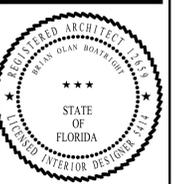


NEW BUILDING FOR RVROOF.COM

6969 N S.R. 21, KEYSTONE HEIGHTS, FL 32656



GENERAL NOTES AND INSTRUCTIONS

- THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED.
- DRAWINGS AND NOTES ARE NOT EXHAUSTIVE AND ALL WORK SHALL ADHERE TO THE APPLICABLE CODES AND STANDARDS WHETHER OR NOT IT IS SHOWN ON THE DRAWINGS. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, HOWEVER THE ARCHITECT CANNOT GUARANTEE PERFECTION. FAILURE TO NOTIFY THE ARCHITECT OF DISCREPANCIES AND CHANGES WITHOUT THE WRITTEN CONSENT OF THE DESIGN TEAM RELIEVES THE ARCHITECT OF THE RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH CHANGES OR DISCREPANCIES. MINOR DETAILS OR MEANS AND METHODS NOT USUALLY SHOWN OR SPECIFIED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK ARE INCORPORATED INTO THE CONTRACT DOCUMENTS AS IF THEY WERE SHOWN.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE DRAWINGS OR FROM WRITTEN RECOMMENDATIONS, CHANGES TO THE PLANS BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE OWNER AND/OR CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, FOR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OR EXPOSURE OF PEOPLE TO HAZARDOUS MATERIALS IN ANY FORM INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORINATED BIUREN (PCB) OR OTHER TOXIC SUBSTANCES. NO ASBESTOS-CONTAINING PRODUCTS ARE TO BE INSTALLED IN THE PROJECT.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTOR IS ALSO RESPONSIBLE FOR ARRANGING ALL OTHER WORK REQUIRED TO MAKE THE BUILDING OCCUPABLE, OPERATIVE, AND IN AGREEMENT WITH THE DESIGN INTENT DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF SUBCONTRACTORS, INSPECTIONS, TRADES AND THE MAINTENANCE OF THE PROJECT SCHEDULE.
- NOTIFY THE ARCHITECT IF THE PROPOSED USE IS NOT IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS AND PROVIDE THE ARCHITECT WITH ANY NECESSARY DOCUMENTATION INCLUDING ZONING, SETBACKS, ENVIRONMENTAL REGULATIONS, OR ANY SIMILAR CONSTRAINTS WHICH MAY AFFECT THE PROJECT. HOWEVER, IN NO CASE SHALL ANY PART OF THE DWELLING OR ANY OTHER STRUCTURE BE LOCATED WITHIN 3' OF A PROPERTY LINE WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN NOT PROVIDED IN THE CONTRACT DOCUMENTS, THE DESIGN OF HEATING, VENTILATION AND AIR CONDITIONING, PLUMBING, GAS AND ELECTRICAL SYSTEMS ARE TO BE PROVIDED BY THE CONTRACTOR, INCLUDING THE PREPARATION OF REQUIRED DRAWINGS AND COORDINATION WITH THE ARCHITECTURAL DRAWINGS. THE ARCHITECTURAL DRAWINGS SHOW THE GENERAL ARRANGEMENT, EXTENT AND INTENT OF THE WORK.
- INSTALL ALL WORK PLUMB, TRUE, LEVEL AND WITH GOOD WORKMANSHIP. THE ARCHITECT RESERVES THE RIGHT TO REJECT INFERIOR WORK. INFERIOR WORK SHALL BE REPLACED AS DIRECTED WITHOUT ADDITIONAL COST TO THE OWNER.
- INSTALL ALL MATERIALS, PRODUCTS AND EQUIPMENT TO THE MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND THE STANDARD OF RECOGNIZED AGENCIES AND ASSOCIATIONS. PROVIDE ADEQUATE BLOCKING/SUPPORT FOR ALL EQUIPMENT, CABINETS, ETC. PROVIDE ALL ANCHORS, FASTENERS AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALLOW FOR THERMAL EXPANSION, CONTRACTION, AND BUILDING MOVEMENT. SEPARATE INCOMPATIBLE MATERIALS WITH SUITABLE MATERIALS OR SPACING. PREVENT CATHODIC CORROSION. PROTECT BETWEEN MATERIALS/STRUCTURE AS INDICATED AND AS REQUIRED BY THE MANUFACTURER OR RECOGNIZED INDUSTRY STANDARDS. INSTALL PRODUCTS UNDER APPROPRIATE ENVIRONMENTAL CONDITIONS (AIR TEMPERATURE, SURFACE TEMPERATURE, RELATIVE HUMIDITY, ETC.) TO ENSURE QUALITY AND DURABILITY. MAINTAIN PROPER PROTECTION DURING DRYING/CURING.
- WHERE SIZE, CAPACITY, MODEL, STYLE OR OTHER PERTINENT INFORMATION IS NOT SHOWN, FURNISH WORK IN THE FASHION THAT WILL MEET APPLICABLE CODE AND RESULT IN AN OPERABLE BUILDING MEETING THE DESIGN INTENT AND OBTAIN THE ARCHITECT'S WRITTEN APPROVAL PRIOR TO PROCEEDING WHERE THE COMPLETE SIZES OR DIMENSIONS OF MEMBERS, CONNECTIONS OR FASTENERS OF ANY ITEM ARE NOT INDICATED, DESIGN THE ITEM TO PROVIDE THE STRENGTH APPROPRIATE TO THE USE INTENDED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS RELIED UPON FOR THE INSTALLATION OF SHOP-FABRICATED OR OTHER FIELD-INSTALLED MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CONSTRUCTION WASTE RECYCLING PROGRAM FOR WOOD, METALS AND CARBOARD IN ADDITION TO REMOVING ALL RUBBISH AND DEBRIS AND KEEPING A CLEAN SITE. THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH AND PROFESSIONAL CLEANING PRIOR TO OWNER OCCUPANCY AND COORDINATION OF A FINAL PUNCH LIST PROCESS.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH FULL WARRANTY INFORMATION ON ALL PRODUCTS AND EQUIPMENT, AS WELL AS MAINTENANCE AND OPERATION MANUALS INCLUDING MANUFACTURER'S INSTRUCTIONS AND OTHER RELEVANT MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CONTINUOUS MAINTENANCE OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM DAMAGE OR LOSS BY DUST, DIRT, WATER, HEAT, FIRE OR ANY OTHER PHYSICAL DAMAGE IN CONNECTION WITH THE CONSTRUCTION CONTRACT.
- DIMENSIONS SHALL GOVERN, DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED ON THE SITE BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE PORTION OF THE WORK IN QUESTION. CONTRACTOR SHALL HAVE ALL DIMENSIONS FIELD VERIFIED PRIOR TO ORDERING MATERIALS.
- CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE DRAWINGS. ALL DOORS ARE LOCATED BY THE FLOOR PLAN DIMENSIONS AND/OR JAMB DETAIL RELATIVE TO THE ADJACENT WALLS AND PARTITIONS. DOORS AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM THE FACE OF THE ADJACENT WALL OR CENTERED BETWEEN THE WALLS, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL NEW WALLS AND PARTITIONS ARE DIMENSIONED TO THE FACE OF THE STUD OR FACE OF THE BLOCK. 'ALONG' MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE, WHERE SPECIFIC DIMENSIONS, DETAILS AND DESIGN INTENT CANNOT BE DETERMINED, NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION.
- ALL WINDOW AND DOOR SIZES AND DIMENSIONS ARE NOMINAL AND THE CONTRACTOR OR SUBCONTRACTOR/INSTALLER IS CHARGED WITH PROVIDING THE CORRECT ROUGH OPENING AS REQUIRED FOR THE CORRECT INSTALLATION OF THE PRODUCT.
- THROUGHOUT THE PLANS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.
- TYPICAL WALL SECTIONS, FINISHES AND DETAILS ARE NOT DUPLICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL. RETRIEVE FEATURES NOT INDICATED IN THE DRAWINGS EVERY PLACE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL CONSULT THE COMPLETE SET OF PLANS FOR COORDINATION OF WORK. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- EACH SUBCONTRACTOR SHALL VISIT THE SITE AND COME KNOWLEDGEABLE OF CONDITIONS THEREIN. EACH TRADE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL THEIR REQUIREMENTS IN THE PROJECT AND SHALL NOTIFY THE ARCHITECT AND SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THEIR WORK. THE SUBCONTRACTORS SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS AND REPAIR OR REPLACE ELEMENTS DAMAGED DURING THE PROJECT.
- UNLESS NOTED OTHERWISE, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES. FASTENER SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS AND FBC TABLE 2004.4.1. ALL FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER IN ACCORDANCE WITH FBC 213.3.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER BY GASKETS OR COATINGS OR BOTH TO AVOID GALVANIC CORROSION ACTION.
- ALL WOOD EXPOSED TO THE WEATHER SUCH AS DECKS, RAILINGS, JOISTS, BEAMS AND POSTS SHALL BE PRESURE-TREATED. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
- EXPOSED SEALANTS SHALL BE CONSTRUCTED WITH A BOND BREAKER OR BACKER ROD, UNLESS NOTED OTHERWISE ALL EXTERIOR JOINTS SHALL BE SEALED WITH DOW CORNING 795 SILICONE SEALANT. HIDDEN SEALANT JOINTS NOT EXPOSED TO THE EXTERIOR SHALL BE BUTYL SEALANT.
- PROVIDE BLOCKING AT ALL EXTERIOR WALL PENETRATIONS (HOSE BIBS, ELECTRICAL RECEPTACLES, FIXTURES, ETC.). PROVIDE A HEAD FLASHING OVER THE BLOCKING AT PENETRATIONS OVER 9" IN LENGTH.
- PROVIDE BLOCKING FOR ALL CASEWORK, TOILET ACCESSORIES AND OTHER ELEMENTS MOUNTED TO OR BRACED AGAINST THE WALLS PRIOR TO INSTALLING WALL BOARD.

