

ADDENDUM NUMBER ONE

DATE: 01/06/21

CLAY ELECTRIC Demolition of Old Keystone Heights District Office Building & One Bay at Transportation Building (3702.151)

Brame Heck Architects Inc.
606 Northeast First Street
Gainesville, FL 32601
Phone (352) 372-0425

TO: All bidders of record, persons, plan rooms and agencies who have received Drawings and Specifications. **NOTE: It is the responsibility of all General Contractors to notify their subcontractors and suppliers of all addendum changes, clarifications and/or additions to the Specifications and Drawings.**

PURPOSE: To make certain changes, clarifications and/or additions to the Specifications and Drawings. Items refer to that portion of the Specifications or Drawings where item is discussed or shown. This listing is to establish the intent of the necessary modifications to the Documents and should not be considered an exhaustive listing of the locations or extent of these changes.

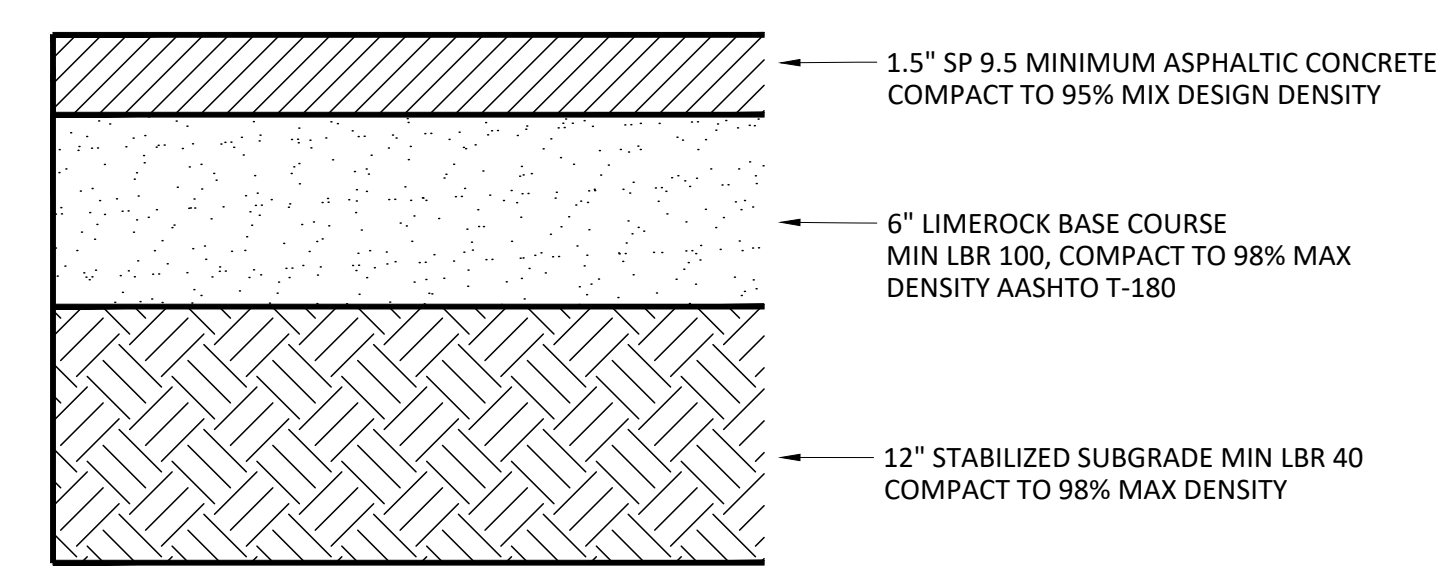
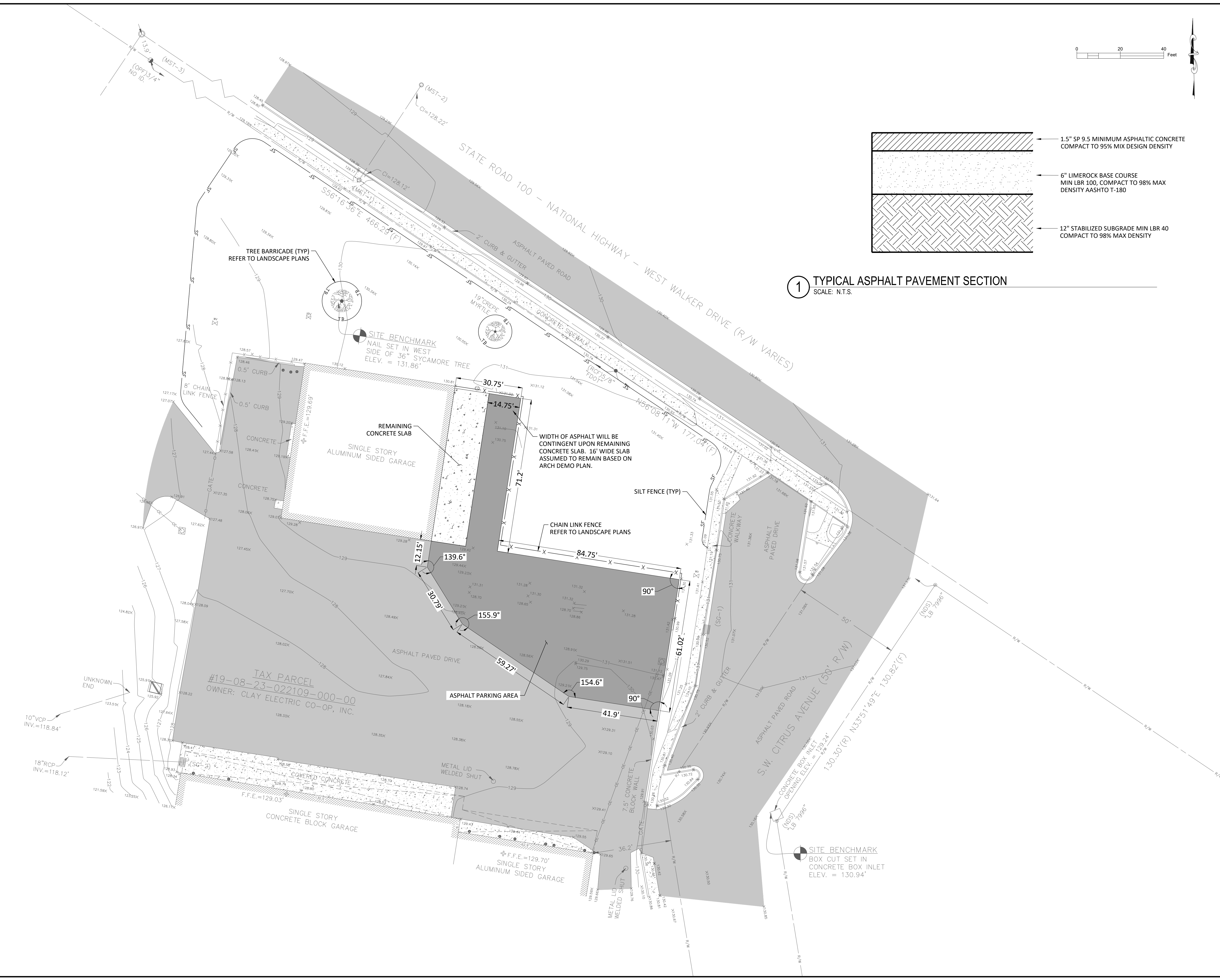
ACKNOWLEDGMENT: All Contractors submitting Proposals on this work shall acknowledge receipt of the Addendum by inserting the number and date in their Proposals.

