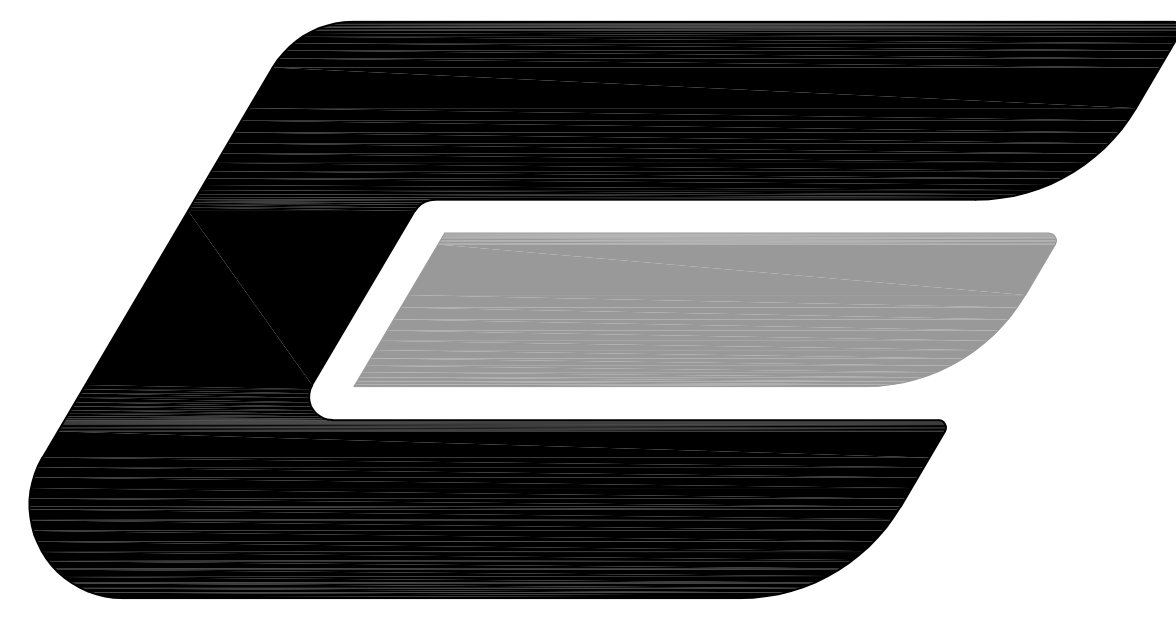


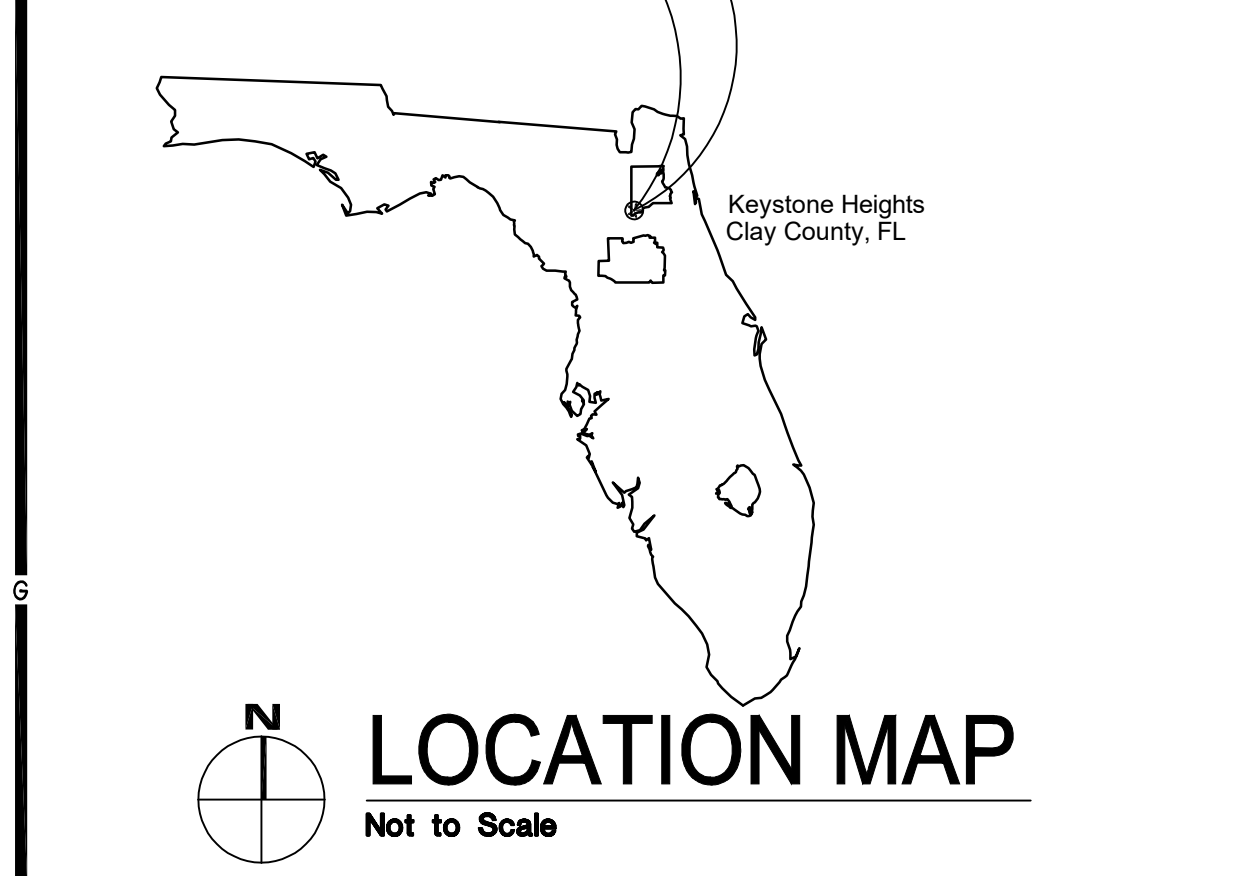
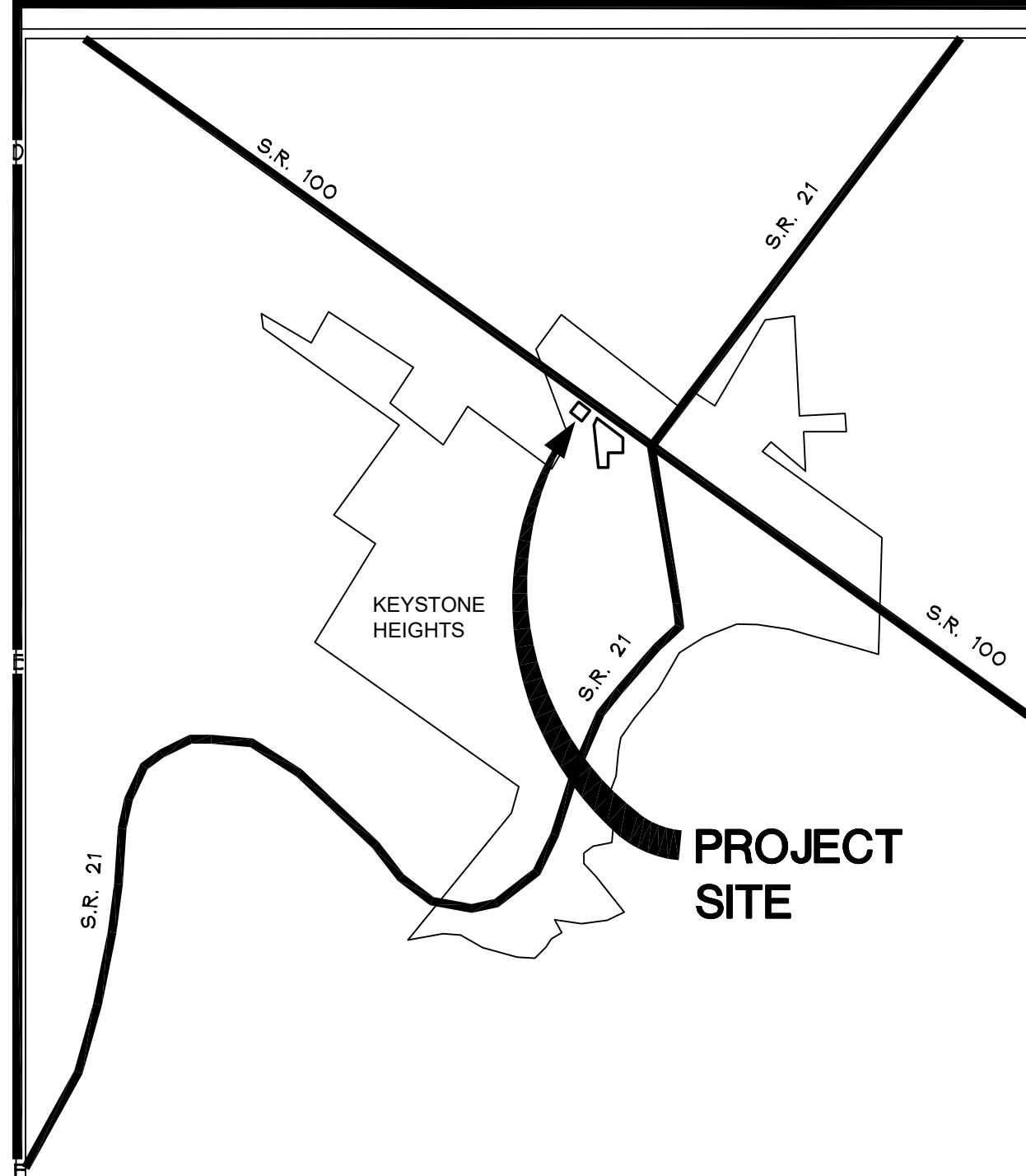
Clay Electric Cooperative, Inc.