FLORIDA BUILDING CODE SUMMARY
FLORIDA BUILDING CODES 2020 (7th Ed)

NARRATIVE THIS BUSINESS INVOLVES REPAIRING THE PAINT COATING ON THE ROOFS OF RECREATIONAL VEHICLES. NO ENGINE OR MECHANICAL REPAIR IS INVOLVED. THE COATINGS ARE NOT FLAMMABLE AND ARE MIXED AND DELIVERED BY AIR COMPRESSORS. A MEZZANINE IS PROVIDED TO PROVIDE EASY ACCESS TO THE SCAFFOLDING AROUND THE RV'S AND TO PLASTIC PARTS STORED ON THE MEZZANINE TO REPAIR VENT HOODS AND SUCH ON THE ROOFS. THEREFORE, THE OCCUPANCY IS CONSIDERED MORE OF A FACTORY THAN A REPAIR GARAGE. IT IS ESSENTIALLY A PAINT AND BODYWORK OCCUPANCY, THOUGH THE CODES DO NOT DIRECTLY ADDRESS THAT.

COATING IS NOT HAZARDOUS. IT IS NOT COMBUSTIBLE OR FLAMMABLE (POLYUREA).

CHAPTER 3 - OCCUPANCY CLASSIFICATION
308.2 CLASSIFICATION F-1 (FACTORY, MODERATE HAZARD)

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS
408.9 REPAIR GARAGES NOT APPLICABLE (NO MECHANICAL OR FUEL SYSTEM REPAIR, ONLY PAINT AND MINOR BODY WORK)

CHAPTER 5 - BUILDING HEIGHT AND AREA
T504.3 ALLOWABLE BUILDING HEIGHT F, V-B, NS - 45 FT
T504.4 ALLOWABLE NO OF STORIES F, V-B, NS - 1 STORY MAX
T504.5 MEZZANINE AREA LIMITS MEZZANINE AREA, 6,109 / 3 = 2,036 SF MAX / MEZZ - 472 SF + 2,036 SF, OK
T504.6 MEZZANINE OPENNESS MEZZANINE IS OPEN TO SURROUNDING SPACE IN WHICH IT IS LOCATED

CHAPTER 6 - TYPE OF CONSTRUCTION
T601 CONSTRUCTION TYPE V-B (COMBUSTIBLE, NOT PROTECTED, NO SPRINKLER SYSTEM)

CHAPTER 7 - FIRE RESISTANT RATED CONSTRUCTION
706 FIRE WALLS NONE REQUIRED
707 FIRE BARRIERS NONE REQUIRED
708 FIRE PARTITIONS NONE REQUIRED
709 SMOKE BARRIERS NONE REQUIRED
710 SMOKE PARTITIONS NONE REQUIRED
711 FLOOR & ROOF ASSEMBLIES NONE REQUIRED
712 VERTICAL OPENINGS NOT APPLICABLE
713 SHAFT ENCLOSURES NOT APPLICABLE
714 PENETRATIONS NOT APPLICABLE
715 JOINT SYSTEMS NOT APPLICABLE
716 OPENING PROTECTIVES NOT APPLICABLE
717 DUCTS & AIR FLEX OPENINGS NOT APPLICABLE
718 PENETRATIONS NOT APPLICABLE

CHAPTER 8 - INTERIOR FINISHES
T803.1 INTERIOR EXIT PASSAGEWAYS CLASS A MIN
CORRIDORS CLASS C MIN
ROOMS CLASS C MIN

CHAPTER 9 - FIRE PROTECTION SYSTEMS
903.2.4 WHERE REQUIRED SPRINKLER NOT REQUIRED (< 12,000 SF, < 3 STORIES, < 24,000 SF W/MEZZ, NO UPHOLST OR MATTRESSES)

CHAPTER 10 - MEANS OF EGRESS
T1004.1 OCCUPANT LOAD OFFICE AREA 638 SF / 100 SF = 6 OCCUPANTS
FABRICATION AREA 449 SF / 200 SF = 3 OCCUPANTS (LESS AREA FOR RV'S IN BAYS)
STORAGE AREA 1,717 SF / 300 SF = 5 OCCUPANTS
TOTAL 15 OCCUPANTS (ACTUAL EMPLOYEES = 5 MAX + 12 CUSTOMERS)

1006.1 EGRESS WIDTH 0.02' OCC (SEE 1017.2, MIN WIDTH TO BE 36")
T1006.2 NUMBER OF EXITS 1 ALLOWED (F, < 40 OCCUPANTS)
T1006.3 ACCESS TO ONE EXIT ALLOWED BUT MORE PROVIDED; OCC LOAD DOES NOT EXCEED 49
1008.1 EGRESS ILLUMINATION PROVIDED
1010.1.10 PANIC HARDWARE NOT REQUIRED (< 50 OCC)
1011 STAIRWAYS COMPLIANT, SEE DWGS
1012 RAMPS NOT APPLICABLE
1013 EXIT SIGNS PROVIDED
1016.2 EGRESS THRU INTERV. SPACES ALLOWED
T1017.2 EXIT TRAVEL DISTANCE 200 FT MAX (F, -1)
1020.1 CORRIDOR RATING NOT REQUIRED (F, < 30 OCCUPANTS, SEE 1006.2)
T1020.2 MIN CORRIDOR WIDTH 36 INCHES MIN (OCCUP LOAD > 50)
1020.4 DEAD END CORRIDORS NONE (20 FT MAX)
1024 LUMINOUS PATHWAY NOT REQUIRED
1029 ASSEMBLY EGRESS NOT REQUIRED (NO ASSEMBLY SPACES)
1029 EMERGENCY ESCAPE NOT APPLICABLE

CHAPTER 11 - ACCESSIBILITY SEE THE ACCESSIBILITY CODE SUMMARY BELOW

CHAPTER 12 - INTERIOR ENVIRONMENT MECHANICAL
VENTILATION: NONE
ATTIC: NONE

CHAPTER 16 - STRUCTURAL SEE WIND DESIGN DATA ON THIS SHEET

ACCESSIBILITY CODE SUMMARY
FLORIDA ACCESSIBILITY CODE 2020 (7th Ed)

CHAPTER 2 - SCOPING REQUIREMENTS
201.1 VERTICAL ACCESSIBILITY N/A
203.2 EXCEPTIONS SCAFFOLDING (CONSTRUCTION)
203.9 EMPLOYEE WORK AREAS AREAS FOR WORK EXCLUDED; WHERE POSSIBLE PROVIDE ACCESS FOR APPROACH, ENTRY & EXIT
206 ACCESSIBLE ROUTES AN ACCESSIBLE ROUTE IS PROVIDED
207 ACCESSIBLE EGRESS ACCESSIBLE EGRESS IS PROVIDED
208 ACCESSIBLE PARKING PROVIDED
209 PASSENGER LOADING N/A
210 STAIRWAYS N/A
211 DRINKING FOUNTAINS NOT REQUIRED, SEE PLUMBING CODE SUMMARY
212 KITCHENS AND SINKS ACCESSIBLE
213.2 TOILET AND BATHING ROOMS ACCESSIBLE RESTROOMS PROVIDED
216 SIGNS SIGNS SHALL BE PROVIDED WHERE REQD
217 TELEPHONES N/A
226.1 WORK SURFACES 36" MAX HT, SIDE APPROACH PROVIDED

CHAPTER 3 - BUILDING BLOCKS ACCESSIBLE ROUTE MEETS CODE
303 CHANGES IN LEVEL

CHAPTER 4 - ACCESSIBILITY ROUTES 404 ALL ON ACCESSIBLE ROUTE MEET CODE

CHAPTER 7 - COMMUNICATION ELEMENTS AND FEATURES
703 SIGNS WHERE REQUIRED, SIGNS SHALL COMPLY

FLORIDA BUILDING CODE, PLUMBING
FLORIDA PLUMBING CODE 2020 (7th Ed)

CHAPTER 4 - FIXTURES, FAUCETS AND FIXTURE FITTINGS
403.1 MIN NO. OF FIXTURES - F-1 OCCUPANCY

BUILDING	OCCUP.	W.C.	W.C. LAVS.
15	1	1	1

403.2 SEPARATE FACILITIES NOT REQUIRED (EXCEPT 2, < 15 OCCUPANTS)
403.4.1 DIRECTIONAL SIGNAGE REQUIRED AT ENTRY

FLORIDA FIRE PREVENTION CODE SUMMARY
FLORIDA FIRE PREVENTION CODE 2020 (7th Edition)
11: SIGNIFIES NFPA 1 & 101: SIGNIFIES NFPA 10, AS AMENDED BY Florida

CHAPTER 6 - CLASSIFICATION OF OCCUPANCY (NOTE: 101: CHAPTER IDENTICAL AS BELOW)
6.1.1.2.1 CLASSIF. OF OCCUPANCY (INDUSTRIAL, RECREATIONAL VEHICLE PAINTING, "FINISHING")

CHAPTER 7 - MEANS OF EGRESS
73.1.1 OCCUPANT LOAD SEE BUILDING CODE SUMMARY - CHAPTER 10
73.4.1(2) MIN EXIT WIDTH 36"
75.1.2 EGRESS ILLUMINATION REQUIRED DURING TIMES OF OCCUP.