DRAWINGS: Make the following changes and/or additions:

- Item 1** Replace sheet C1.0 entirely with the one attached with a revision date of 01/06/21.
- Item 2** Replace sheet C2.0 entirely with the one attached with a revision date of 01/06/21.
- Item 3** Replace sheet C3.0 entirely with the one attached with a revision date of 01/06/21.
- Item 4** Replace sheet D1.0 entirely with the one attached with a revision date of 01/05/21.
- Item 5** Replace sheet D1.1 entirely with the one attached with a revision date of 01/05/21.
- Item 6** Replace sheet A1.1 entirely with the one attached with a revision date of 01/05/21.
- Item 7** Replace sheet A2.1 entirely with the one attached with a revision date of 01/05/21.

END OF ADDENDUM NUMBER ONE

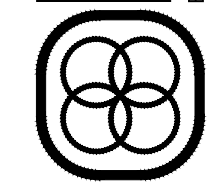
P:\Projects\20-0481-000-City-Electric-District-Office-Demolition\Plans-DWG\Production\C2.0 - SITE GEOMETRY AND MARKING PLAN.dwg Plotted: Jan 06, 2021 - 9:57am by DSowell



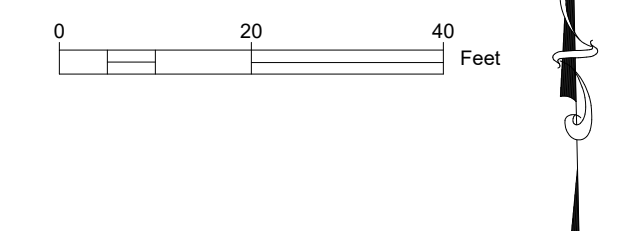
1 TYPICAL ASPHALT PAVEMENT SECTION
SCALE: N.T.S.

REVISIONS		DESIGNED BY	NO.	DATE	DESCRIPTION
---	---	---	---	12/4/2020	100% CONSTRUCTION DOCUMENTS
---	---	---	---	1/6/2021	REVISED 100% CONST DOCUMENTS
---	---	---	---		
---	---	---	---		
---	---	---	---		

CONSTRUCTION PLANS FOR	SITE GEOMETRY AND MARKING PLAN
CLAY ELECTRIC DISTRICT OFFICE DEMOLITION	
CLAY COUNTY, FLORIDA	
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE	

 DRMP <small>ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS</small>	Certificate of Authorization No. 2648 706 SW 4th Avenue - Gainesville, Florida 32601 Phone: 352.371.2741 Fax: 352.372.4318 www.drmp.com
	David C. Sowell, P.E. State of Florida # 68531
PROJECT NO.:	20-0481-000
SCALE:	AS SHOWN
DATE:	DECEMBER, 2020
DRAWING:	C2.0

P:\Projects\2020-0481.000_Clay_Electric_District\Office_Demolition\Plans\DWGs\Production\C3.0 - PAVING, GRADING, AND DRAINAGE PLAN.dwg Plotted: Jan 06, 2021 - 9:58am by DSowell



REVISIONS	
NO.	DESCRIPTION
1	12/4/2020 100% CONSTRUCTION DOCUMENTS
2	1/6/2021 REVISED 100% CONST DOCUMENTS
DESIGNED BY	---
DRAWN BY	---
CHECKED BY	---
APPROVED BY	---
PAVING, GRADING, AND DRAINAGE PLAN	
CONSTRUCTION PLANS FOR CLAY ELECTRIC DISTRICT OFFICE DEMOLITION	
CLAY COUNTY, FLORIDA	
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE	
DRMP ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS	
Certificate of Authorization No. 2648 State of Florida # 68531 706 SW 4th Avenue - Gainesville, Florida 32601 Phone: 352.371.2741 Fax: 352.372.4318 www.drmp.com	
DRMP, Inc.	
David C. Sowell, P.E. State of Florida # 68531	
PROJECT NO.: 20-0481.000	
SCALE: AS SHOWN	
DATE: DECEMBER, 2020	
DRAWING: C3.0	



EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

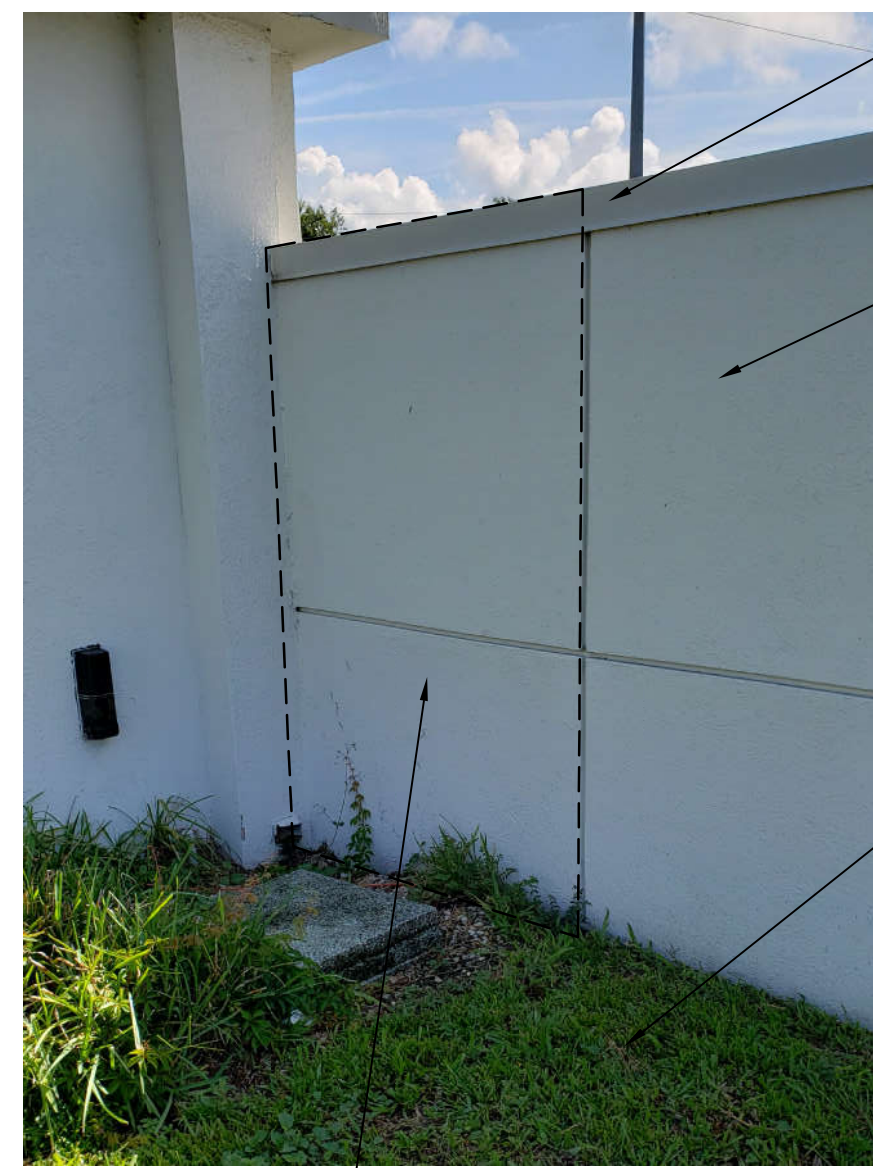
REMOVE EXISTING CMU WALLS

REMOVE EXISTING CONCRETE AND ALL ITEMS TO THE EAST

SAW CUT OUT SLAB FOR NEW CONCRETE WALL CURB. SEE NEW WALL DETAIL ON SHEET A2.1

16" OF EXISTING CONCRETE SLAB TO REMAIN PROTECT DURING DEMOLITION

EXISTING PHOTO 1



PROVIDE NEW MTL WALL COPING END CAP (1'-0" LONG) TO MATCH EXISTING

EXISTING STUCCO SCREEN WALL TO REMAIN. REPAIR ANY SPALLING STUCCO AREAS BEFORE PAINTING

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO NEW GRADING (SEE CIVIL DWGS)

