.
 - LOCATION OF EXISTING PANEL "MDP". SEE PANEL SCHEDULE ON SHEET E2.0 FOR FURTHER INFORMATION.
 - JUNCTION BOX, 8" X 8" X 6" NEMA 3R. MAINTAIN MINIMUM BEND RADIUS OF CABLES IN BOX AND PROVIDE PLASTIC BUSHING ON ALL CONDUITS. EXIT BOTTOM OF BOX WITH TWO 2" RMC CONDUITS TO GRADE. PROVIDE BITUMINOUS COATING 6" ABOVE GRADE TO 6" BELOW GRADE AND TRANSITION TO 2" PVC CONDUITS.
 - SEE E2.0 FOR CABLES AND CONDUITS. INSTALL CONDUIT AT A DEPTH OF 30" WITH WARNING TAPE 12" BELOW THE GROUND LEVEL.

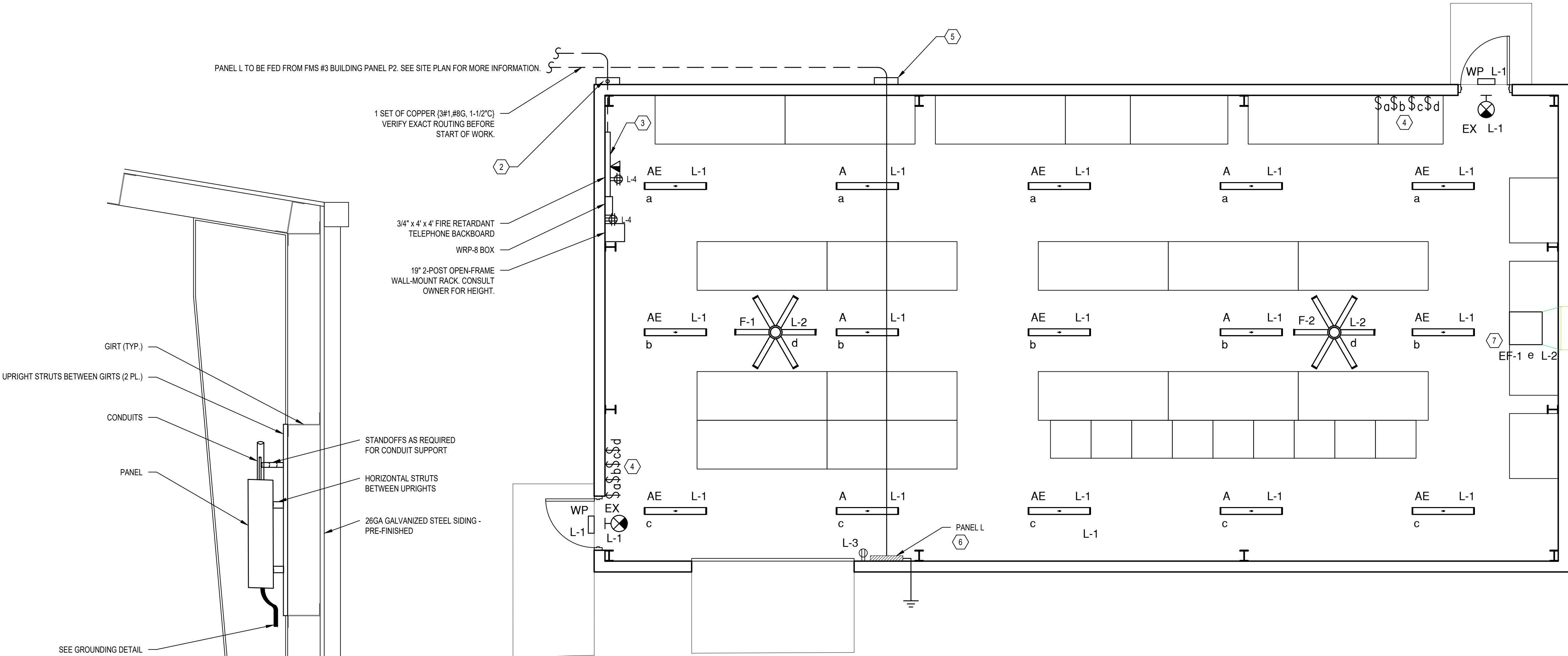
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Designed: DKB
 Drawn: DKB
 Checked: GDT
 Job No.: F11508
 Date: 3/17/2021 © 2021

EXISTING ELECTRICAL SITE PLAN
SNYDER FMS PEMB STORAGE
 9900 NORMANDY BLVD., JACKSONVILLE, FL.