CHAPTER 8 - FEATURES OF FIRE PROTECTION
8.2.1.2 CONSTRUCTION CLASSIF FOLLOW FLORIDA BUILDING CODE
8.6.10.2.1 MEZZANINES NOT TO EXCEED 1/3 AREA OF ROOM (SPECIAL PURPOSE AND EXCEPTED)
8.6.10.2.1 OPENNESS SHALL BE OPEN ABOVE 42"
8.7.1.1 PROTECTION FROM HAZARDS DOES NOT APPLY (BOTH BUSINESS AND INDUSTRIAL AREA ARE LOW HAZARD)

CHAPTER 10 - INDUSTRIAL OCCUPANCIES
10.1.2.1.2 SPECIAL PURPOSE INDUSTRIAL ORDINARY AND LOW HAZARD OPERATIONS, LOW DENSITY OF EMPLOYEES
40.1.5 CLASS OF HAZARD ORDINARY AND LOW
41.1.5 MIN. CONSTR. REQMENTS NO SPECIAL REQUIREMENTS
40.1.7 OCCUPANT LOAD SEE 17.3.1.2 ABOVE
40.2.2.1 STAIRS GRATED TREADS PERMITTED
40.2.2.2 CAPACITY CALCS AREAS WITH MACHINERY OR EQUIPMENT CAN BE EXCLUDED
40.2.4.1 NUMBER OF EXITS 2 MINIMUM (PROVIDED)
40.2.4.2 SINGLE MEANS OF EGRESS PERMITTED, EXIT CAN BE REACHED WITHIN DISTANCE
T40.2.5.1 EGRESS ARRANGEMENT DEAD END CORRIDORS = 50 FT (NONE); COMMON PATH OF TRAVEL = 50 FT
T40.2.5.1 MAX TRAVEL DISTANCE 300 FT MAX (SPECIAL PURPOSE)
40.2.8 ILLUMINATION OF EGRESS PROVIDED
40.2.9 EMERGENCY LIGHTING PROVIDED
40.2.10 EXIT MARKINGS CLASS A, B OR C
40.3.3.2.1 INT. WALL & CLG FINISH NOT REQUIRED (< 100 OCCUPANTS)
40.3.4 FIRE ALARM NOT REQUIRED (< 100 OCCUPANTS)
40.3.5 EXTINGUISHMENT PORTABLE EXTINGUISHERS PROVIDED

NFPA 10 - STANDARDS FOR PORTABLE FIRE EXTINGUISHERS

CHAPTER 5 - DISTRIBUTION OF FIRE EXTINGUISHERS
CLASS A HAZARDS ORDINARY (MODERATE)
T5.2.1 MIN RATED SINGLE EXTING 2-A
MIN FLR AREA FOR EXTING 1,200 SF (2-A = 3,000 SF)
MAX TRAVEL DIST TO EXTING 75 FT

CLASS B HAZARDS ORDINARY (MODERATE)
T5.3.1 MIN EXIT RATING 10-B
MAX TRAVEL DISTANCE TO EXTINGUISHER 30 FT
20-B

5.5 CLASS C HAZARDS LOCATE BASED ON CLASS A OR CLASS B
5.6 CLASS D HAZARDS NOT MORE THAN 75 FT TRAVEL DISTANCE
5.7 CLASS K HAZARDS NOT MORE THAN 30 FT TRAVEL DISTANCE

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN SECTION 9, TOWNSHIP 8 SOUTH, RANGE 23 EAST, CLAY COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ONE QUARTER OF SAID SECTION 9 AND RUN 8 1/2 DEGREES 44 MINUTES EAST ALONG THE SOUTH LINE OF SAID SECTION 9 A DISTANCE OF 275.10 FEET TO THE WESTERLY BOUNDARY LINE OF DEER SPRINGS FARMS AS PER PLAT THEREOF RECORDED IN PLAT BOOK 13, PAGE 31 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA; THENCE RUN ALONG THE WESTERLY BOUNDARY LINE OF DEER SPRINGS FARMS WITH THE FOLLOWING COURSE AND DISTANCES: NORTH 41 DEGREES 44 MINUTES 50 SECONDS WEST, 263.79 FEET; NORTH 06 DEGREES 56 MINUTES 54 SECONDS EAST, 301.00 FEET; NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, 733.86 FEET; NORTH 42 DEGREES 46 MINUTES 20 SECONDS WEST, 540.00 FEET; THENCE LEAVE SAID WESTERLY BOUNDARY LINE AND RUN SOUTH 47 DEGREES 13 MINUTES 40 SECONDS WEST, 160.00 FEET TO A CONCRETE MONUMENT; THENCE RUN NORTH 42 DEGREES 46 MINUTES 20 SECONDS WEST, 296.00 FEET TO A CONCRETE MONUMENT AT THE SOUTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 21; THENCE RUN NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 21, THENCE MN NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 21, THENCE MN NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF DEER SPRINGS ROAD AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 21, A DISTANCE OF 106.00 FEET; THENCE RUN SOUTH 42 DEGREES 46 MINUTES 20 SECONDS EAST, 596.00 FEET; THENCE RUN SOUTH 47 DEGREES 13 MINUTES 40 SECONDS WEST, 160.00 FEET; THENCE RUN NORTH 42 DEGREES 46 MINUTES 20 SECONDS WEST, 596.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 1.437 ACRES MORE OR LESS.

RESERVING AND TOGETHER WITH AN EASEMENT FOR UTILITIES AND GENERAL ROAD PURPOSES ACROSS A 30 FOOT STRIP OF LAND LYING 15 FEET LEFT OF AND 15 FEET RIGHT OF THE FOLLOWING DESCRIBED LINE. COMMENCE AT THE POINT OF BEGINNING OF THE ABOVE DESCRIBED LANDS AND RUN SOUTH 42 DEGREES 46 MINUTES 20 SECONDS EAST ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, 631.00 FEET TO THE POINT OF BEGINNING OF SAID DESCRIBED LINE. THENCE RUN NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, 385.00 FEET TO THE END OF SAID LINE.

ALSO RESERVING AND TOGETHER WITH AN EASEMENT FOR UTILITIES AND GENERAL ROAD PURPOSES ACROSS A 30 FOOT STRIP OF LAND LYING 15 FEET LEFT OF AND 15 FEET RIGHT OF THE FOLLOWING DESCRIBED LINE. COMMENCE AT THE POINT OF BEGINNING OF THE ABOVE DESCRIBED LANDS AND RUN SOUTH 42 DEGREES 46 MINUTES 20 SECONDS EAST, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, 100 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE OF DEER SPRINGS ROAD. THENCE RUN SOUTH 42 DEGREES 46 MINUTES 20 SECONDS EAST, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, 100 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE OF DEER SPRINGS ROAD. THENCE RUN SOUTH 42 DEGREES 46 MINUTES 20 SECONDS EAST, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, 20.00 FEET TO THE POINT OF BEGINNING. THENCE RUN NORTH 47 DEGREES 13 MINUTES 40 SECONDS EAST, 385.00 FEET TO THE END OF SAID LINE.

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INDEX OF DRAWINGS

NO.	DESCRIPTION
A0.1	COVER
A0.2	LIFE SAFETY PLAN
444- PR-2	ARCHITECTURAL-GRE-PLAN PRE-LIMINARY SITE PLAN
A2.1	FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS & BUILDING SECTION
A7.1	SCHEDULES
A8.1	REFLECTED CEILING PLAN
E2.1	ELECTRICAL POWER PLAN
E2.2	ELECTRICAL LIGHTING PLAN

BASIC PROJECT INFORMATION

PROJECT DESCRIPTION: NEW METAL BUILDING FOR RV SERVICE BUSINESS
OWNER: RVROOF.COM INC, 3296 HWY 17, SUITE 1 GREEN COVE SPRINGS, FL 32043
STREET ADDRESS: 6969 N S.R. 21, KEYSTONE HEIGHTS, FL 32656
JURISDICTION: CLAY COUNTY, FLORIDA
PARCEL NUMBER: 09-08-23-001039-001-20
ZONING DESIGNATION: BB
SETBACKS: FRONT 25 FT, SIDES 25 FT FROM RESIDENTIAL OR AGRICULTURAL, IF CORNER SIDE SETBACK SAME AS FRONT, REAR 20 FT, 25 FT WHERE ADJACENT TO RESIDENTIAL, IF NO PUBLIC STREET AT REAR PROVIDE 15 FT MIN ACCESS REFUSE, NO REFUSE CLOSER THAN 10 FT TO PROPERTY LINE. CONFINED, CONTAINED AND ENCLOSED OR SCREENED VISUAL, 10 FT LANDSCAPE AREA, MIN 6 FT HIGH OPAQUE BARRIER, TREES 30 FT ON CENTER
BUILDING AREA: 7,500 GSF
MAX DENSITY: 40% FAR (FLOOR AREA RATIO)

STATEMENT OF SCOPE FOR CODE REVIEWERS

NARRATIVE: THIS IS A NEW PRE-ENGINEERED, PRE-FABRICATED METAL BUILDING WITH OFFICE AREA AND PRE-FAB MEZZANINE.

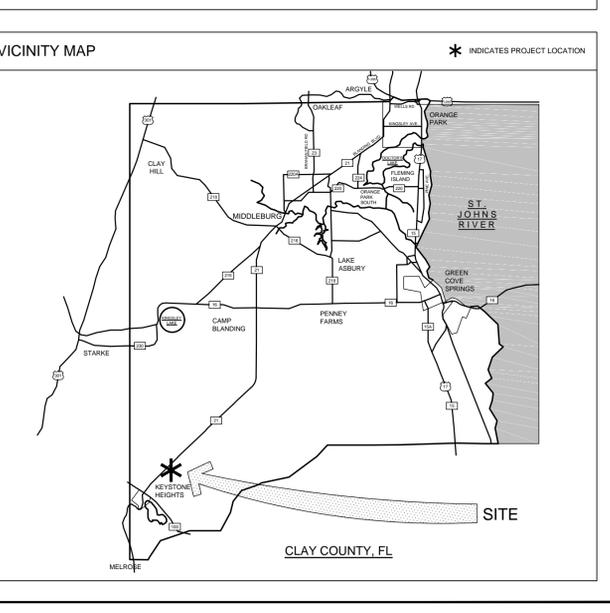
SITE WORK/CIVIL: AS NOTED ON THE CIVIL SITE PERMIT APPLICATION
ARCHITECTURAL: NEW BUILDING AND INTERIOR
STRUCTURAL: SEE MB SHOP DWGS FOR SHELL, ATTACHED STRUCTURAL DWGS FOR FOUNDATION AND SHOP DWGS FOR PRE-FAB MEZZANINE
PLUMBING: NEW PLUMBING AS SHOWN ON THE PLUMBING PERMIT APPLICATION
MECHANICAL/HVAC: NEW HVAC EQUIPMENT & DISTRIBUTION AS SHOWN ON THE MECHANICAL PERMIT APPLICATION
ELECTRICAL: NEW ELECTRICAL AS SHOWN ON THE ELECTRICAL DRAWINGS IN THIS SET AND ON THE ELECTRICAL PERMIT APPLICATION.
FIRE PROTECTION: NOT APPLICABLE NOT REQUIRED

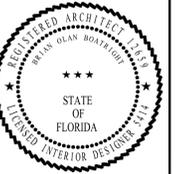
ARCHITECT STATEMENT

AS REQUIRED BY FLORIDA BUILDING CODE SECTION 1108.4.4, THE ARCHITECT HEREBY CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES.