REMOVE THIS SECTION OF SCREEN UP TO CONTROL JOINT

EXST'G PHOTO 2



EXISTING LIGHT POLE TO REMAIN

EXISTING STUCCO SCREEN WALL TO REMAIN. REPAIR ANY SPALLING STUCCO AREAS BEFORE PAINTING

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO NEW GRADING (SEE CIVIL DWGS)

REMOVE A PORTION OF THE EXISTING ASPHALT AS SHOWN ON THE CIVIL DWGS

REMOVE EXISTING LOW MASONRY WALL

EXISTING PHOTO 3



FLATTEN OUT DAMAGED EXISTING METAL PANEL AND PROVIDE A NEW BRAKE METAL PANEL THAT COVERS CORNER.

EXISTING PHOTO 4



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO CONTROL JOINT.

REMOVE SHRUBS AND LANDSCAPING BACK AT DEMOLITION PORTION OF THE BUILDING AND SCREEN WALL. (TYPICAL UNLESS DENOTED OTHERWISE)

REMOVE SHRUBS ALONG DEMOLISHED BUILDING AND SCREEN WALL. PROTECT OTHER LANDSCAPING AT SOUTHSIDE MULCHED AREA OF EXISTING ENTRY WALK THAT IS TO BE DEMOLISHED.

REMOVE SIDEWALK LEADING UP TO EXISTING BUILDING ENTRY AND PREP FOR NEW LANDSCAPING.

"CUSTOMER PARKING" SIGNAGE TO BE REMOVED INCLUDING STAKE

EXISTING PHOTO 5



EXISTING TREES BEYOND TO REMAIN

REMOVE SHRUBS AND LANDSCAPING AREA

EXISTING GRASS AREA TO REMAIN. TIE IN NEW SOG AND LANDSCAPING WHERE EXISTING BUILDING AND LANDSCAPED WERE REMOVED.

EXISTING PHOTO 6



REPAIR ANY SPALLING OR LOOSE STUCCO (SYNTHETIC FINISH COAT) ON EXISTING MASONRY SCREEN WALL OR EXISTING NORTH WALL OF EXISTING BUILDING THAT IS TO REMAIN WITH MATCHING STUCCO FINISH; PAINT TO MATCH.

EXISTING PHOTO 7



DEMOLISH EXISTING DOCK AREA AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY

REMOVE A PORTION OF THE EXISTING ASPHALT AS SHOWN ON THE CIVIL DWGS

DEMOLISH EXISTING OFFICE BUILDING & THE FIRST BAY OF MTL BUILDING (SEE DEMOLITION PLAN)

EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

EXISTING PHOTO 8



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO CONTROL JOINT.

DEMOLISH EXISTING DOCK AREA AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY

REMOVE EXISTING LOW MASONRY WALL

EXISTING PHOTO 9

NOTE: PHOTOS ARE FOR REFERENCE AND PROVIDE ADDITIONAL INFORMATION. SEE DEMOLITION PLAN ON SHEET D11 FOR MORE INFORMATION AND APPROX LOCATION PHOTO WAS TAKEN.

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck
ARCHITECTS INC.
FOUNDED 1911
606 N.E. First Street
Gainesville, Florida 32601
www.brameheck.com

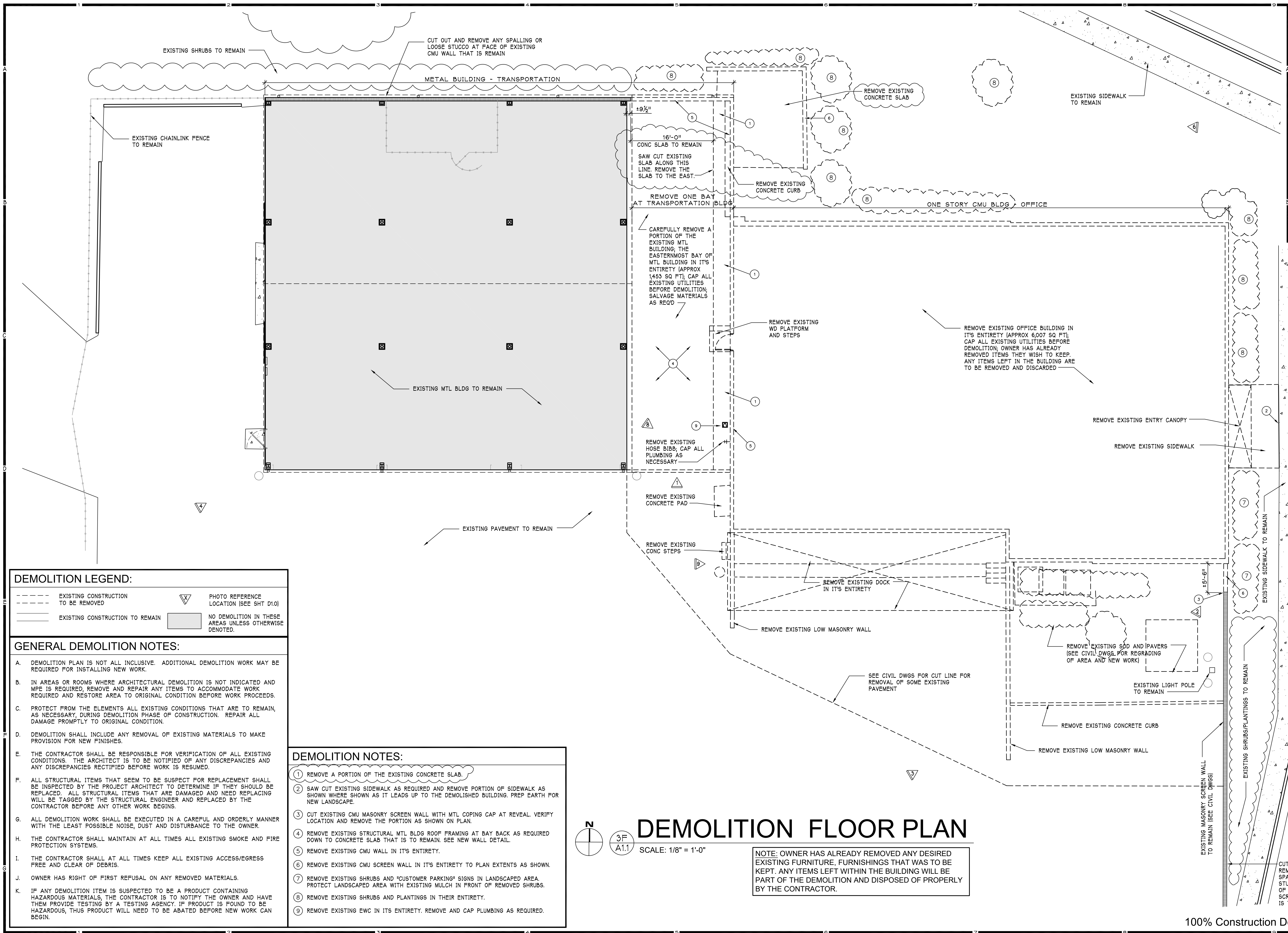
Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20-1697

Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

EXISTING PHOTOS SHOWING DEMO

DRAWN MDR
CHECKED MR
DATE 12/04/20
CAD 3702151110 Cadi CDI
CloyK Sdemo-D1-demo
REVISIONS

01/05/21
FILE NO. 3702.151-20

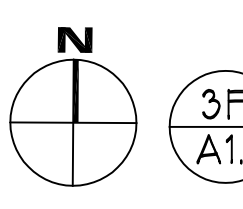


DEMOLITION LEGEND:

	EXISTING CONSTRUCTION TO BE REMOVED		PHOTO REFERENCE LOCATION (SEE SHT D1.0)
	EXISTING CONSTRUCTION TO REMAIN		NO DEMOLITION IN THESE AREAS UNLESS OTHERWISE DENOTED.