A Touchstone Energy Cooperative



Demolition of Existing Office Building & One Bay at Transportation Building

10 CITRUS DRIVE KEYSTONE HEIGHTS, FLORIDA



BUILDING CODE INFORMATION

Florida Building Code - Existing Buildings Sixth Edition (2017 Edition)
Level 2 Alternations


Office Building Demolition - 6,007 sq ft
One Bay of Transportation Bldg - 1,453 sq ft
Total Bldg Demolition Area - 7,460 sq ft
Existing Transportation Bldg to Remain - 5,111 sq ft

Type of Construction: TYPE V-B, Unsprinklered
Occupancy Classification: Office Building - Business (Group B)
Parking Garage - Low-Hazard Storage (Group S-2)

Existing Building Areas:	Provided	Allowed
Office Building -	6,007 S.F. 1 Story	19,000 S.F. 4 Story
Parking Garage -	5,111 S.F. 1 Story	26,000 S.F. 4 Story

LIST OF ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR	EQ EQUAL	NOM NOMINAL
ALUM ALUMINUM	EQUIP EQUIPMENT	O.A. OVER ALL
ALT ALTERNATE	ETC ETCETERA	O.C. ON CENTER
AP ACOUSTICAL PANEL	E.W. EACH WAY	OPNG OPENING
APC ACOUSTICAL PANEL CEILING	EXIST EXISTING	P.C. PRECAST
APP APPLIANCE(S)	EXP.JT EXPANSION JOINT	PERIM PERIMETER
BD BOARD	FLSHG FLASHING	PREFAB PREFABRICATED
BLK BLOCK	FT FOOT/FEET	PLYWD PLYWOOD
BOT BOTTOM	FTG FOOTING	P.S. PROJECTOR SCREEN
BRG BEARING	FURR FURRING	P.T. PRESSURE TREATED
B.U.R. BUILT UP ROOF	F.W. FRAME WIDTH	Q.T. QUARRY TILE
C.J. CONTROL JOINT	GA GAUGE	RAD RADIUS
C.L. CHAIN LINK	GALV GALVANIZED	REFRIG REFRIGERATOR
CLG CEILING	H.C. HANDICAPPED	REINF REINFORCED
CMU CONCRETE MASONRY UNIT	HGT HEIGHT	REQ'D REQUIRED
COL COLUMN	HORIZ HORIZONTAL	SHT SHEET
COMP COMPOSITION	HW HOT WATER	SIM SIMILAR
CONC CONCRETE	INSUL INSULATION	SQ SQUARE
CONT CONTINUOUS	INT INTERIOR	STL STEEL
CTG COATING	JST JOIST	STRUC STRUCTURE/STRUCTURAL
CV CENTRAL VACUUM	JTS JOINTS	ST STL STAINLESS STEEL
DBL DOUBLE	L ANGLE	SUPP SUPPORT
DISP DISPENSER	MFR MANUFACTURER	T.S. TUBULAR STEEL
D.S. DOWNSPOUT	MAX MAXIMUM	TYP TYPICAL
D'WGS DRAWINGS	MECH MECHANICAL	U.O.N. UNLESS OTHERWISE NOTED
EA EACH	MIN MINIMUM	VERT VERTICAL
E.J. EXPANSION JOINT	MTD MOUNTED	W/ WITH
ELEC ELECTRICAL	MTL METAL	WD WOOD
		W.W.F. WELDED WIRE FABRIC