WIND DESIGN DATA (PER FBC)

BUILDING CODE	FLORIDA BLDG CODE, 2020 (7th Ed)	COMPONENTS & CLADDING (LEFT)
BASIC WIND SPEED (ULT)	132 mph	
BUILDING IMPORTANCE CATEGORY	II	
WIND IMPORTANCE FACTOR	1.0	TRSB AREA POS 4 & 5 CTR ZONE 4
WIND EXPOSURE	404	10 SF 38.9 -42.1 -51.9 20 SF 37.2 -40.4 -48.4 50 SF 34.9 -38.1 -43.9 100 SF 33.2 -36.4 -40.4
INTERNAL PRESSURE COEFFICIENT	± 0.18 (ENCL)	
WIND-BORNE DEBRIS REGION	NO	200 SF 31.5 -34.7 -37.0 500 SF 29.2 -32.4 -32.4

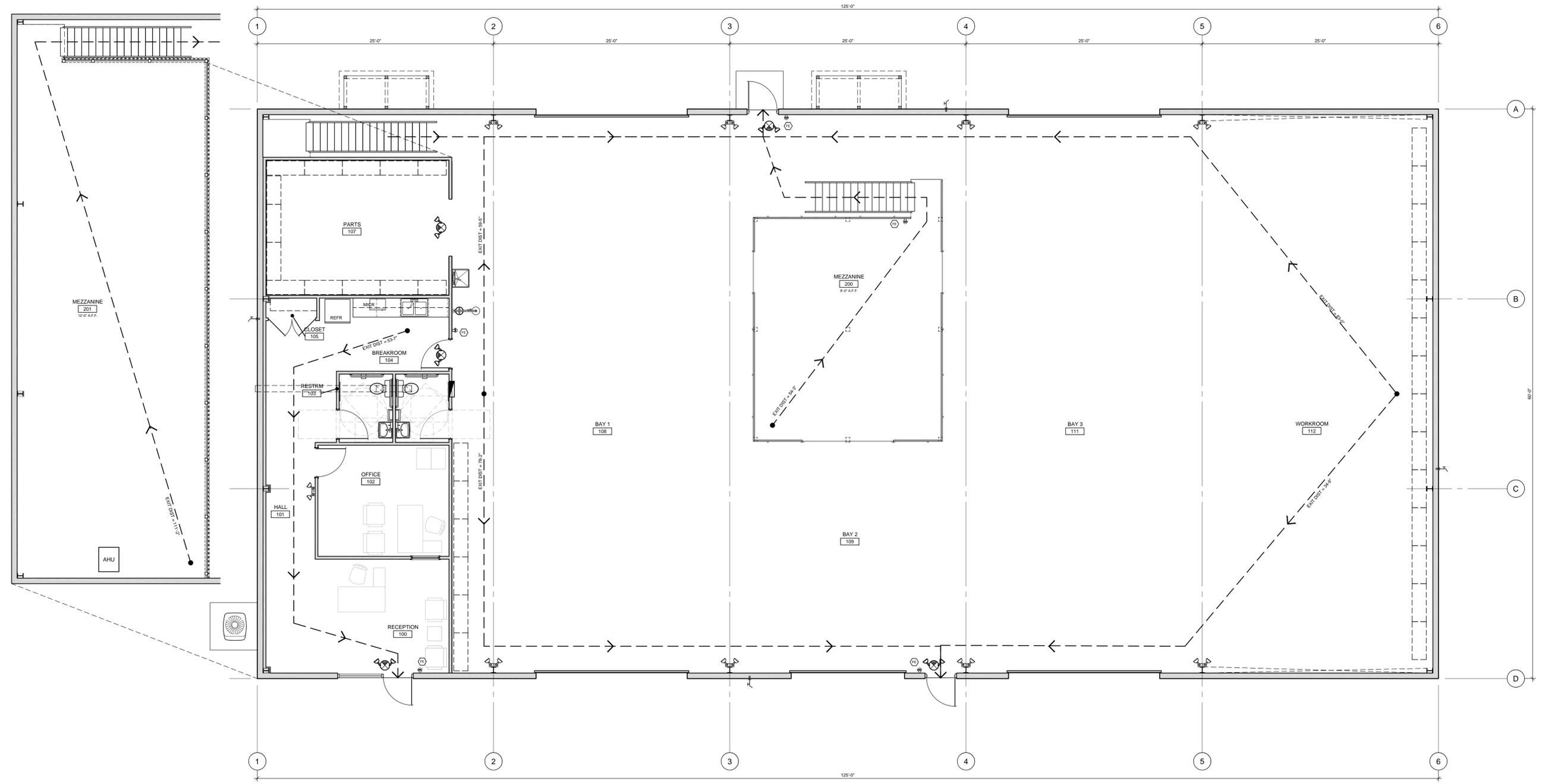




2020 FLORIDA BUILDING CODE, ACCESSIBILITY CODE (7TH ED)

SYMBOLS	
	1-HR RATED WALL
	LONGEST EXIT PATH
	FIRE EXTINGUISHER
	FE-1 5-lb. (3A-40BC)
	FE-2 10-lb. (4A-80BC)
	FE-3 20-lb. (20A-120BC)
	FE-4 15-lb. (CLASS K)
	COMBINATION EXIT SIGN AND EMERGENCY LIGHTING
	EMERGENCY LIGHT
	EMERGENCY LIGHT & EXIT SIGN COMBO
	SMOKE DETECTOR
	HEAT DETECTOR
	FIRE PULL
	HORN/VOICE EVACUATION
	STROBE
	STROBE/HORN, VOICE EVACUATION
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	FIRE SUPPRESSION FLOW SWITCH
	FIRE SUPPRESSION TAMPER SWITCH

- ACCESSIBLE ROUTE:**
- ACCESSIBLE ROUTE TO COMPLY WITH 206 AND 402.
 - ACCESSIBLE MEANS OF EGRESS TO COMPLY WITH 207.
 - PARKING SPACES TO COMPLY WITH 208 AND 502.
 - WALK SURFACES TO COMPLY WITH 403.
- ACCESSIBLE DOORS AND DOORWAYS:**
- DOORS AND DOORWAYS TO COMPLY WITH 404.
 - THRESHOLDS TO COMPLY WITH 404.2.2.
 - DOOR HARDWARE TO COMPLY WITH 404.2.7.
- ACCESSIBLE TOILET FACILITIES:**
- ACCESSIBLE TOILET FACILITIES TO COMPLY WITH 213 AND CHAPTER 6.
 - DRINKING FOUNTAINS TO COMPLY WITH 602.
 - TOILET ROOMS TO COMPLY WITH 603.
- ACCESSIBLE KITCHENS:**
- ACCESSIBLE KITCHENS TO COMPLY WITH 212, 606, AND 804.
- SIGNAGE:**
- DIRECTIONAL AND INFORMATION SIGNAGE TO COMPLY WITH 216.



NEW BUILDING FOR
RVROOF.COM
 6969 N S.R. 21, KEYSTONE HEIGHTS, FL 32656

REVISIONS		
NO.	DATE	COMMENT

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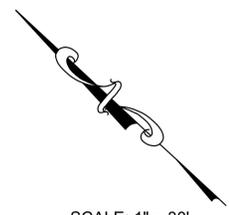
1 LIFE SAFETY PLAN
 3/16" = 1'-0"

A0.2

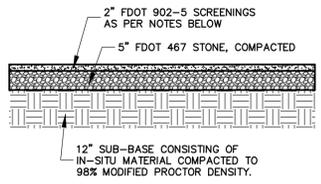
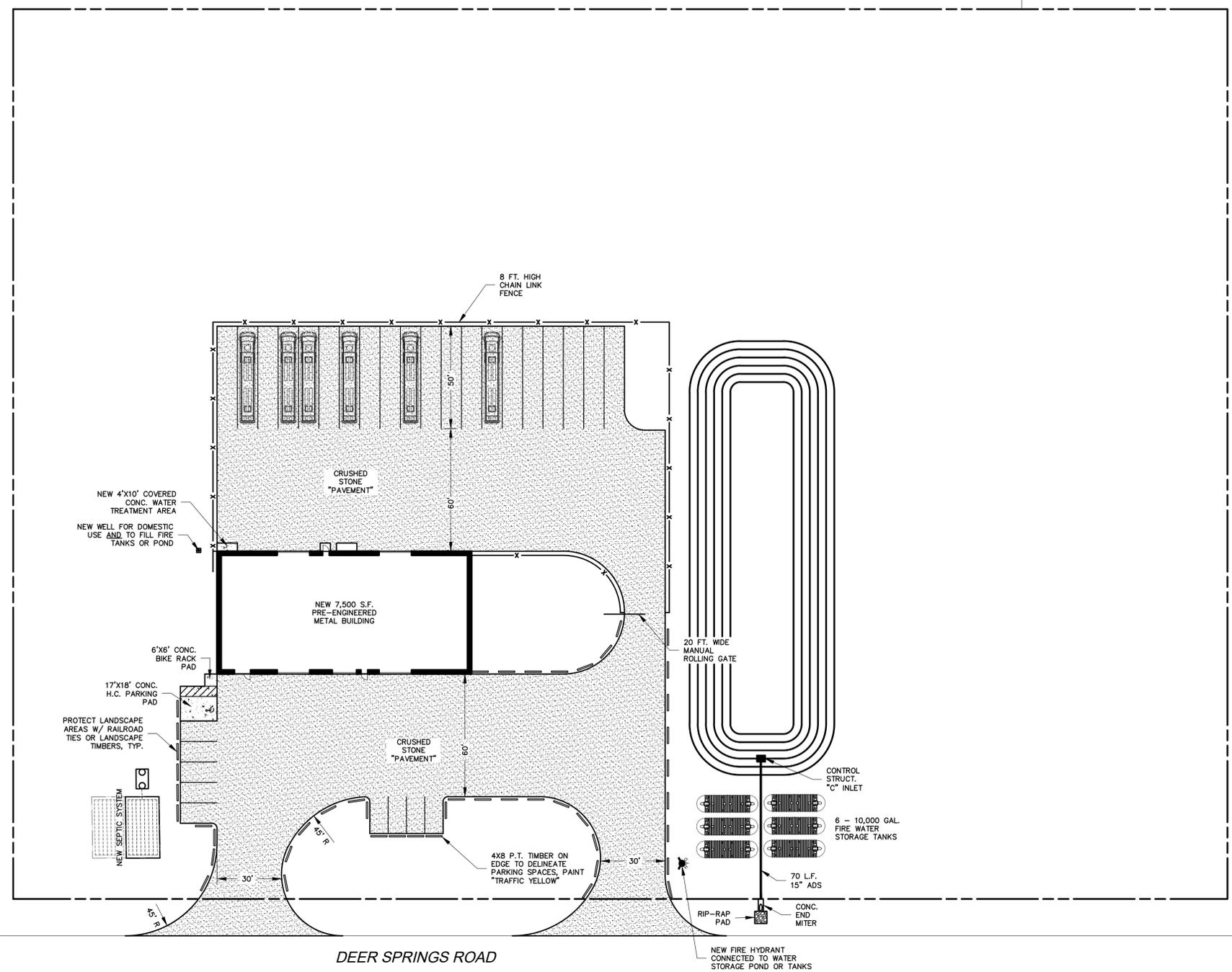
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REV.	DATE	DESCRIPTION
0	12/21/20	PRELIMINARIES



SCALE: 1" = 30'



NOTES:
SPREAD STONE, THEN SCREENINGS. COMPACT DRY WITH A VIBRATORY ROLLER, 4 FULL PASSES EACH WAY. SATURATE AND MAKE 1 ADDITIONAL FULL PASS WITH ROLLER.