- GENERAL DEMOLITION NOTES:**
- DEMOLITION PLAN IS NOT ALL INCLUSIVE. ADDITIONAL DEMOLITION WORK MAY BE REQUIRED FOR INSTALLING NEW WORK.
 - IN AREAS OR ROOMS WHERE ARCHITECTURAL DEMOLITION IS NOT INDICATED AND MPE IS REQUIRED, REMOVE AND REPAIR ANY ITEMS TO ACCOMMODATE WORK REQUIRED AND RESTORE AREA TO ORIGINAL CONDITION BEFORE WORK PROCEEDS.
 - PROTECT FROM THE ELEMENTS ALL EXISTING CONDITIONS THAT ARE TO REMAIN, AS NECESSARY, DURING DEMOLITION PHASE OF CONSTRUCTION. REPAIR ALL DAMAGE PROMPTLY TO ORIGINAL CONDITION.
 - DEMOLITION SHALL INCLUDE ANY REMOVAL OF EXISTING MATERIALS TO MAKE PROVISION FOR NEW FINISHES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES AND ANY DISCREPANCIES RECTIFIED BEFORE WORK IS RESUMED.
 - ALL STRUCTURAL ITEMS THAT SEEM TO BE SUSPECT FOR REPLACEMENT SHALL BE INSPECTED BY THE PROJECT ARCHITECT TO DETERMINE IF THEY SHOULD BE REPLACED. ALL STRUCTURAL ITEMS THAT ARE DAMAGED AND NEED REPLACING WILL BE TAGGED BY THE STRUCTURAL ENGINEER AND REPLACED BY THE CONTRACTOR BEFORE ANY OTHER WORK BEGINS.
 - ALL DEMOLITION WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST AND DISTURBANCE TO THE OWNER.
 - THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ALL EXISTING SMOKE AND FIRE PROTECTION SYSTEMS.
 - THE CONTRACTOR SHALL AT ALL TIMES KEEP ALL EXISTING ACCESS/EGRESS FREE AND CLEAR OF DEBRIS.
 - OWNER HAS RIGHT OF FIRST REFUSAL ON ANY REMOVED MATERIALS.
 - IF ANY DEMOLITION ITEM IS SUSPECTED TO BE A PRODUCT CONTAINING HAZARDOUS MATERIALS, THE CONTRACTOR IS TO NOTIFY THE OWNER AND HAVE THEM PROVIDE TESTING BY A TESTING AGENCY. IF PRODUCT IS FOUND TO BE HAZARDOUS, THIS PRODUCT WILL NEED TO BE ABATED BEFORE NEW WORK CAN BEGIN.

- DEMOLITION NOTES:**
- REMOVE A PORTION OF THE EXISTING CONCRETE SLAB.
 - SAW CUT EXISTING SIDEWALK AS REQUIRED AND REMOVE PORTION OF SIDEWALK AS SHOWN WHERE SHOWN AS IT LEADS UP TO THE DEMOLISHED BUILDING. PREP EARTH FOR NEW LANDSCAPE.
 - CUT EXISTING CMU MASONRY SCREEN WALL WITH MTL COPING CAP AT REVEAL. VERIFY LOCATION AND REMOVE THE PORTION AS SHOWN ON PLAN.
 - REMOVE EXISTING STRUCTURAL MTL BLDG ROOF FRAMING AT BAY BACK AS REQUIRED DOWN TO CONCRETE SLAB THAT IS TO REMAIN. SEE NEW WALL DETAIL.
 - REMOVE EXISTING CMU WALL IN ITS ENTIRETY.
 - REMOVE EXISTING CMU SCREEN WALL IN ITS ENTIRETY TO PLAN EXTENTS AS SHOWN.
 - REMOVE EXISTING SHRUBS AND "CUSTOMER PARKING" SIGNS IN LANDSCAPED AREA. PROTECT LANDSCAPED AREA WITH EXISTING MULCH IN FRONT OF REMOVED SHRUBS.
 - REMOVE EXISTING SHRUBS AND PLANTINGS IN THEIR ENTIRETY.
 - REMOVE EXISTING EWC IN ITS ENTIRETY. REMOVE AND CAP PLUMBING AS REQUIRED.



DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: OWNER HAS ALREADY REMOVED ANY DESIRED EXISTING FURNITURE, FURNISHINGS THAT WAS TO BE KEPT. ANY ITEMS LEFT WITHIN THE BUILDING WILL BE PART OF THE DEMOLITION AND DISPOSED OF PROPERLY BY THE CONTRACTOR.

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck ARCHITECTS INC.
FOUNDED 1971
606 N.E. First Street
Gainesville, Florida 32601
www.brameheck.com

Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20-1697

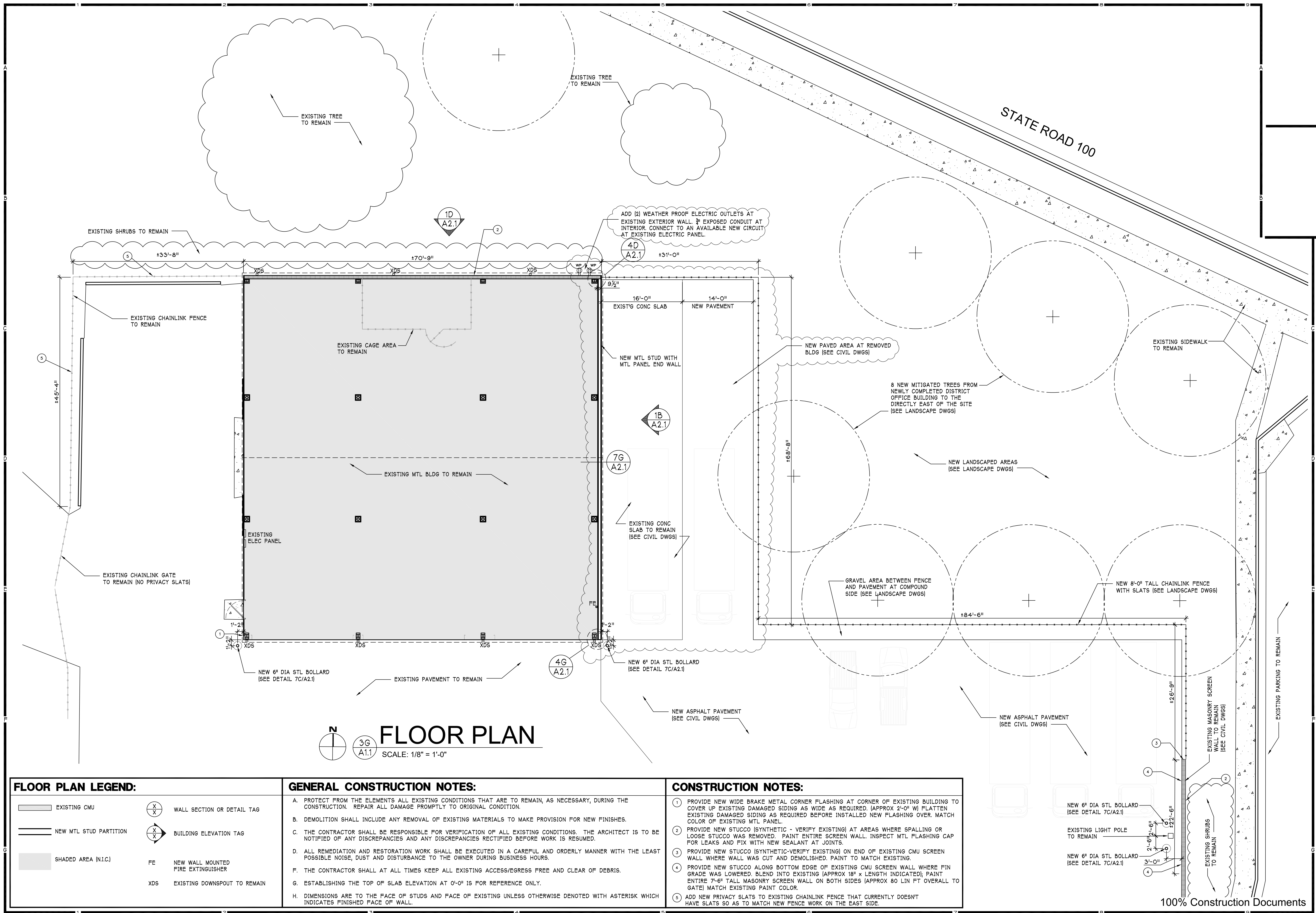
Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