Symbol	[MANUFAC]	Qty	Label	Description	LLF	Lum. Watts	Lum. Lumens
⬇	Lithonia Lighting	15	A	BLWP4 60L ADP LP835 RES7; MOUNTED 12FT AFF	0.800	49.31	6274
⬇	Lithonia Lighting	15	AE	BLWP4 60L ADP LP835 RES7 E10WLCP; MOUNTED 12FT AFF	0.800	49.31	6274
⬇	Lithonia Lighting	3	EM	ELM2L	0.001	0	6274
⬇	Lithonia Lighting	2	EX	LHQM LED R	0.001	0	6274
⬇	Lithonia Lighting	2	WP	WDGE2 LED P2 40K 60CRI VF	1.000	14.53	2024

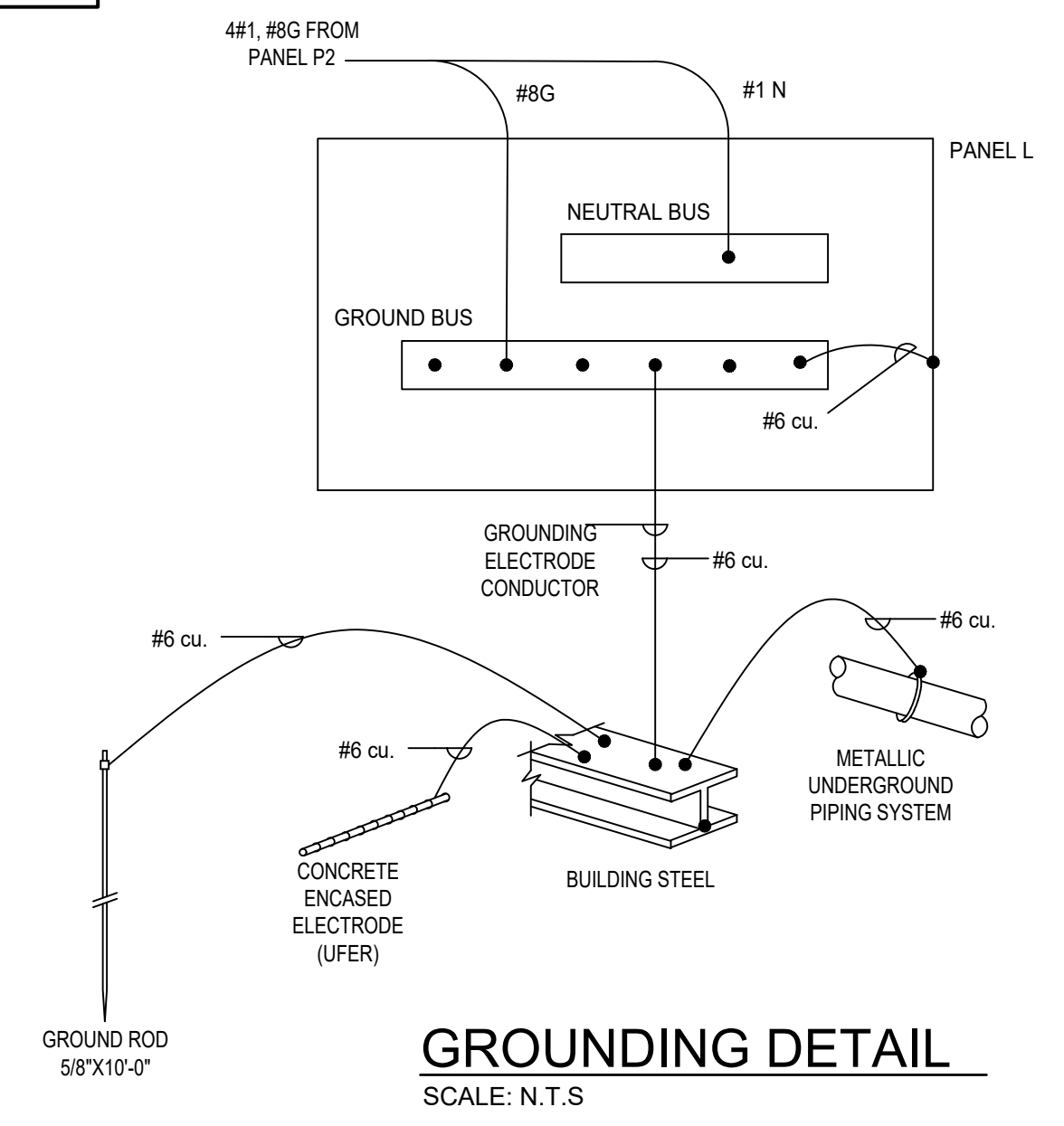
- GENERAL NOTES**
- ALL FIXTURES SHALL BE CIRCUITED TO PANEL L UNLESS OTHERWISE NOTED. NUMBERS INDICATE CIRCUITING.
 - ALL WIRING SHALL BE IN CONDUIT. CONDUIT SIZE IS 3/4" MINIMUM UNLESS OTHERWISE NOTED. MC CABLE (MIN. 12") IS ALLOWED, HOWEVER, ALL HOMERUNS SHALL BE IN CONDUIT. ENT IS NOT PERMITTED. PVC IS ACCEPTABLE WHERE ALLOWED BY CODE. CONTRACTOR MAY USE EMT, GRS OR IMC AS ALLOWED BY CODE.
 - PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
 - WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
 - MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED. PROVIDE UNSWITCHED WIRE FOR ALL BATTERY UNITS.
 - CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.
 - EACH LIGHTING CIRCUIT REQUIRES A SEPARATE NEUTRAL.
 - VERIFY MOUNTING AND LOCATION OF ALL FIXTURES WITH ARCHITECT PRIOR TO INSTALLATION.
 - ALL EMERGENCY, EXIT AND NIGHT LIGHT BATTERY UNITS SHALL BE PROVIDED WITH UNSWITCHED HOT.
 - EMERGENCY LIGHTING SHALL BE WIRED AHEAD OF ALL LOCAL SWITCHING.
 - MECHANICAL EQUIPMENT "F-1", "F-2", AND "EF-1" SHOWN ONLY TO ILLUSTRATE CIRCUITING. COORDINATE WITH MECHANICAL FLOOR PLAN FOR FURTHER INFORMATION.
 - ALL WIRING SHALL BE #10, #10G, 3/4" UNLESS OTHERWISE NOTED.
 - RECEPTACLE SHALL BE INSTALLED PER NEC 210.64.