TYPICAL SECTION FOR NEW CRUSHED STONE "PAVEMENT"
N.T.S.

SEPTIC SYSTEM SIZING
SYSTEM SIZE DETERMINATIONS AS PER 64E-6.008:

FROM TABLE I:
FACTORIES, NO SHOWERS,
15 GPD X 6 EMPLOYEES = 90 GPD
2 "DOCK" DOORS (SERVICE BAYS)
@ 100 GPD = 200 GPD
TOTAL = 290 GPD

FROM TABLE II:
USE 900 GALLON SEPTIC TANK

SOILS ARE FINE SANDS

FROM TABLE III:
FOR FINE SAND IN A BED, ALLOWABLE
LOADING RATE = 0.60 GAL./SQ.FT./DAY

290 GPD / 0.70 GAL./SQ.FT./DAY =
414 SQ.FT. OF BED REQUIRED

PARKING ANALYSIS:

AUTO REPAIR
2 SPACES + 2 SERVICE BAYS
@ 4 / BAY = 10 SPACES
REQUIRED

10 PARKING SPACES PROVIDED

FOR 10 PARKING SPACES, 1
MUST BE H.C.

1 H.C. SPACE IS PROVIDED

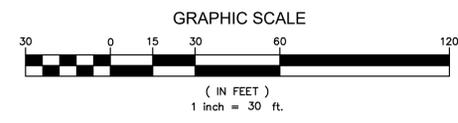
OR:

**MANUFACTURING, PROCESSING
AND ASSEMBLY**
7,500 S.F. @ 1 / 750 S.F.
= 10 SPACES REQUIRED

10 STANDARD PARKING
SPACES PROVIDED

FOR 10 PARKING SPACES, 1
MUST BE H.C.

1 H.C. SPACE IS PROVIDED



PRELIMINARY - NOT FOR
CONSTRUCTION

STATE ROAD 21

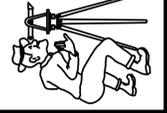
DEER SPRINGS ROAD

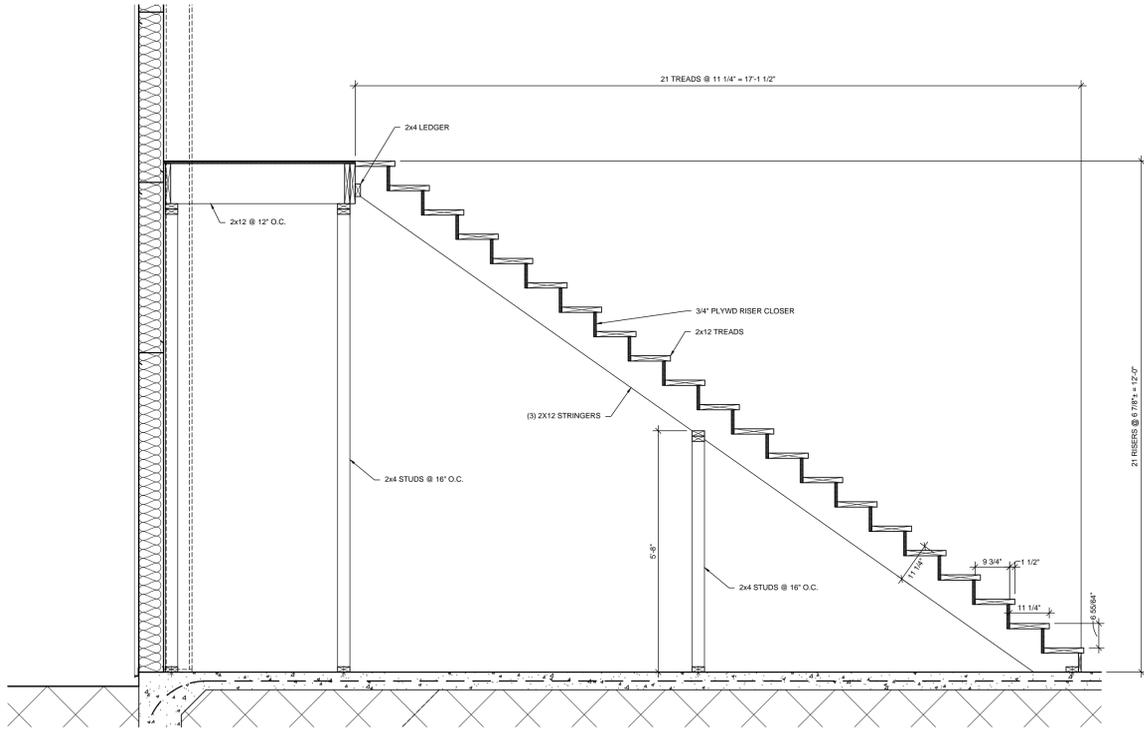
TREAT ROAD

PRELIMINARY
SITE PLAN #2

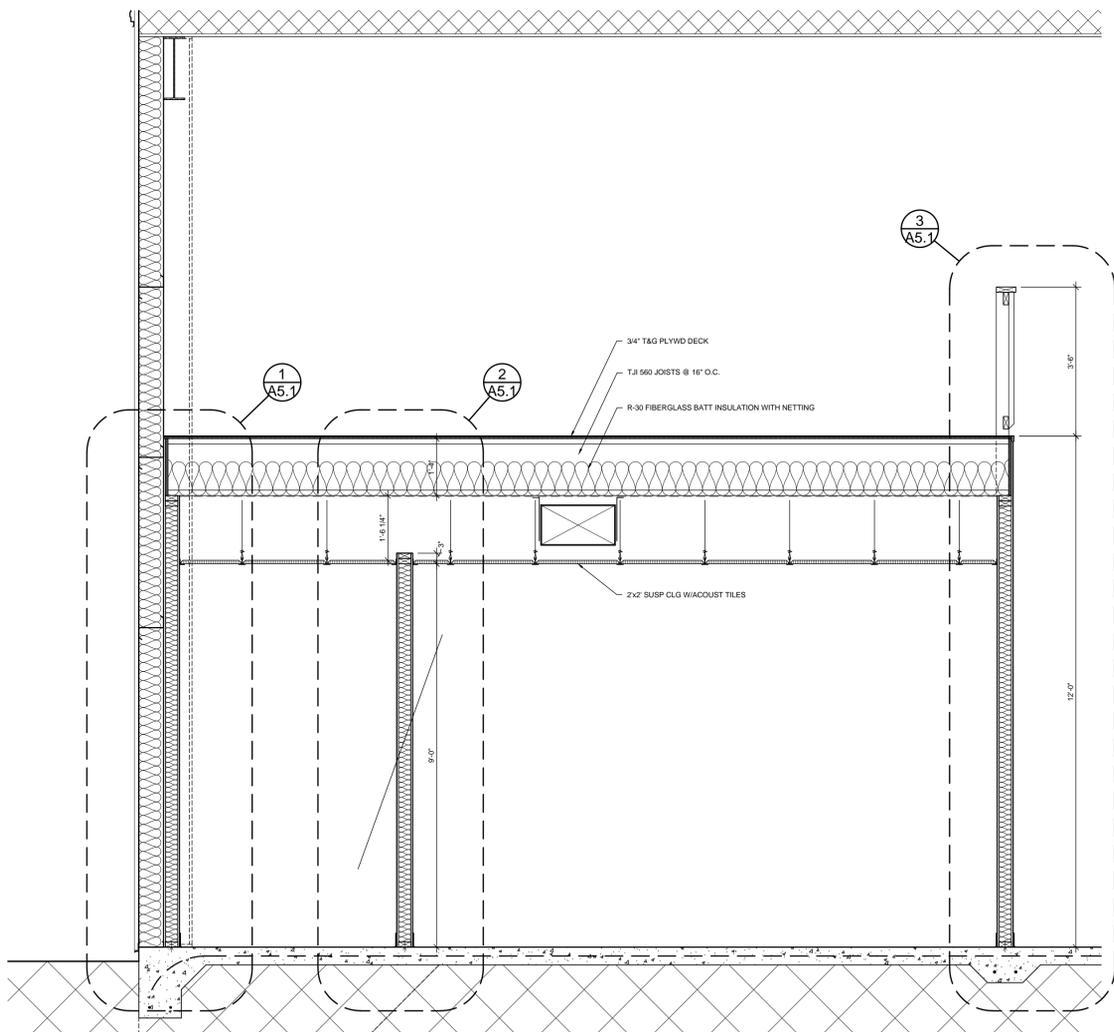
New Facility for
RV ROOF.COM, INC.
6969 State Road 21
Clay County, FL

Allyn C. Tidball, P.E.
Civil Engineering - Site Investigation
2276 Laurel Grove Lane
Orange Park, Florida 32073
(904)-264-3760
ATidball@AllynCTidballPE.com
FL P.E. #33532