DEMOLITION FLOOR PLAN

DRAWN	MDR
CHECKED	MR
DATE	12/04/20
CAD	370215110 Cadi CDJ
FILE NO.	3702.151-20
REVISIONS	

01/05/21
FILE NO. 3702.151-20

D1.1



FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:	
	EXISTING CMU
	NEW MTL STUD PARTITION
	SHADED AREA (N.I.C.)
	WALL SECTION OR DETAIL TAG
	BUILDING ELEVATION TAG
	FE NEW WALL MOUNTED FIRE EXTINGUISHER
	XDS EXISTING DOWNSPOUT TO REMAIN

GENERAL CONSTRUCTION NOTES:

- PROTECT FROM THE ELEMENTS ALL EXISTING CONDITIONS THAT ARE TO REMAIN, AS NECESSARY, DURING THE CONSTRUCTION. REPAIR ALL DAMAGE PROMPTLY TO ORIGINAL CONDITION.
- DEMOLITION SHALL INCLUDE ANY REMOVAL OF EXISTING MATERIALS TO MAKE PROVISION FOR NEW FINISHES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES AND ANY DISCREPANCIES RECTIFIED BEFORE WORK IS RESUMED.
- ALL REMEDIATION AND RESTORATION WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST AND DISTURBANCE TO THE OWNER DURING BUSINESS HOURS.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP ALL EXISTING ACCESS/EGRESS FREE AND CLEAR OF DEBRIS.
- ESTABLISHING THE TOP OF SLAB ELEVATION AT 0'-0" IS FOR REFERENCE ONLY.
- DIMENSIONS ARE TO THE FACE OF STUDS AND FACE OF EXISTING UNLESS OTHERWISE DENOTED WITH ASTERISK WHICH INDICATES FINISHED FACE OF WALL.

CONSTRUCTION NOTES:

- PROVIDE NEW WIDE BRAKE METAL CORNER FLASHING AT CORNER OF EXISTING BUILDING TO COVER UP EXISTING DAMAGED SIDING AS WIDE AS REQUIRED. (APPROX 2'-0" W) FLATTEN EXISTING DAMAGED SIDING AS REQUIRED BEFORE INSTALLED NEW FLASHING OVER. MATCH COLOR OF EXISTING MTL PANEL.
- PROVIDE NEW STUCCO (SYNTHETIC - VERIFY EXISTING) AT AREAS WHERE SPALLING OR LOOSE STUCCO WAS REMOVED. PAINT ENTIRE SCREEN WALL. INSPECT MTL FLASHING CAP FOR LEAKS AND FIX WITH NEW SEALANT AT JOINTS.
- PROVIDE NEW STUCCO (SYNTHETIC-VERIFY EXISTING) ON END OF EXISTING CMU SCREEN WALL WHERE WALL WAS CUT AND DEMOLISHED. PAINT TO MATCH EXISTING.
- PROVIDE NEW STUCCO ALONG BOTTOM EDGE OF EXISTING CMU SCREEN WALL WHERE FIN GRADE WAS LOWERED. BLEND INTO EXISTING (APPROX 18" x LENGTH INDICATED); PAINT ENTIRE 7'-6" TALL MASONRY SCREEN WALL ON BOTH SIDES (APPROX 80 LIN FT OVERALL TO GATE) MATCH EXISTING PAINT COLOR.
- ADD NEW PRIVACY SLATS TO EXISTING CHAINLINK FENCE THAT CURRENTLY DOESN'T HAVE SLATS SO AS TO MATCH NEW FENCE WORK ON THE EAST SIDE.

SEAL

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck ARCHITECTS INC.
FOUNDED 1911
606 N.E. First Street
Gainesville, Florida 32601 www.brameheck.com

Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20 - 1697

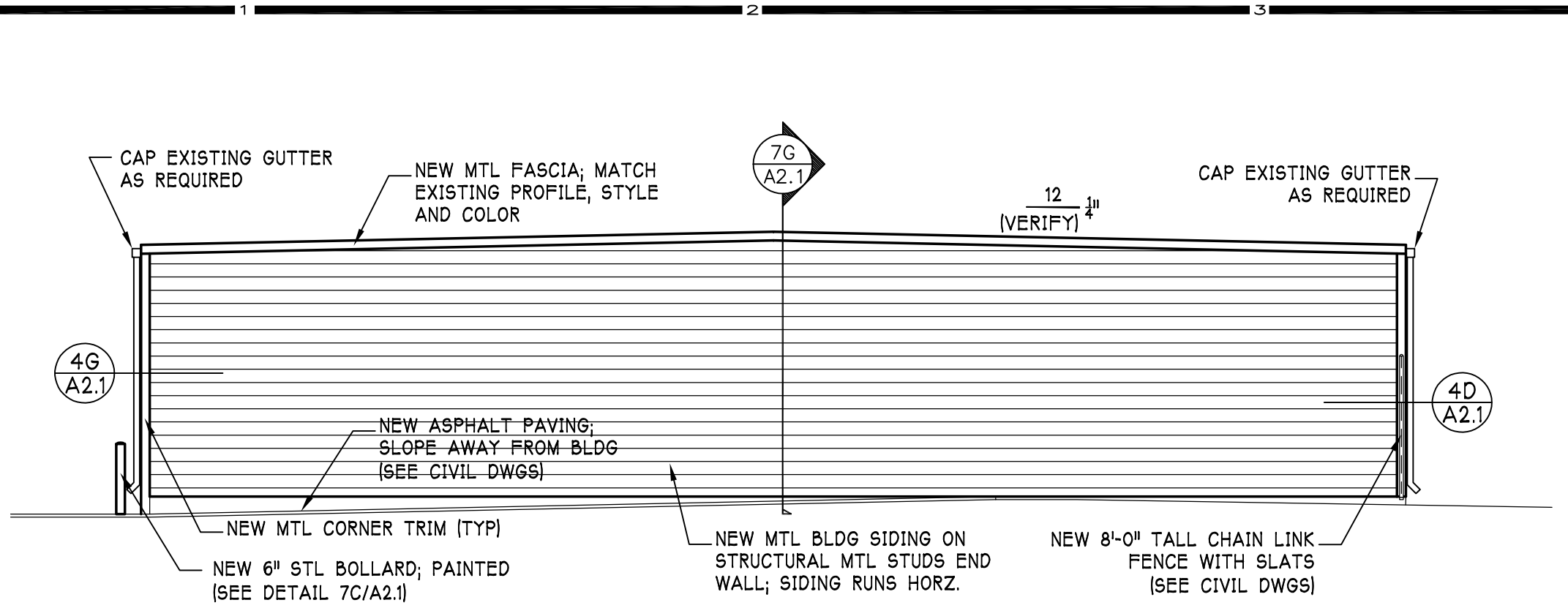
Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