Brame Heck ARCHITECTS INC.
FOUNDED 1911

DRMP, INC
Civil Engineers

Sputo & Lammert
Engineering, LLC
Structural Consulting Engineers

Manley Design
Landscape Architect

Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

PROJECT No 20-1697

INDEX OF DRAWINGS

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C3.0	PAVING, GRADING AND DRAINAGE PLAN
L.001	LANDSCAPE PLAN, NOTES, AND SCHEDULE
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D1.1	DEMOLITION FLOOR PLAN
A1.1	FLOOR PLAN
A2.1	WALL SECTION DETAILS & BLDG ELEVATION

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

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Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20-1697

COVER SHEET	
INDEX & LOCATION MAP & DEMO PLAN	
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SITE GENERAL NOTES

- 1. THE OVERALL SITE TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON WAS ORIGINALLY PREPARED BY DEREN LAND SURVEYING. DATED AUGUST 8, 2020.
2. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS WHICH MAY BE DISTURBED BY CONSTRUCTION.
3. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FDOT MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.
6. ALL NON-CONFORMING SIGNS SHALL BE REMOVED FROM THE SITE.
7. ALL WORK PERFORMED IN THE CITY RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE LATEST FDOT AND CITY OF GAINESVILLE STANDARDS. PLEASE INFORM CITY INSPECTORS 24 HOURS PRIOR TO COMMENCING ANY WORK IN THE RIGHT-OF-WAY.
8. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
9. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
10. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND SOILS ENGINEER APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING RING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
11. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SODDED, SEEDED, MULCHED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
12. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE BASED UPON BEST AVAILABLE INFORMATION REVIEWED AT THE TIME OF DOCUMENT PREPARATION. THIS INFORMATION MAY NOT BE OF SUITABLE ACCURACY OR CORRECTNESS FOR THE CONTRACTOR'S CONSTRUCTION NEEDS. THEREFORE, THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING THE WORK BEFORE CONSTRUCTION.
13. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH DRIVEWAYS, SIDEWALKS, CURBS, FENCING, ETC., DAMAGED DURING CONSTRUCTION, WITH THE SAME TYPE AND QUALITY OF MATERIALS AND WORKMANSHIP AS PREVIOUSLY EXISTED. AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT INDICATED TO BE SODDED SHALL BE SEEDED.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
15. ALL WORK TO BE PERFORMED FOR THE COMPLETION OF THIS PROJECT SHALL BE CONSTRUCTED ACCORDING TO THE BEST PRACTICES OF THE INDUSTRY AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND/OR CITY CODES, ORDINANCES, STANDARDS, AND PERMIT CONDITIONS.
16. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THE CONSTRUCTION DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
17. WORK BEING PERFORMED UNDER THE CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
18. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO THE CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
19. THROUGHOUT THE CONSTRUCTION PERIOD OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF ONSITE PERSONNEL, THE TRAVELING PUBLIC, AND THE CONTRACTOR'S WORKFORCE. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE LATEST EDITION PROVISIONS ESTABLISHED BY OSHA. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE TRENCH SAFETY ACT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THIS INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
20. ALL HANDICAP RAMPS SHALL COMPLY WITH ADA, STATE OF FLORIDA ACCESSIBILITY CODES AND STANDARDS, AND FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. SEE DETECTABLE WARNING STRIP DETAIL ON SHEET C2.30.
21. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
22. CONTRACTOR TO GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR UNLESS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS.

DEMOLITION GENERAL NOTES

- 1. THE CONTRACTOR SHALL ACCURATELY LOCATE ALL UNDERGROUND PIPES, CABLES AND UTILITIES IN THE AREAS OF CONSTRUCTION. THIS SHALL BE DONE SEVEN DAYS PRIOR TO EXCAVATION TO AVOID DAMAGE TO THESE FACILITIES. ALL DAMAGE RESULTING FROM CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT AND/OR BRACING TO MAINTAIN THE STRUCTURAL INTEGRITY OF ALL POWER POLES AND SUPPORTS LOCATED WITHIN THE IMMEDIATE VICINITY OF TRENCH EXCAVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY TO PROVIDE TEMPORARY SUPPORT AND/OR BRACING IN ACCORDANCE WITH THE POWER COMPANY REQUIREMENTS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN

BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS BUT ARE NOT PURPORTED TO BE ABSOLUTELY CORRECT. THERE MAY BE OTHER IMPROVEMENTS, UTILITIES, ETC. WHICH ARE WITHIN THE PROPOSED PROJECT AREA. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES (WHETHER OR NOT SHOWN ON THE DRAWINGS) AFFECTING HIS WORK.

- 4. THE CONTRACTOR SHALL NOTE THAT OVERHEAD UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE AND INCLUDE CONSIDERATION OF SUCH UTILITIES IN PLANNING AND EXECUTING HIS WORK.
5. THE CONTRACTOR SHALL FOLLOW ALL STATE, LOCAL AND FEDERAL REGULATIONS AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AT AN APPROVED OFF-SITE LOCATION IN A LEGAL MANNER.
6. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER USABLE FACILITIES WITHOUT PERMISSION FROM OWNERS AND AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTOR'S EXPENSE.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES. CONTRACTOR SHALL NOT DISTURB OR RELOCATE ANY EXISTING UTILITY WITHOUT WRITTEN PERMISSION FROM THE UTILITY OWNER.
2. ALL CONCRETE USED SHALL BE 3,000 PSI MINIMUM.
3. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDEMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY.
4. AREAS WITHIN THE RIGHT-OF-WAY AND EASEMENTS SHALL BE CLEARED OF ALL TREES, ROOTS, VEGETATION, AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE. AREAS OF EXCLUSION SUCH AS TREES OR DESIGNATED BUFFERS SHALL BE ADEQUATELY MARKED FOR PROTECTION.
5. STOCKPILES OF WASTE OR EXCESS MATERIAL SHALL NOT REMAIN WITHIN THE RIGHT-OF-WAY OR EASEMENTS AND SHALL BE REMOVED FROM THE BOUNDS OF THE PROJECT IN A LEGAL MANNER.
6. STOCKPILES OF EXCAVATED TOPSOIL OR FILL MATERIAL SHALL BE LOCATED SUCH THAT SITE DRAINAGE OR WATERWAYS ARE NOT OBSTRUCTED. THE OWNER OF PROPERTY MAY TEMPORARILY STOCKPILE TOPSOIL OR ROCKS, OUTSIDE OF ALL RIGHTS-OF-WAY AND EASEMENTS, TO REMAIN FOR FUTURE LANDSCAPING. STOCKPILES OF EXCESS SUITABLE MATERIAL MUST BE REMOVED PRIOR TO FINAL INSPECTION OR APPROPRIATELY PERMITTED TO REMAIN ON SITE. STOCKPILE LOCATION APPROVAL MUST BE OBTAINED THROUGH THE APPROPRIATE REGULATING AGENCY AND A PERMIT MUST BE OBTAINED.
7. EXCAVATION SHALL INCLUDE REMOVAL OF ALL MATERIALS AND STRUCTURES NECESSARY TO CONSTRUCT ROADWAY AND DRAINAGE FACILITIES TO THE APPROPRIATE LINE AND GRADE.
8. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLANS OR DESIGNATED IN THE FIELD.
9. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MULCH, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACE WITH SUITABLE/COMPACTED SOILS AS DIRECTED BY THE OWNER, ENGINEER OR GEOTECHNICAL ENGINEER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
10. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO FINAL GRADING.
11. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
12. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
13. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO FINAL APPROVAL. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.
14. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
15. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEERING OF RECORD DURING SITE INSPECTIONS.
16. IF LIMEROCK IS ENCOUNTERED DURING EXCAVATION OF THE SWALES/BASINS OR IF A SINKHOLE FORMS IN THE AREA OF A DRAINAGE SWALE/BASIN, THE ENGINEER OF RECORD SHALL BE NOTIFIED BY EITHER THE CONTRACTOR OR THE ESTABLISHED OPERATION AND MAINTENANCE ENTITY. THE ENGINEER OF RECORD SHALL INSPECT THE REPAIRED AREA UPON COMPLETION OF THE REPAIR.
17. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED. 12' OF CLEAN FLORIDA FILL WITH THE pH OF 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.