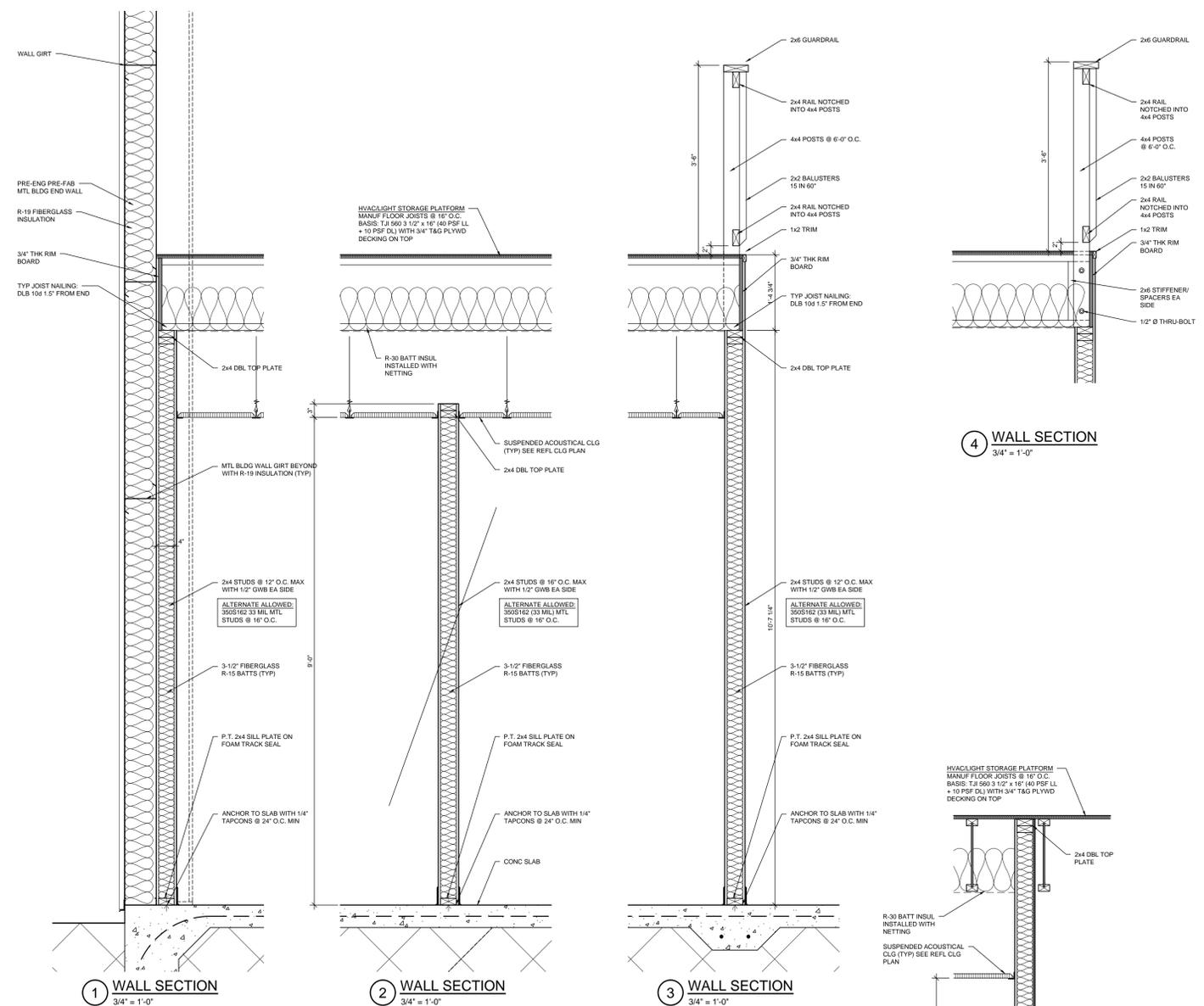




6 SECTION
1/2" = 1'-0"



5 SECTION
1/2" = 1'-0"

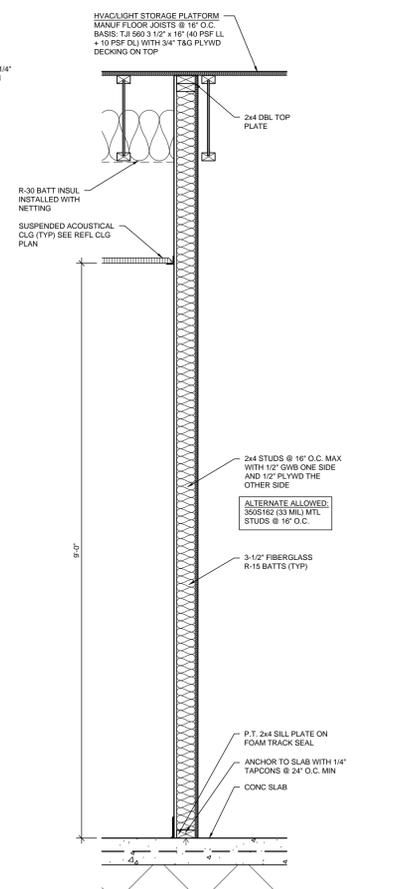


1 WALL SECTION
3/4" = 1'-0"

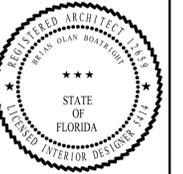
2 WALL SECTION
3/4" = 1'-0"

3 WALL SECTION
3/4" = 1'-0"

4 WALL SECTION
3/4" = 1'-0"



7 WALL SECTION
3/4" = 1'-0"



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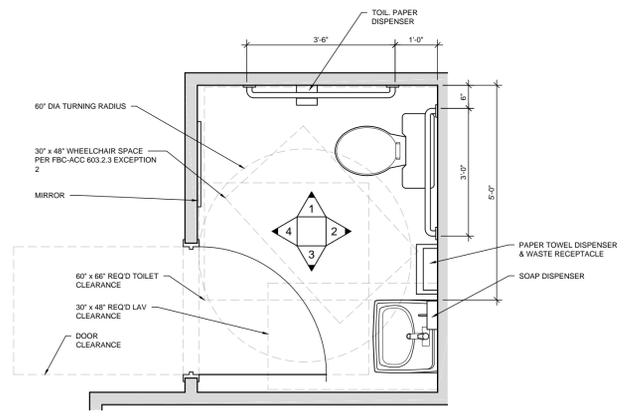
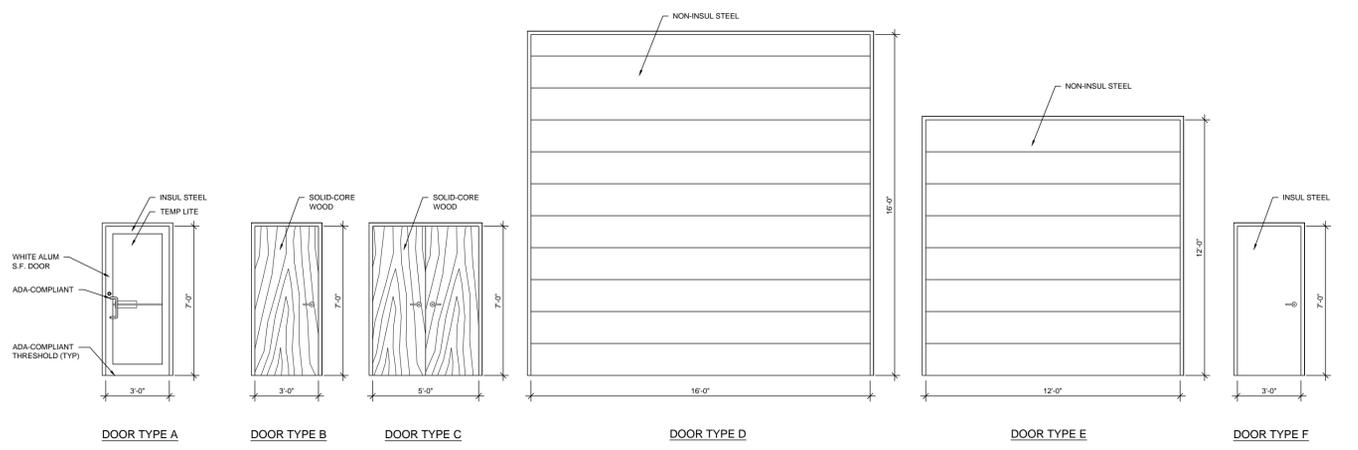
FINISH SCHEDULE															
NO	ROOM NAME	FLOOR			BASE			WALLS			CEILING			CLG HT	NOTES
		SEALED CONC	VLT	PLYWOOD	RUBBER			GWB	M.R. GWB	URETHANE, EPOXY OR ACRYLIC PAINT	1/2" PLYWOOD	ACQUST TILE	OPEN		
100	RECEPTION		X				X			X			X	9'-0"	
101	HALL		X				X			X			X	9'-0"	
102	OFFICE		X				X			X			X	9'-0"	
103	RESTROOM		X				X	X	X	X			X	9'-0"	
104	BREAKROOM		X				X			X			X	9'-0"	
105	CLOSET		X				X			X			X	9'-0"	
106	RESTROOM		X				X	X	X	X			X	9'-0"	
107	PARTS	X								X		X		OPEN	
108	BAY 1	X								X		X		OPEN	1
109	BAY 2	X								X		X		OPEN	1
110	BAY 3	X								X		X		OPEN	1
111	WORKROOM	X								X		X		OPEN	1
200	MEZZANINE			X						X		X		OPEN	
201	MEZZANINE			X						X		X		OPEN	

DOOR SCHEDULE													
NO	ROOM	SIZE W x H	THK	FRAME			DOOR			EXT	LOCKS	LITES	NOTES
				TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
100	RECEPTION	3' x 7'	1.34	SF	ALUM	CLEAR	A	STEEL	PAINT	Y	Y	TEMP	1
102	OFFICE	3' x 7'	1.34	HM	WOOD	STAIN	B	SC WD	STAIN		Y		
103	RESTROOM	3' x 7'	1.34	HM	WOOD	STAIN	B	SC WD	STAIN		Y		
104	BREAKROOM	3' x 7'	1.34	HM	WOOD	STAIN	B	SC WD	STAIN		Y		
105	CLOSET	2'-2" x 7'	1.34	HM	WOOD	STAIN	C	STEEL	PAINT				
106	RESTROOM	3' x 7'	1.34	HM	WOOD	STAIN	B	STEEL	PAINT		Y		
108A	BAY 1	16' x 16'	1.34	-	STEEL	PAINT	D	STEEL	PAINT	Y			
108B	BAY 1	16' x 16'	1.34	-	STEEL	PAINT	D	STEEL	PAINT	Y			
109A	BAY 2	12' x 12'	1.34	-	STEEL	PAINT	E	STEEL	PAINT	Y			
109B	BAY 2	3' x 7'	1.34	HM	STEEL	PAINT	F	STEEL	PAINT	Y	Y		
109C	BAY 2	3' x 7'	1.34	HM	STEEL	PAINT	F	STEEL	PAINT	Y	Y		
110A	BAY 3	16' x 16'	1.34	-	STEEL	PAINT	D	STEEL	PAINT	Y			
110B	BAY 3	16' x 16'	1.34	-	STEEL	PAINT	D	STEEL	PAINT	Y			

GENERAL NOTES:
1. ALL EXTERIOR DOORS TO COMPLY WITH FLORIDA PRODUCT APPROVAL.
2. ALL INTERIOR WOOD DOORS TO BE OF SOLID-CORE CONSTRUCTION, U.N.O.
3. ALL DOORS SHALL BE A.D.A. ACCESSIBLE, WITH A.D.A. COMPLIANT HARDWARE.