FLOOR PLAN

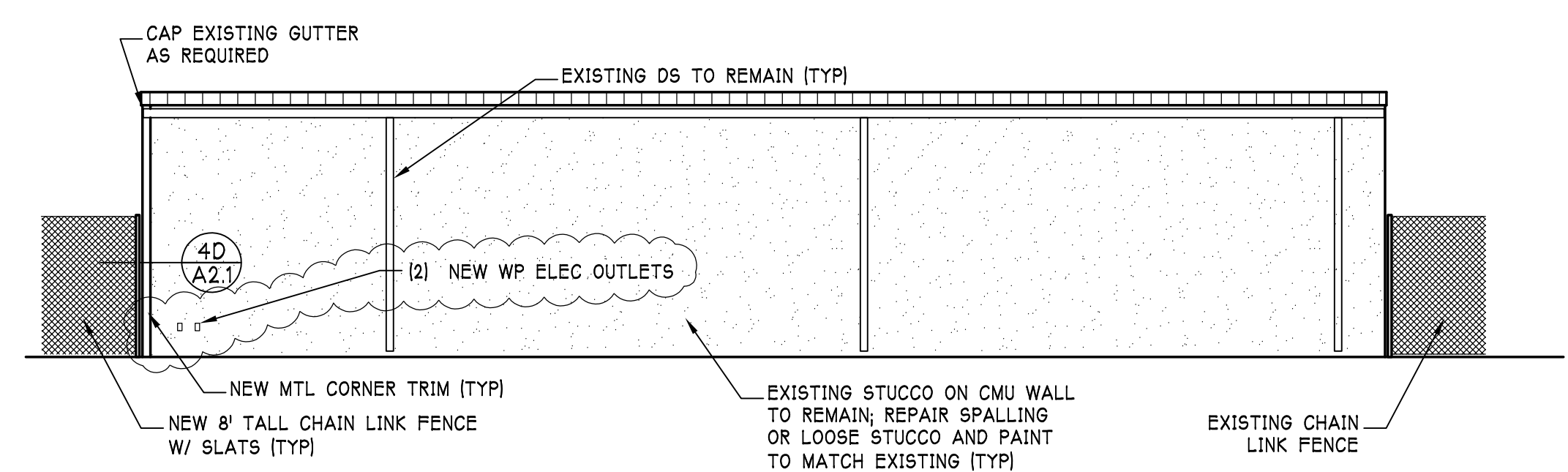
DRAWN	MDR
CHECKED	MR
DATE	12/04/20
CAD	3702151110 Cad/ CD/ ClayKSdemo-A1-plan
REVISIONS	
FILE NO	01/05/21
NO	3702.151-20