MAINTENANCE OF TRAFFIC (MOT) NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE CITY OF GAINESVILLE RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY AN INDIVIDUAL WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS, AND CITY OF GAINESVILLE MOT REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT. IN CASES WHERE THE WORK OCCURS IN AN FDOT RIGHT-OF-WAY OR REQUIRES PLACEMENT OF WORK ZONE SIGNS IN AN FDOT RIGHT-OF-WAY, THE MOT PLAN MUST ALSO BE REVIEWED AND APPROVED BY FDOT.

ENVIRONMENTAL GENERAL NOTES

- 1. SYNTHETIC HAY BALES OR FABRIC FENCE (SILT TYPE) SHALL BE UTILIZED AS SILT BARRIERS AND PLACED IN LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS AS REQUIRED TO KEEP SEDIMENT FROM REACHING WATER BODIES OR WETLAND AREAS (REFERENCE STORM WATER POLLUTION PREVENTION PLANS). THESE BARRIERS SHALL BE INSTALLED BEFORE COMMENCING WITH ANY CONSTRUCTION WITHIN OR ADJACENT TO JURISDICTIONAL AREAS. THE CONTRACTOR SHALL MONITOR AND MAINTAIN ALL SILT BARRIERS AND FENCING INCLUDING DAILY INSPECTIONS TO CHECK THEIR INTEGRITY. ANY LOOSE OR DAMAGED SILT BARRIERS AND FENCING SHALL BE IMMEDIATELY REPAIRED OR REPLACED AS NECESSARY. ONCE CONSTRUCTION IS COMPLETED AND FINISHED GRADING AND STABILIZATION HAS BEEN ACHIEVED, SILT BARRIERS AND FENCING SHALL BE COMPLETELY REMOVED TO THE SATISFACTION OF THE ENGINEER AND BEFORE FINAL ACCEPTANCE.
2. ALL WATER COLLECTED AND PUMPED DURING TRENCH DEWATERING ACTIVITIES SHALL BE DISPOSED OF IN UPLAND AREAS INTO DOUBLE STAKED HAY BALES. DISCHARGE LOCATIONS SHALL BE A MINIMUM OF 75 FEET FROM THE NEAREST WATER BODY OR WETLAND AREA TO ALLOW FOR MAXIMUM OVERLAND FILTRATION OF SOIL PARTICLES. EXCAVATION ACROSS ALL WETLANDS SHALL BE ACCOMPLISHED BY STRIPPING THE TOP 10 INCHES OF SURFICIAL SOILS FROM THE FULL WIDTH OF THE AREA TO BE DISTURBED. SURFICIAL SOILS SHALL BE REPLACED LAST AND SHALL BE SPREAD ACROSS THE ENTIRE DISTURBED WETLAND AREA TO HELP PROMOTE NATIVE VEGETABLE GROWTH. SURFICIAL SOILS SHALL NOT BE STOCKPILED IN EXCESS OF TWO WEEKS. FURTHER, ALL ASPECTS OF BACKFILLING, GRADING AND MULCHING SHALL BE COMPLETE WITHIN 30 DAYS OF INITIAL WETLAND IMPACT FOR EACH JURISDICTIONAL AREA.
3. TEMPORARY STOCKPILES SHALL NOT BE LOCATED ADJACENT TO WETLANDS WHERE SEDIMENTATION FROM STOCKPILES MAY CAUSE DAMAGE TO WETLAND. ADDITIONALLY, SILT BARRIERS AND FENCING SHALL CONTINUOUSLY AND FULLY ENCIRCLE ALL STOCKPILES WHICH WILL REMAIN FOR LONGER THAN 24 HOURS TO CONTAIN MATERIALS WITHIN A REASONABLY CONFINED AREA.
4. BANKS SHALL BE PROTECTED FROM EROSION OR COLLAPSE DURING CONSTRUCTION. BANK PROTECTION MATERIAL SHALL BE CAREFULLY PLACED FROM THE BANK AND NOT DUMPED FROM ABOVE IN AN UNCONTROLLED MANNER. SANDBAGS SHALL BE USED FOR PROTECTING THE BANKS. UPON COMPLETION OF CONSTRUCTION, BANKS AND WATERWAYS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONFIGURATION AND PROTECTED FROM EROSION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE DUST CONTROL. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
6. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED UNLESS CALLED OUT TO BE SODDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION/RETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
8. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.