ABBREVIATIONS:
FG FIBERGLASS/INSUL
GWB GYPSUM WALLBOARD
HM HOLLOW METAL
OH OVERHEAD ROLL-UP
SC SOLID-CORE (WOOD)
SF STONEFRONT/ALUM
TEMP TEMPERED GLASS
WD SOLID-CORE WD

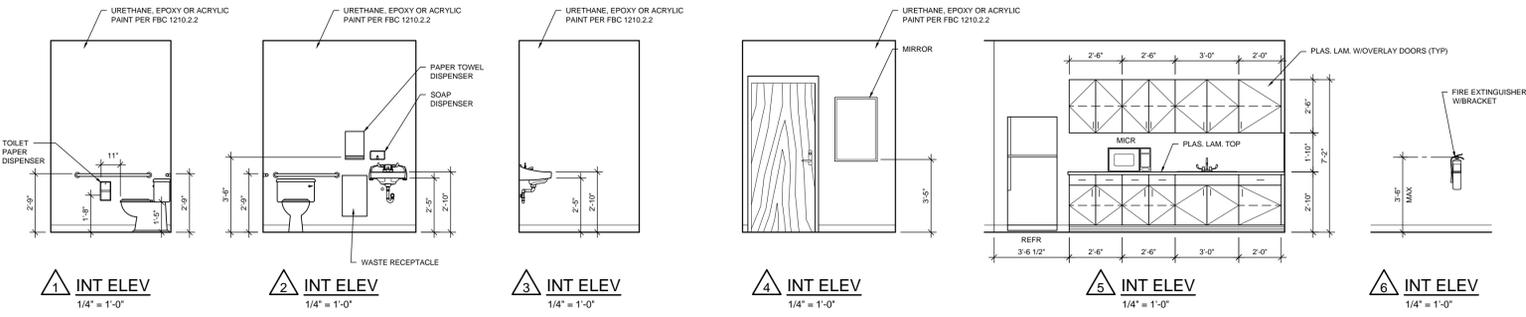
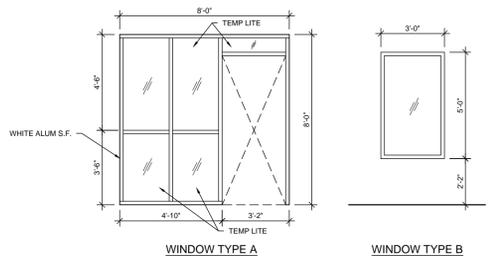
SPECIFIC NUMBERED NOTES FOR SCHEDULE:
1. TEMPERED GLASS



1 ENLARGED TOILET PLAN
1/2" = 1'-0"

WINDOW SCHEDULE										
MARK	ROUGH OPENING W x H	LITES	TYPE	EGRESS CAPABLE REQD	FRAME		GLAZING	HEAD MOUNTING HEIGHT*	NOTES	
					MATERIAL	FINISH				
A	8' x 8'	5	SF	NO	ALUM	CLEAR	1/2" INSUL	7'-0"	WHITE	
B	3' x 5'	1	HM	NO	STEEL	PAINT	1/2" INSUL	7'-2"		

GENERAL NOTES:
1. ALL DIMENSIONS ARE ROUGH OPENINGS. DEDUCT FOR SHIM SPACE AS NEEDED.
* HEAD HEIGHT BASED ON MAIN FLOOR ELEV OF 0'-0"



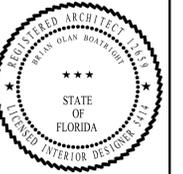
NEW BUILDING FOR
RVROOF.COM
6969 N S.R. 21, KEYSTONE HEIGHTS, FL 32656

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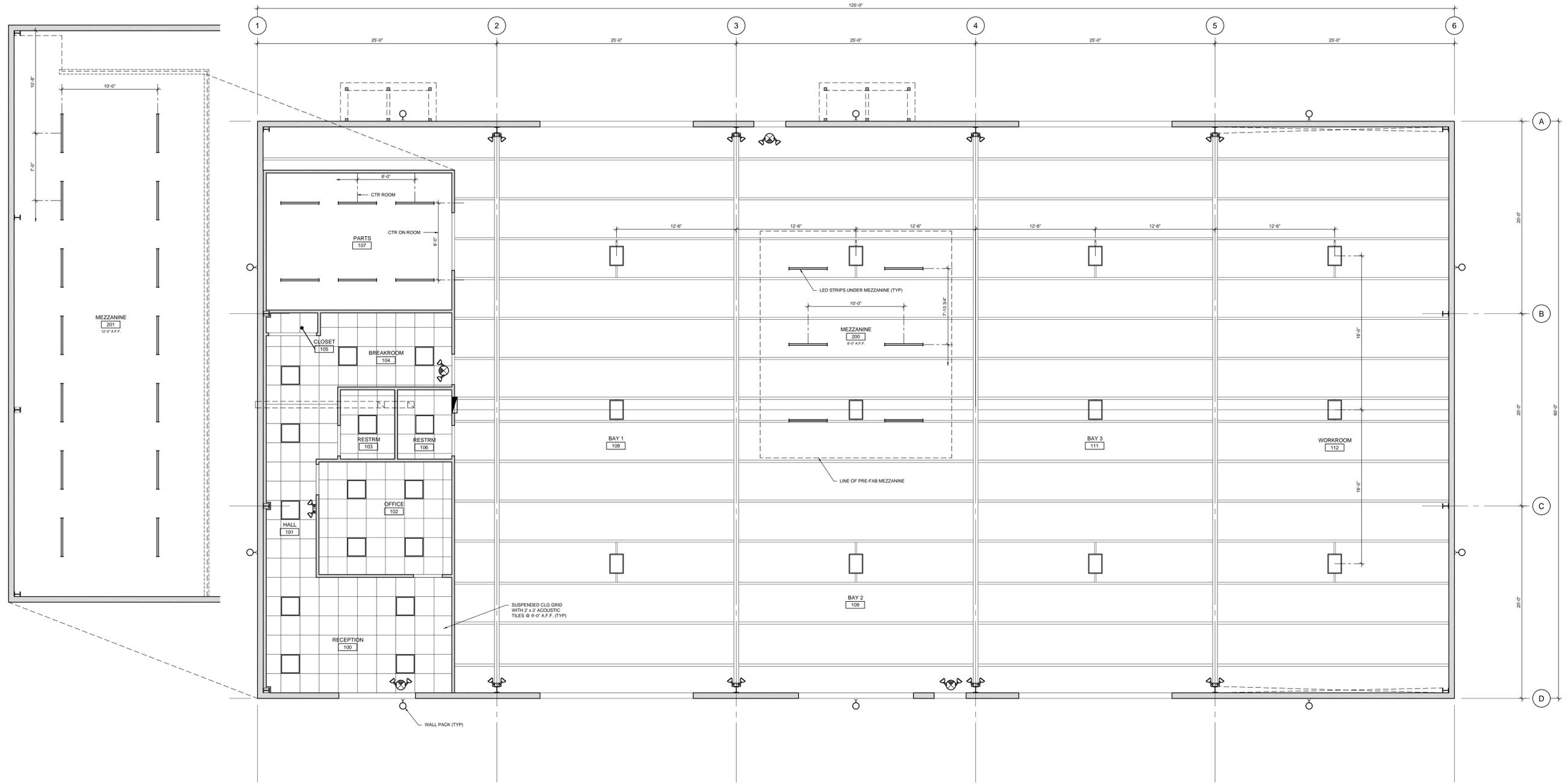
A7.1

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REFLECTED CEILING LEGEND

- SURFACE MTD. OR LAY-IN TROFFER (IF IN GRID)
 - HIGH BAY FIXTURE
 - EXPOSED LINEAR FIXTURE
 - CEILING/PENDANT FIXTURE
 - WALL-MOUNTED FIXTURE
 - RECESSED CAN LIGHT
 - SINGLE POLE SWITCH RATED 120/277
 - THREE POLE SWITCH
 - DIMMER SWITCH
 - 2 x 2 SUSPENDED CLG GRID W/ ACOUSTICAL TILES
 - EMERGENCY LIGHT W/ BATTERY
 - EMERGENCY LIGHT W/EXIT LIGHT
 - EXIT LIGHT
 - ELECTRICAL PANEL
 - MR MOISTURE RESISTANT
 - NLEB NIGHT LIGHT/EMERGENCY BALLAST
- SHADING REPRESENTS LIT FACE
ARROWS REPRESENT CHEVRONS