A1.1

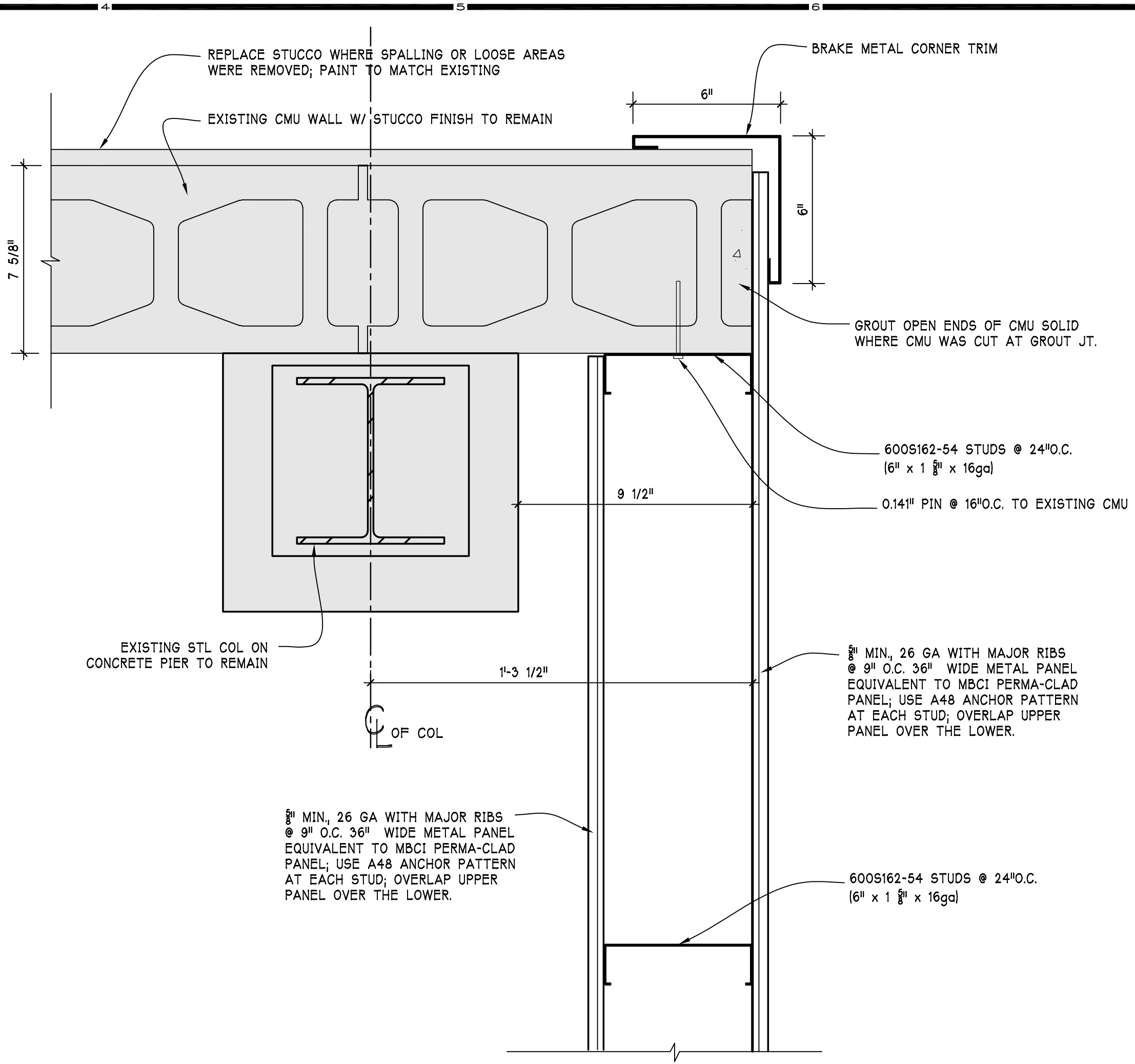
100% Construction Documents



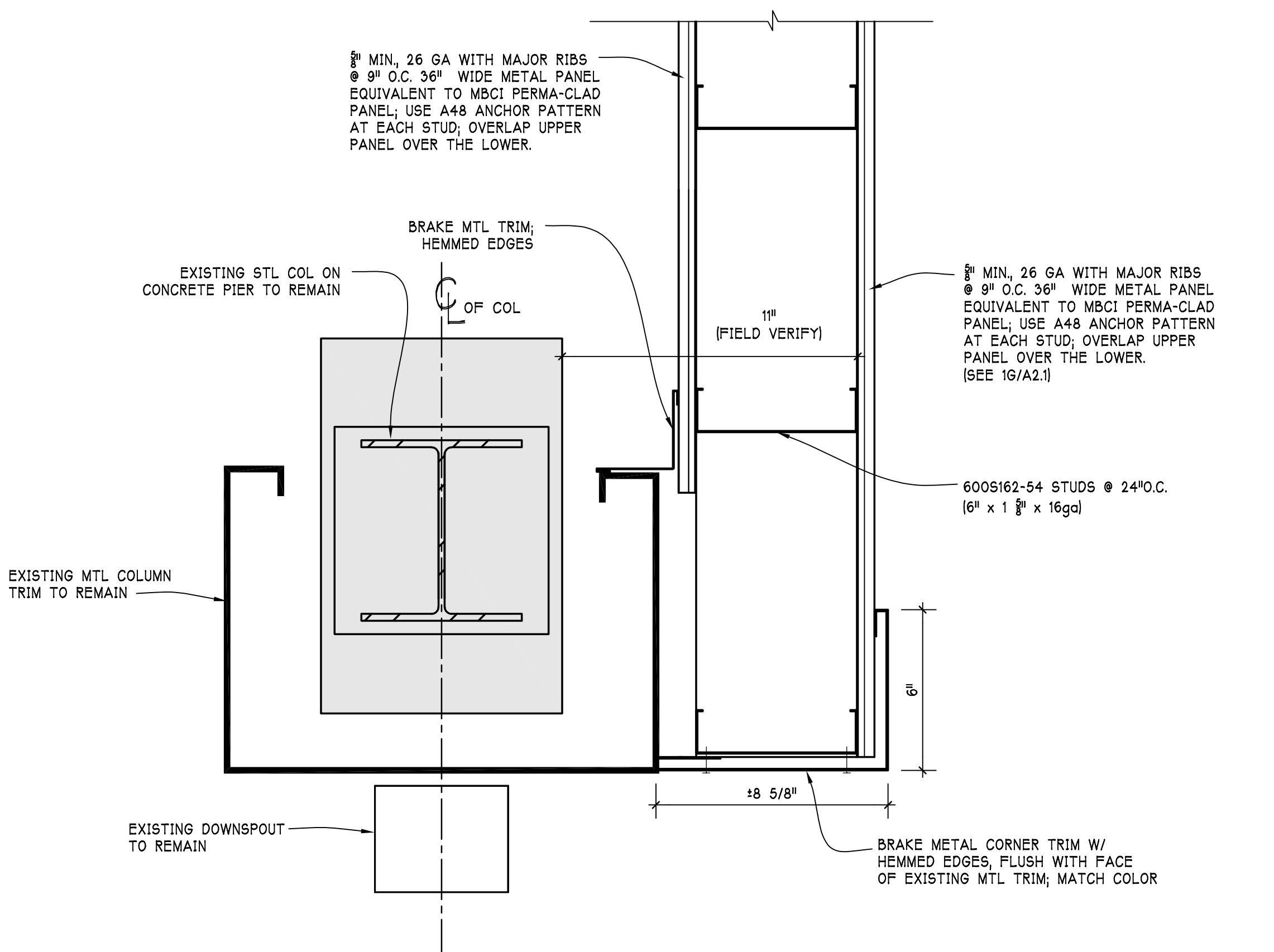
1B EAST ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: COLOR OF MTL BLDG PANEL TO MATCH EXISTING



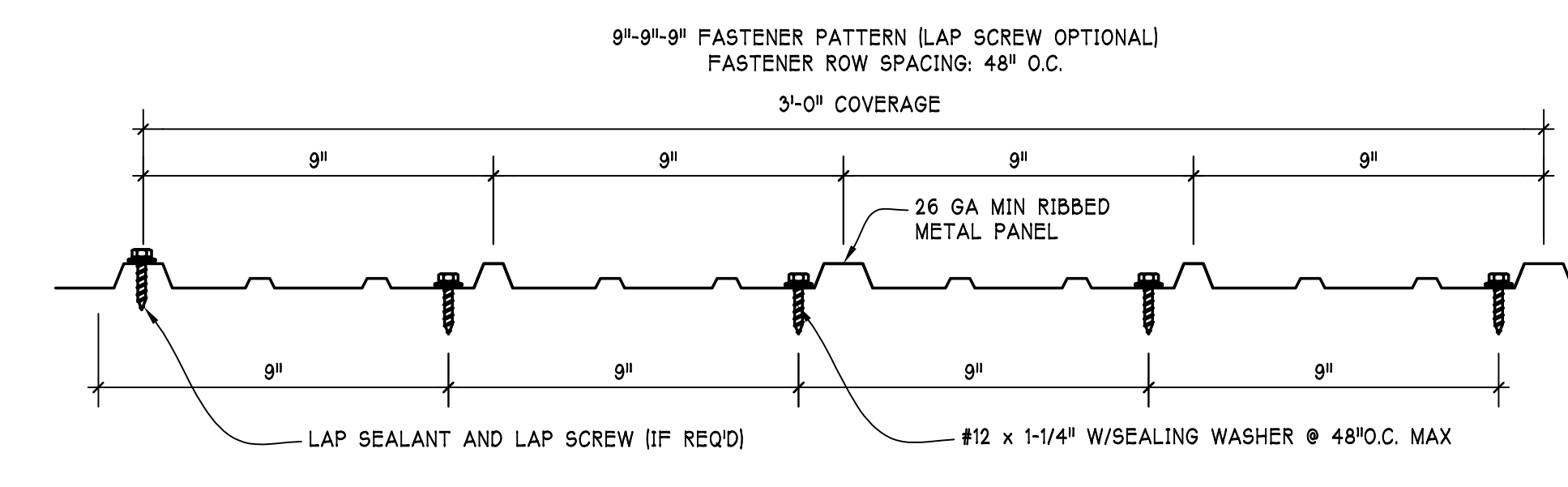
1D NORTH ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: NO CHANGES ARE BEING MADE TO OTHER BUILDING ELEVATIONS