ASBUILT NOTES

- 1. SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS, IS REQUIRED PRIOR TO SCHEDULING A FINAL INSPECTION FOR UF PDC AND THE WATER MANAGEMENT DISTRICT.
2. AS-BUILT DRAWINGS SHALL BE PREPARED IN AUTOCAD FORMAT BY A FLORIDA REGISTERED LAND SURVEYOR. AN ELECTRONIC FILE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SIGNED AND SEALED PRINTS SHALL BE PROVIDED TO THE ENGINEER AS REQUESTED. PROVIDE LOCATION, ELEVATION AND DESCRIPTION OF BENCHMARK(S).
3. PROVIDE BUILDING LOCATIONS, FINISH FLOOR ELEVATIONS, PAVEMENT GRADES AND ALL UNDERGROUND FACILITIES INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS.
4. PROVIDE PERIMETER DIMENSIONS AND AT TOP OF BANK AND BOTTOM OF POND.
5. PROVIDE ELEVATIONS AT TOP OF BANK, BOTTOM OF POND AND POND OUTFALL STRUCTURE(S).
6. PROVIDE SPECIAL DETAIL DRAWINGS WHERE INSTALLATIONS WERE NOT AS SHOWN ON CONSTRUCTION DRAWINGS DUE TO FIELD CONDITIONS OR WHERE REQUIRED FOR CLARITY.
7. LOCATE ALL PIPES AND PROVIDE SIZE, ELEVATION, INVERT ELEVATIONS, LENGTH AND TYPE.

Table with columns: NO., DATE, DESCRIPTION, BY

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, APPROVED BY

GENERAL NOTES

CONSTRUCTION PLANS FOR CLAY ELECTRIC DISTRICT OFFICE DEMOLITION CLAY COUNTY, FLORIDA

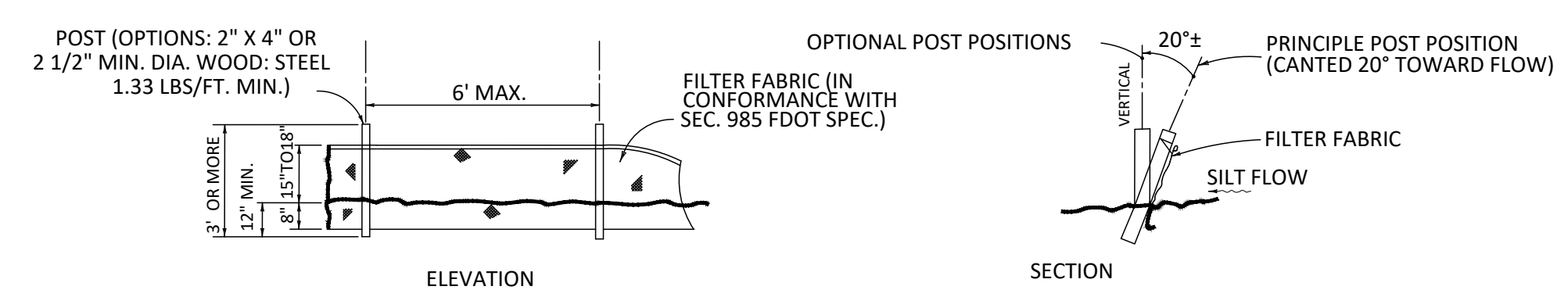
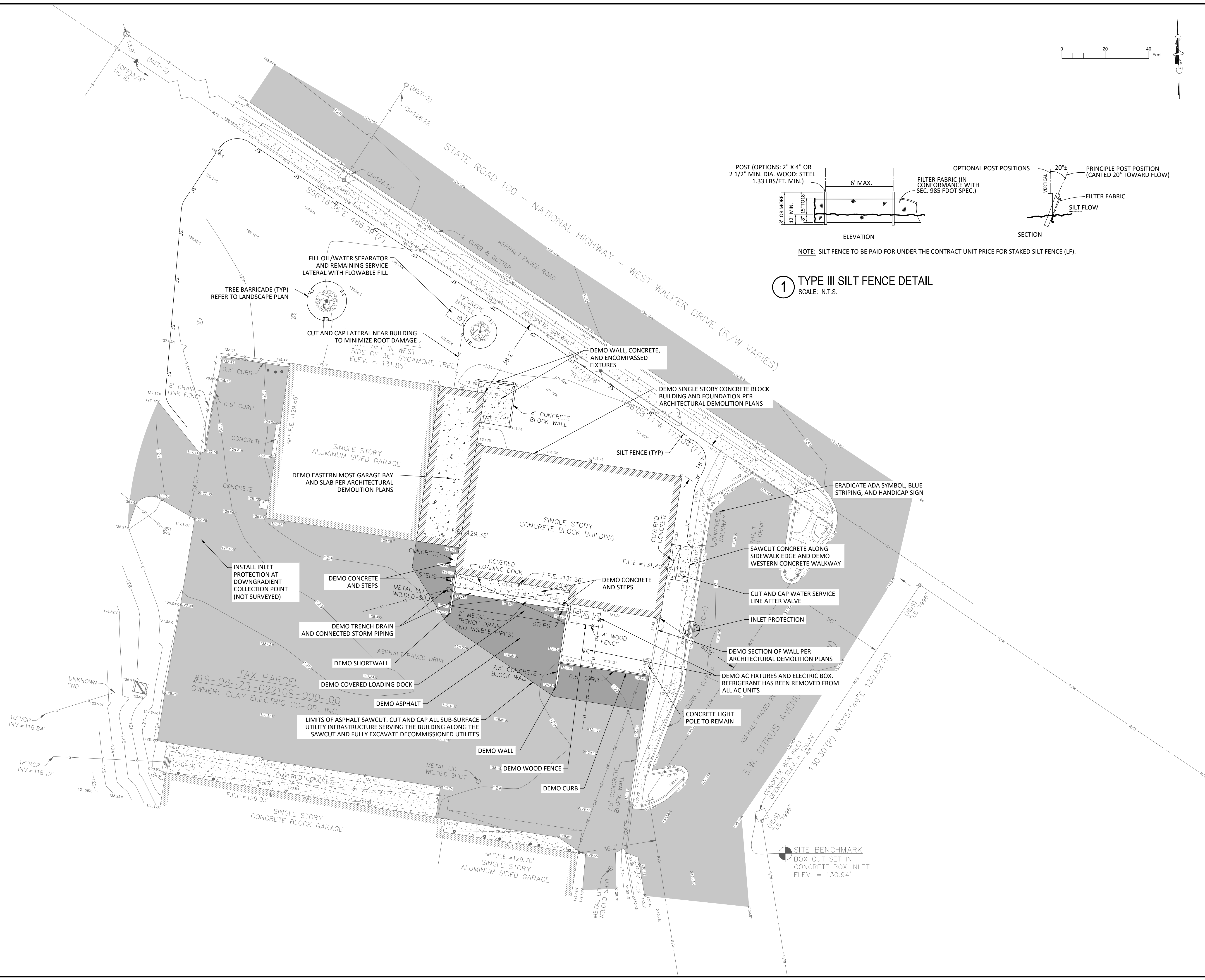


DRMP, Inc.