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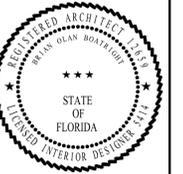
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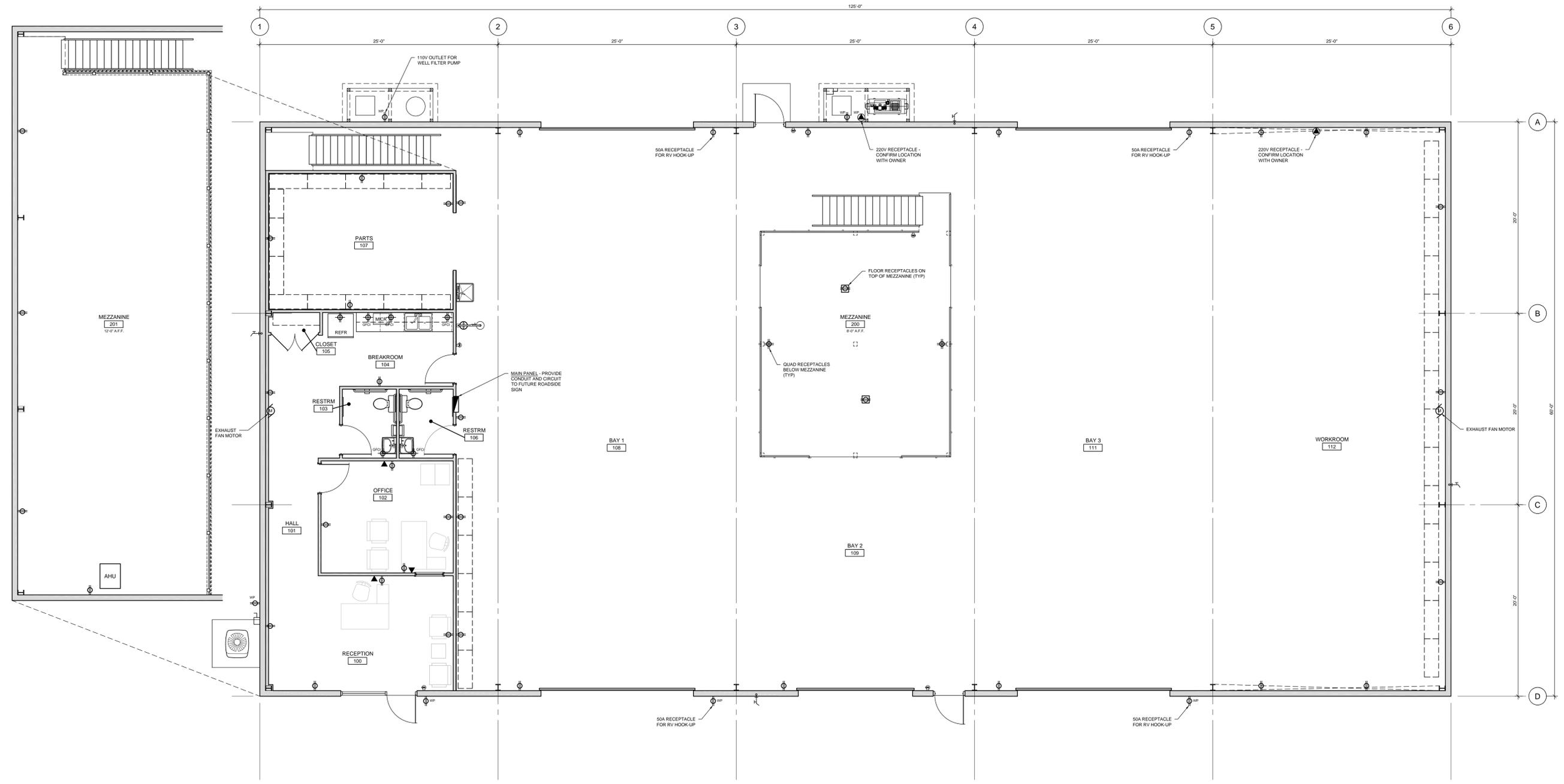
1 REFLECTED CEILING PLAN
 3/16" = 1'-0"

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- POWER LEGEND**
- DUPLEX WALL RECEPTACLE
 - DUPLEX WALL RECEPTACLE - ABOVE COUNTER
 - QUAD RECEPTACLE
 - SPECIAL DUPLEX RECEPTACLE (FLOOR OR CEILING)
 - SPECIAL RECEPTACLE 220
 - DATA/PHONE OUTLET
 - DISCONNECT SWITCH
 - TELEPHONE BACKBOARD
 - ELECTRICAL PANEL
 - EXHAUST FAN
 - MOTOR
 - EWC ELECTRICAL WATER COOLER
 - GFI GROUND FAULT CIRCUIT INTERRUPT
 - MR MOISTURE RESISTANT
 - WP WEATHERPROOF AND GFI



NEW BUILDING FOR
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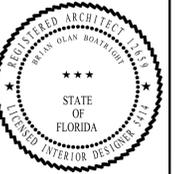
REVISIONS		
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1 ELECTRICAL POWER PLAN
 3/16" = 1'-0"

E2.1

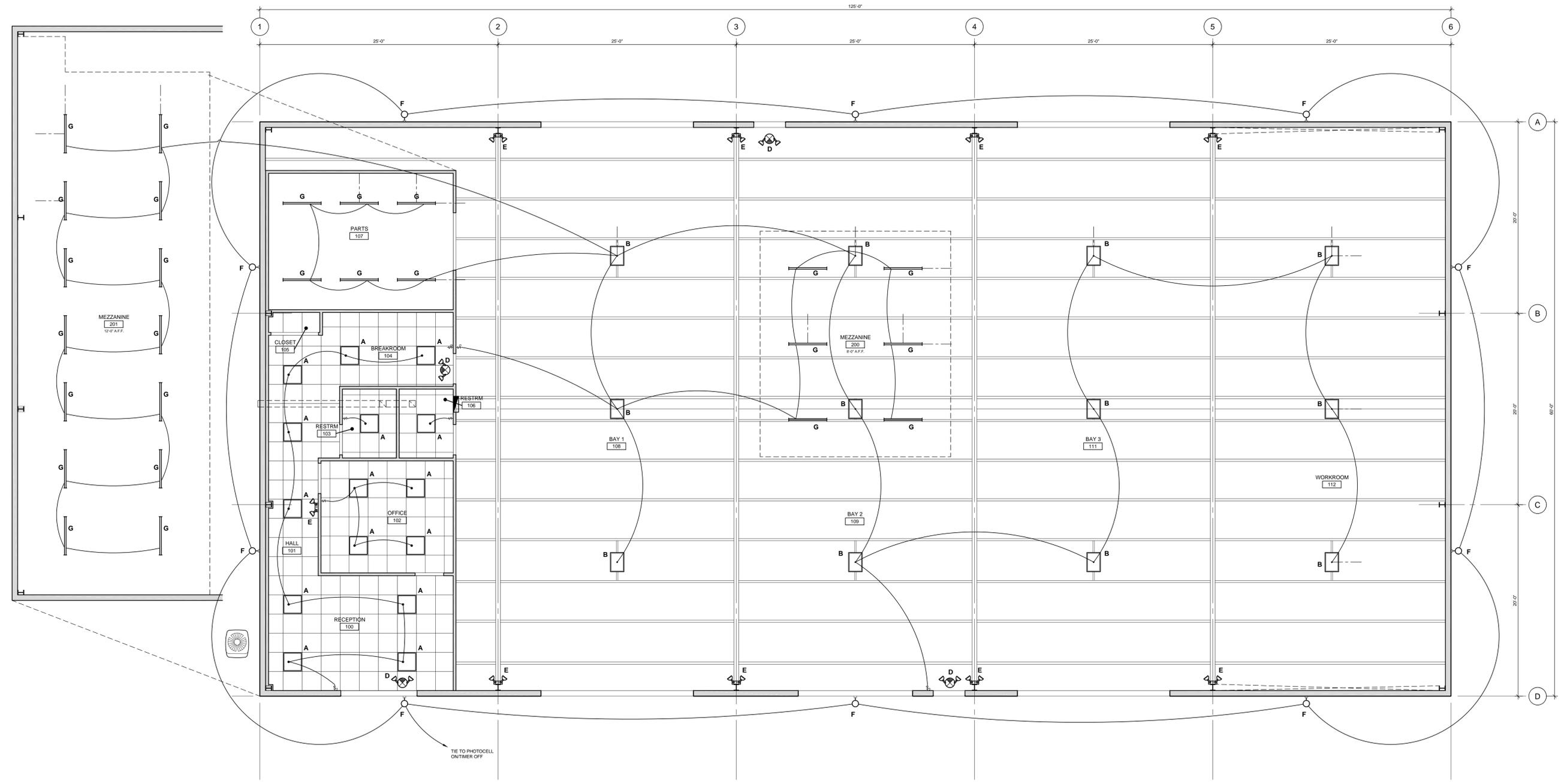
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MARK	TYPE/LOCATION	MANUFACTURER	MODEL NO.	LUMENS	VOLT	LAMPS		TOTAL WATTS	MOUNTING & INSTALLATION NOTES
						#	TYPE		
A	2x2 LAY-IN	HE WILLIAMS	LP-22-L40-835-DIM-UNV	4000	UNV		LED	39.2	LAY-IN
B	HIGH BAY	HE WILLIAMS	GH-2-L240-840-FA-DIM-UNV	24000	UNV		LED	176.8	CHAIN-HUNG
C	WALL PACK	SIGNIFY	LPW-16-30-NW-G3-3-UNV	3364	UNV		LED	34.3	WALL-MOUNT. SEE EXT ELEVS
D	EXTREM COMBO	SIGNIFY	VLLCR2R		UNV		LED	3.0	
E	EM WALL UNIT	SIGNIFY	VLLUR		UNV		LED	0.78	
F	REMOTE HEADS	SIGNIFY	VLL2RGO		UNV		LED	1.0	REMOTE HEADS
G	LED STRIPS	SIGNIFY	FSI-4-55L-640-UNV-DIM	5500	UNV		LED	45	CHAIN-HUNG

COORDINATE POLE MOUNTED PARKING LOT LIGHTING WITH CIVIL PLANS. RE-USE EXISTING POLES IF POSSIBLE.

- LIGHTING LEGEND**
- SURFACE MTD. OR LAY-IN TROFFER (IF IN GRID)
 - EXPOSED LINEAR FIXTURE
 - CEILING PENDANT FIXTURE
 - WALL-MOUNTED FIXTURE
 - RECESSED CAN LIGHT
 - SINGLE POLE SWITCH RATED 120/277
 - THREE POLE SWITCH
 - DIMMER SWITCH
 - EMERGENCY LIGHT W/ BATTERY
 - EXIT LIGHT
 - ELECTRICAL PANEL
 - MR MOISTURE RESISTANT
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- SHADING REPRESENTS LIT FACE
ARROWS REPRESENT CHEVRONS



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1 ELECTRICAL LIGHTING PLAN
 3/16" = 1'-0"

E2.2

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