- KEY NOTES:**
- TWO (2) 2" PVC CONDUITS WITH PULLSTRINGS AND METALLIC TRACE WIRE FROM FMS #3 BUILDING APPROXIMATELY 45' AWAY. INSTALL 6-STRAND MULTIMODE 50/125μ, OM3, OSP FIBER OPTIC CABLE AND 12-PAIR OSP DIRECT BURIED TELEPHONE CABLE (ABI #1).
 - TRANSITION FROM PVC TO RMC 6" BELOW GRADE WITH BITUMINOUS COATING TO 6" ABOVE GRADE. SECURE TWO (2) 2" RMC CONDUITS TO EXTERIOR OF BUILDING AND CONNECT TO 6" X 8" X 8" NEMA 3R JUNCTION BOX WITH SCREW COVER INSTALLED 10" ABOVE GRADE. MAINTAIN MINIMUM BEND RADIUS OF CABLES IN BOX AND EXIT BACK OF BOX THROUGH WALL WITH 2" EMT CONDUITS. PROVIDE PLASTIC BUSHINGS ON ALL CONDUITS (ABI #1).
 - SECURE TWO (2) 2" EMT CONDUITS TO ROOF PURLINS INSIDE BUILDING USING CONDUIT HANGERS OR TRAPEZE. CONSULT OWNER FOR LOCATION OF TELEPHONE BACKBOARD AND TERMINATE CONDUITS WITH PLASTIC BUSHING AT TELEPHONE BACKBOARD WITH 25' OF EACH CABLE COILED FOR CONNECTION BY OTHERS (ABI #1).
 - LIGHT SWITCHES SHALL BE NIGHT WIRELESS POWERED.
 - 1-1/2" LB CONDUIT BODY. TRANSITION FROM PVC TO RMC 6" BELOW GRADE WITH BITUMINOUS COATING TO 6" ABOVE GRADE. SECURE RMC TO BUILDING EXTERIOR AND CONNECT TO "LB" WITH EMT THROUGH WALL TO PANEL "L". SECURE EMT TO ROOF PURLINS WITH CONDUIT HANGERS.
 - SEE GROUNDING DETAIL. DO NOT BOND NEUTRAL TO GROUND PER NEC 250.32(B)(1)
 - PROVIDE 20A TOGGLE SWITCH AS DISC. FOR EF-1 IN LINE OF SIGHT OF EQUIPMENT.

PANEL MOUNTING DETAIL
SCALE: N.T.S

NEW ELECTRICAL BUILDING PLAN
SCALE: 1/4" = 1'-0"



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Surveyor No. LB7143
Architect No. AA26000926
Landscape No. LC000288



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Designed: DKB
Drawn: DKB
Checked: GDT
Job No.: F11508
Date: 3/17/2021 © 2021

NEW ELECTRICAL BUILDING PLAN
SNYDER FMS PEMB STORAGE
9900 NORMANDY BLVD., JACKSONVILLE, FL.

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.
Sheet No.
E1.1