David C. Sowell, P.E. State of Florida # 68531 PROJECT NO.: 20-0481.000 SCALE: AS SHOWN DATE: DECEMBER, 2020 DRAWING: CO.0

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

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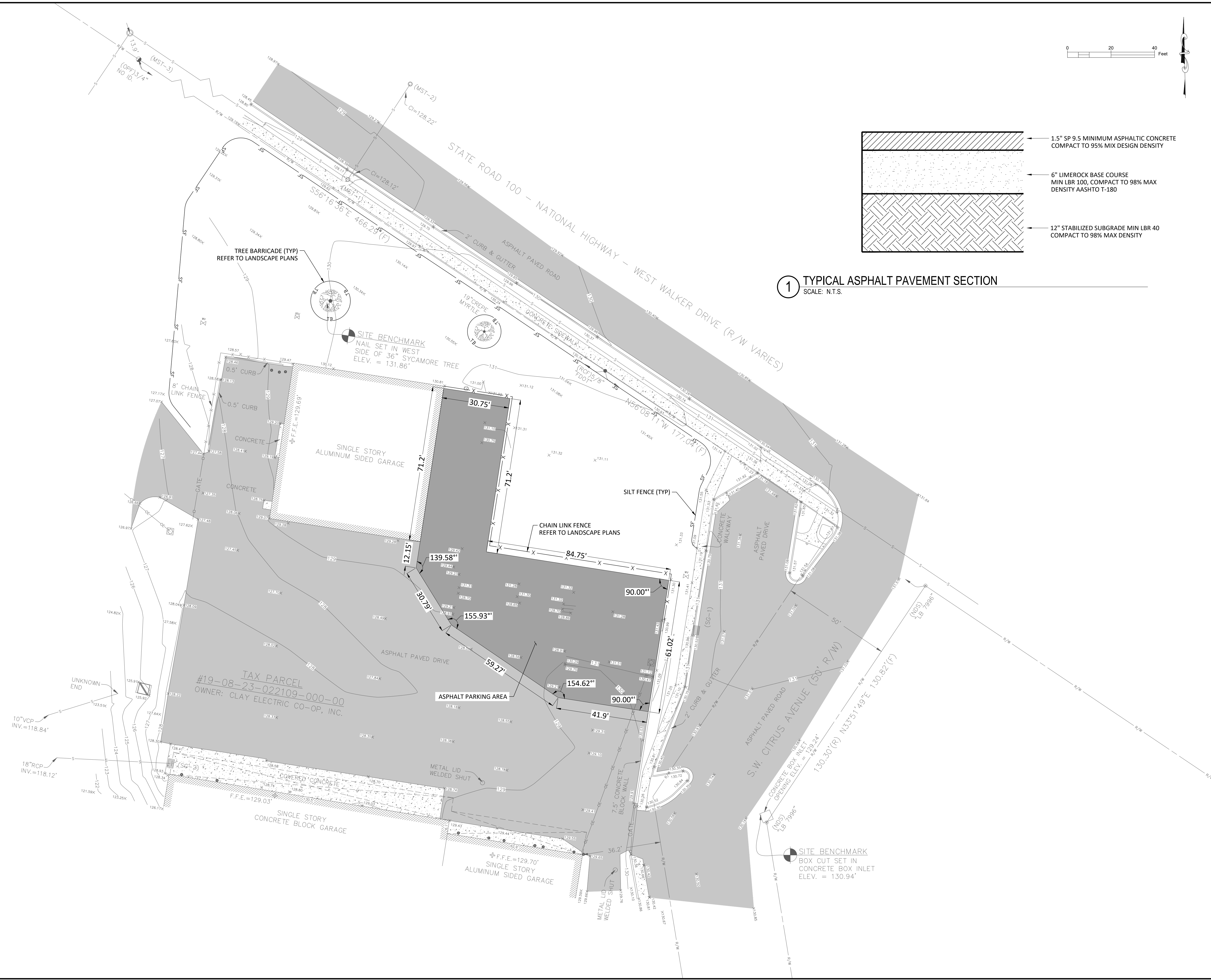


NOTE: SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

REVISIONS		CONSTRUCTION PLANS FOR	
NO.	DATE	CLAY ELECTRIC DISTRICT OFFICE DEMOLITION	
	12/4/2020	DEMOLITION	
DESCRIPTION	100% CONSTRUCTION DOCUMENTS	CLAY COUNTY, FLORIDA	
BY		DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE	
DESIGNED BY		DEMOLITION PLAN	
DRAWN BY		CONSTRUCTION PLANS FOR	
CHECKED BY		CLAY ELECTRIC DISTRICT OFFICE	
APPROVED BY		DEMOLITION	

DRMP ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS	
Certificate of Authorization No. 2648 State of Florida # 68531 706 SW 4th Avenue - Gainesville, Florida 32601 Phone: 352.371.2741 Fax: 352.372.4318 www.drmp.com	
DRMP, Inc.	
David C. Sowell, P.E. State of Florida # 68531	PROJECT NO.: 20-0481.000
SCALE: AS SHOWN	
DATE: DECEMBER, 2020	
DRAWING: C1.0	

P:\Projects\2020-0481.000_Clay_Electric_District_Office_Demolition\Plns\DWGs\Production\C2.0 - SITE GEOMETRY AND MARKING PLAN.dwg Plotted: Dec. 03, 2020 - 9:28am by dmarkham



1 TYPICAL ASPHALT PAVEMENT SECTION
SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY
	12/4/2020	100% CONSTRUCTION DOCUMENTS	

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
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SITE GEOMETRY AND MARKING PLAN

**CONSTRUCTION PLANS FOR
CLAY ELECTRIC
DISTRICT OFFICE
DEMOLITION**
CLAY COUNTY, FLORIDA

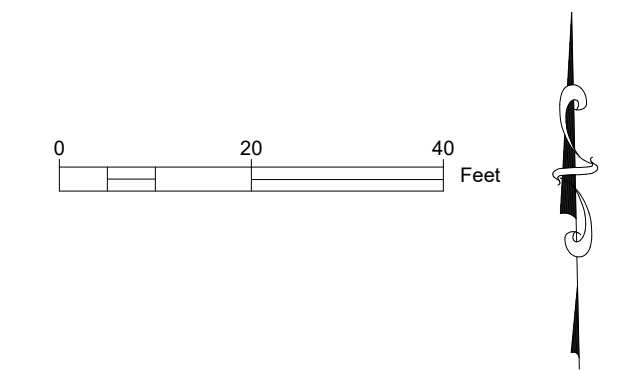
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

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SCALE:	AS SHOWN
DATE:	DECEMBER, 2020
DRAWING:	C2.0