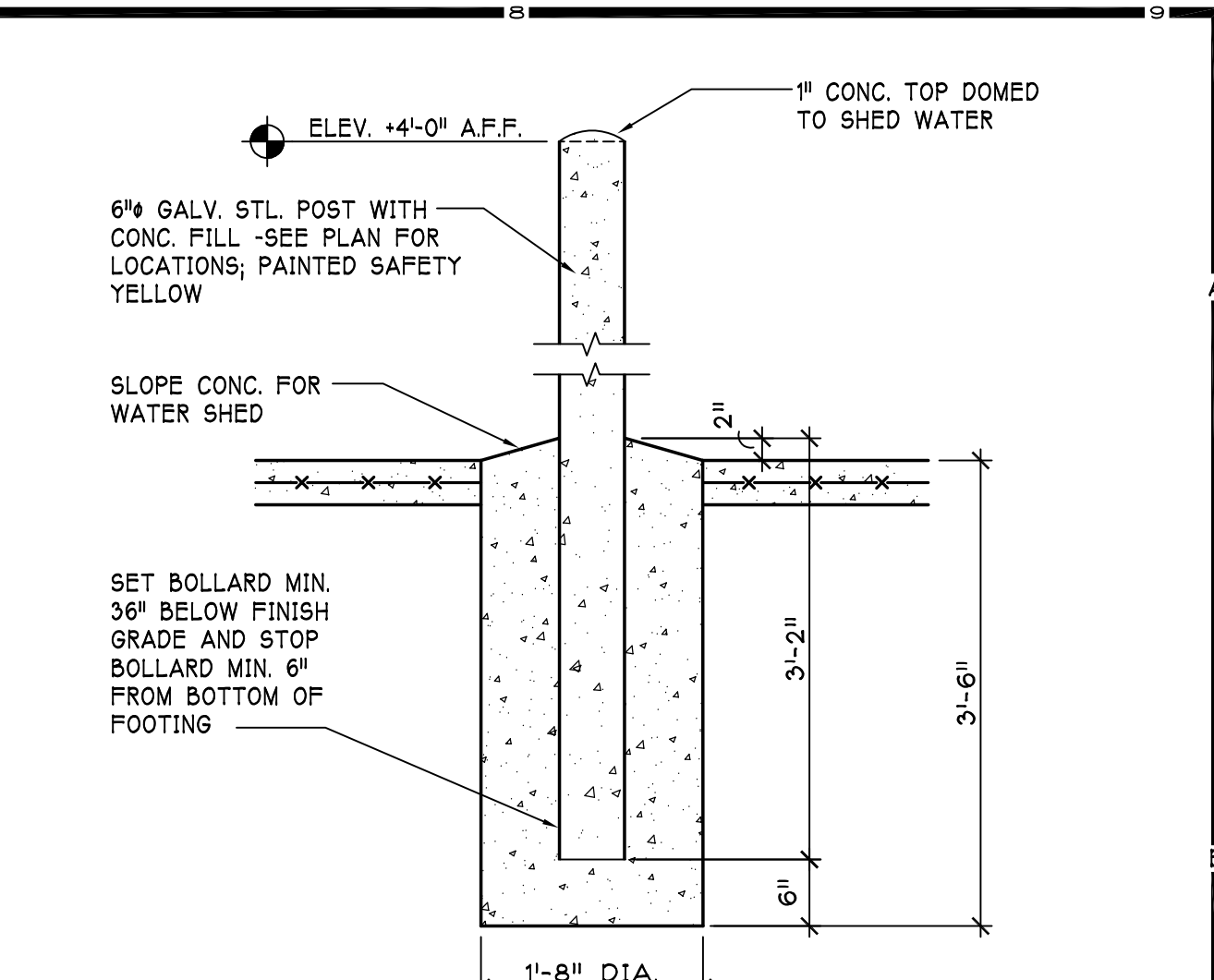
4D WALL CORNER DETAIL
SCALE: 3/4" = 1'-0"



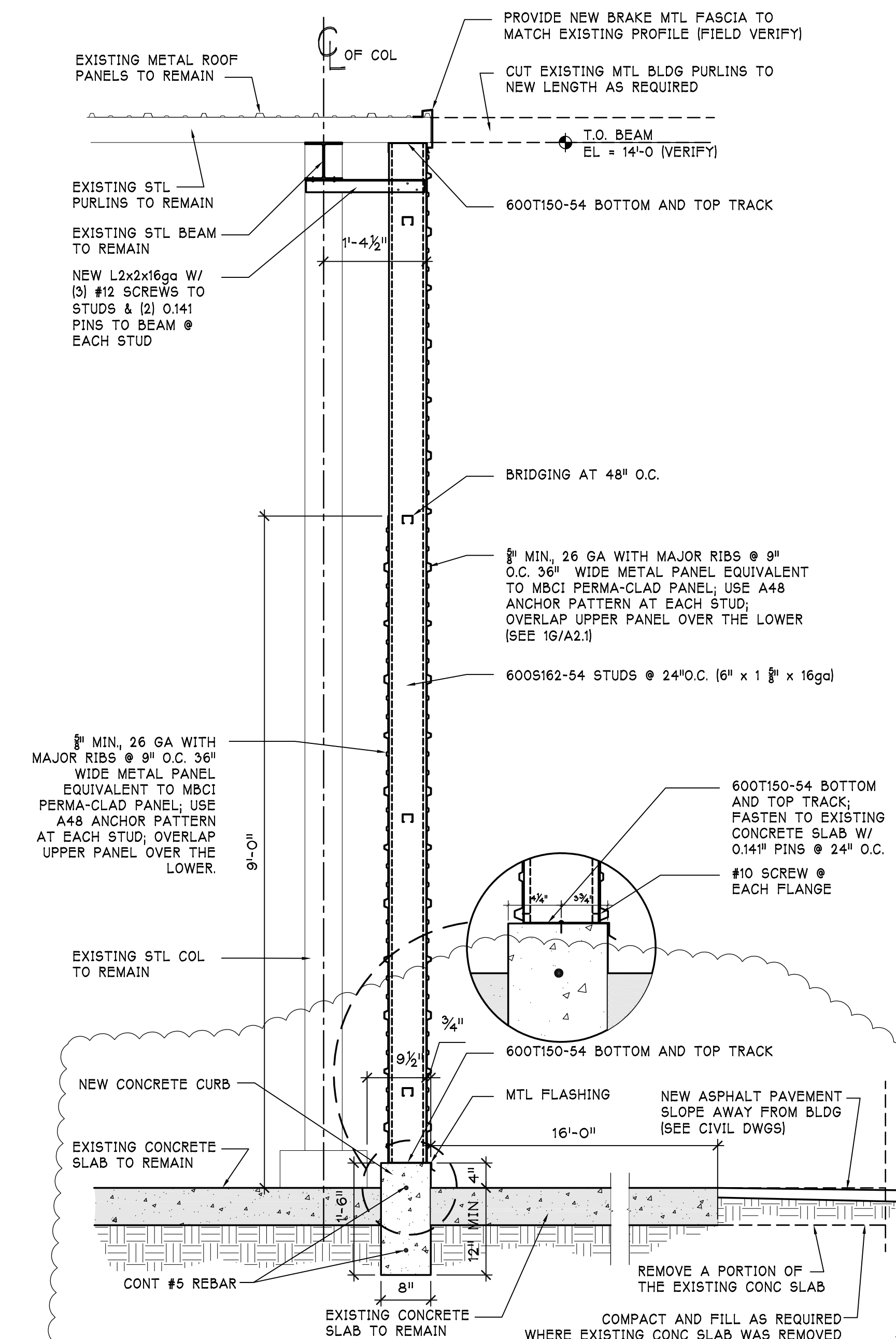
4G WALL CORNER DETAIL
SCALE: 3/4" = 1'-0"



1G A48 PANEL FASTENER DETAIL
SCALE: 3/4" = 1'-0"



7C GALV. STEEL BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



7G WALL SECTION (TYP)
SCALE: 3/4" = 1'-0"

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck ARCHITECTS INC.
FOUNDED 1911
606 N.E. First Street
Gainesville, Florida 32601
www.brameheck.com

Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20 - 1697

Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

WALL SECTION DETAILS & BLDG ELEVATION

DRAWN	MDR
CHECKED	MR
DATE	12/04/20
CAD	3702151110 Cad/CDI
	ClayKSDemo-A1-plan
REVISIONS	
	01/05/21
FILE NO.	3702.151-20

S H E E T

A2.1

100% Construction Documents