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REVISIONS	
NO.	DESCRIPTION

DESIGNED BY: ---
 DRAWN BY: ---
 CHECKED BY: ---
 APPROVED BY: ---

**PAVING, GRADING,
AND DRAINAGE PLAN**

CONSTRUCTION PLANS FOR
**CLAY ELECTRIC
DISTRICT OFFICE
DEMOLITION**
 CLAY COUNTY, FLORIDA

DRMP, Inc.
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

David C. Sowell, P.E.
 State of Florida # 68531
 PROJECT NO.:
20-0481-000

SCALE:
AS SHOWN

DATE:
DECEMBER, 2020

DRAWING:
C3.0

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

**CLAY
ELECTRIC
OFFICE
DEMOLITION**
Keystone Heights, FL

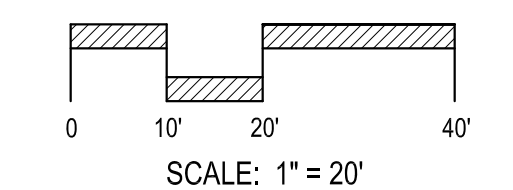
for
Clay Electric

SEAL:

PROJECT NO: 20-017
CLIENT'S NO:
ISSUED FOR: **100% CONSTRUCTION DOCUMENTS**

ISSUED DATE: 04 DEC 2020
REVISIONS:

SCALE:



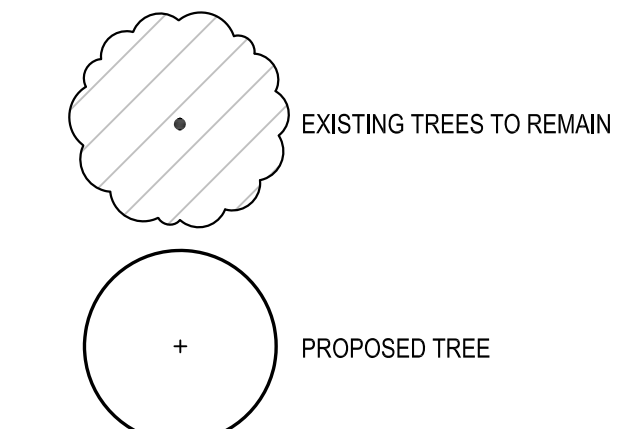
SHEET TITLE:

**LANDSCAPE PLAN,
NOTES, AND
SCHEDULE**

SHEET NUMBER:

L.001

LEGEND



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
UA	8	Ulmus alata	Winged Elm	65 gal., 13' ht. x 60" sprd., 3" cal.	As shown	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
IVS	47	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly	3 gal., 12" ht. x 14" sprd.	30' o.c.	
LP	40	Loropetalum chinense rubrum 'Crimson Fire'	Crimson Fire Loropetalum	3 gal., 24" ht. x 18" sprd.	30' o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
LEM	56	Liriope muscari 'Emerald Goddess'	Liriope	1 gal., 12" ht. x 18" sprd.	18" o.c.	
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE		NOTES
SOD		Paspalum notatum 'Argentine'	Argentine Bahia Grass	sod		Sand grown and weed free

LANDSCAPE NOTES

- PRE-CONSTRUCTION MEETING:** CONTACT THE CITY OF KEYSTONE HEIGHTS PUBLIC WORKS AT (352) 473-4807 TO SCHEDULE A TREE BARRICADE INSPECTION AND TO REVIEW PROPOSED LANDSCAPE MATERIALS BEFORE BEGINNING ANY CLEARING, SITE WORK, OR INSTALLATION ACTIVITIES. CONTACT A MINIMUM OF THREE DAYS PRIOR TO REQUESTED MEETING DATE.
- EXISTING TREE PROTECTION:** PROTECTIVE BARRIERS SHALL BE CONSTRUCTED AS INDICATED IN DEMOLITION PLANS TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL AS SHOWN IN DEMOLITION PLANS BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. SEE TREE PROTECTION DETAILS FOR SPECIFIC REQUIREMENTS.
- EXISTING LANDSCAPE PROTECTION:** PRESERVE AND PROTECT EXISTING LANDSCAPE AS NOTED ON PLANS. ENSURE IRRIGATION IS FUNCTIONAL THROUGH CONSTRUCTION OR HAND WATER AS NEEDED SUCH THAT EXISTING LANDSCAPE CONTINUES TO THRIVE.
- EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW.
- SITE CLEARING:** ALL FELLED MATERIAL FROM CLEARING ACTIVITIES SHALL BE PROMPTLY AND CAREFULLY REMOVED FROM THE SITE IN ORDER TO AVOID POTENTIAL DAMAGE TO REMAINING TREES AND VEGETATION AND THE HARBORING OF INSECTS AND RODENTS.
- PLANTING PREPARATION:** REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING AND TO A DEPTH OF 3 FT. MIN. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
- PRUNING:** IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI A300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
- PLANT MATERIAL GENERAL:** ALL PLANT MATERIALS SHALL MEET 'FLORIDA NUMBER 1' REQUIREMENTS AS PER THE MOST CURRENT EDITION OF 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS', FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- PROPOSED TREES:** ALL PROPOSED CANOPY TREES TO BE A MINIMUM OF EIGHT FEET TALL, FOUR FEET SPREAD, AND HAVE A MINIMUM TRUNK CALIPER OF TWO INCHES. TREES SHALL BE IN 30-GALLON MINIMUM CONTAINERS OR, IF FIELD GROWN, HAVE A MINIMUM ROOTBALL DIAMETER OF 28 INCHES.
- NEW TREE STAKING:** IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS. PROPOSED STAKING METHOD TO BE APPROVED BY URBAN FORESTRY INSPECTOR PRIOR TO INSTALLATION.
- SOD:** ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUND COVER PLANTINGS SHALL BE SODDED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOD SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
- MULCHING:** FOUR INCHES OF MULCH SHALL COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUND COVER PLANTING AREAS. MULCH SHALL ALSO BE PLACED WITHIN THE AREA 10' FROM THE TRUNK OF ANY PROTECTED TREE AT THE CONCLUSION OF CONSTRUCTION ACTIVITIES, UNLESS EXISTING VEGETATION IS PRESERVED. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE BARK 'MINI NUGGETS' MULCH IN ALL AREAS EXCEPT STORMWATER FACILITIES, IN WHICH PINE STRAW SHALL BE USED. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES.
- IRRIGATION:** TO PROVIDE IRRIGATION TO ALL PROPOSED PLANTINGS. MODIFY AND RENOVATE EXISTING IRRIGATION SYSTEM AS NEEDED.
- MAINTENANCE:** MAINTENANCE OF PROPOSED PLANTINGS AND TURF SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
- PROPOSED TREES AS MITIGATION:** TREES PROPOSED AS PART OF THIS PROJECT FULFILL MITIGATION REQUIREMENTS OF THE RECENTLY CONSTRUCTION CLAY ELECTRIC OFFICE BUILDING WEST OF SW CITRUS AVENUE. PLEASE REFER TO THE PREVIOUSLY APPROVED PLANS FOR THAT PROJECT AS WELL AS FOLLOW UP CORRESPONDENCE DATED MARCH 2, 2020.
- FENCING:** PROPOSED FENCING TO BE 8'-0" TALL GALVANIZED CHAIN LINK TO MATCH THAT INSTALLED AT THE CLAY ELECTRIC DISTRICT OFFICE. MATCH POST SIZES, INSTALLATION DETAILS, AND FENCE FABRIC GAUGE. INCLUDE PRIVACY SLATS TO MATCH AS WELL. INSTALL TERMINAL POSTS AT INTERFACE WITH EXISTING, RENOVATED GARAGE ON THE WESTERN END AND AT THE END OF THE EXISTING SCREEN WALL ON THE SOUTHEASTERN END. TERMINAL POSTS TO BE LOCATED SUCH THAT THERE IS LESS THAN A 4" GAP BETWEEN THE TERMINAL POST AND ADJACENT WALL OR COLUMN. EXISTING FENCING TO REMAIN AS SHOWN. ADD PRIVACY SLATS TO MATCH WITHIN THE EXISTING FENCING IN THE NORTHWESTERN CORNER, SPECIFICALLY WITHIN THE RUN FROM THE EXISTING, RENOVATED GARAGE STRUCTURE WEST TO THE EXISTING FENCE CORNER AND FROM THAT CORNER SOUTH TO THE EXISTING WESTERN GATE. PROVIDE A FENCING SUBMITTAL INCLUDING FOOTING AND INSTALLATION DETAILS FROM THE MANUFACTURER FOR OWNER'S APPROVAL TO INSTALLATION. CONFIRM PROPOSED LOCATION OF FENCING WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL FENCING PER MANUFACTURER'S SPECIFICATIONS.
- GRAVEL:** INSTALL WHITE RIVER ROCK GRAVEL, PEBBLE SIZE 1" - 3", ALONG FENCE IN LOCATIONS AS NOTED ON PLAN. GRAVEL TO BE 3-4" DEEP SO AS TO PROVIDE CONTINUOUS AND CONSISTENT COVERAGE. CUT GRAVEL AREAS INTO GRADE SUCH THAT TOP OF GRAVEL IS FLUSH WITH EXISTING GRADE AND TOP OF CURB. INSTALL GEOTEXTILE LANDSCAPE FABRIC BELOW GRAVEL AND TURN UP EDGES. GRAVEL TO BE WASHED AND FREE OF DEBRIS. PROVIDE A GRAVEL SUBMITTAL INCLUDING SMALL SAMPLE FOR OWNER REPRESENTATIVE'S APPROVAL PRIOR TO INSTALLATION. CONFIRM PROPOSED LOCATION OF GRAVEL WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.



PLOT DATE: 12/03/2020 1:31 PM
 USER: ELISABETH MANLEY
 FILENAME: C:\WORK\ELISABETH MANLEY\BOX\PROJECT\2020\20-017 CLAY ELECTRIC KEYSTONE 2 - BRANNE\04_PRODUCTION\03_CDS\2020-12-05 100 REVIEW\01_SHEETS\20217_CDAY_ELEC_PLN 2

**CLAY
ELECTRIC
OFFICE
DEMOLITION**
Keystone Heights, FL

for
Clay Electric

SEAL:

PROJECT NO: 20-017
CLIENT'S NO:
ISSUED FOR: **100% CONSTRUCTION DOCUMENTS**

ISSUED DATE: 04 DEC 2020
REVISIONS:

SCALE:

AS SHOWN

SHEET TITLE:

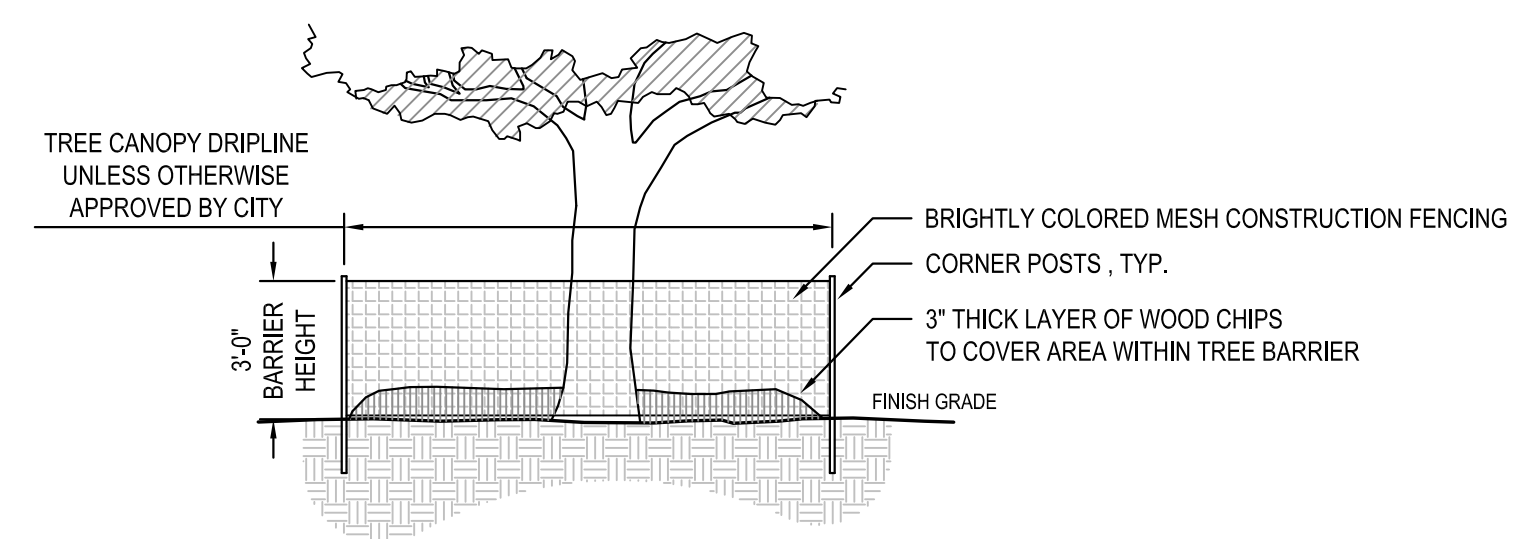
LANDSCAPE DETAILS

SHEET NUMBER:

L.002

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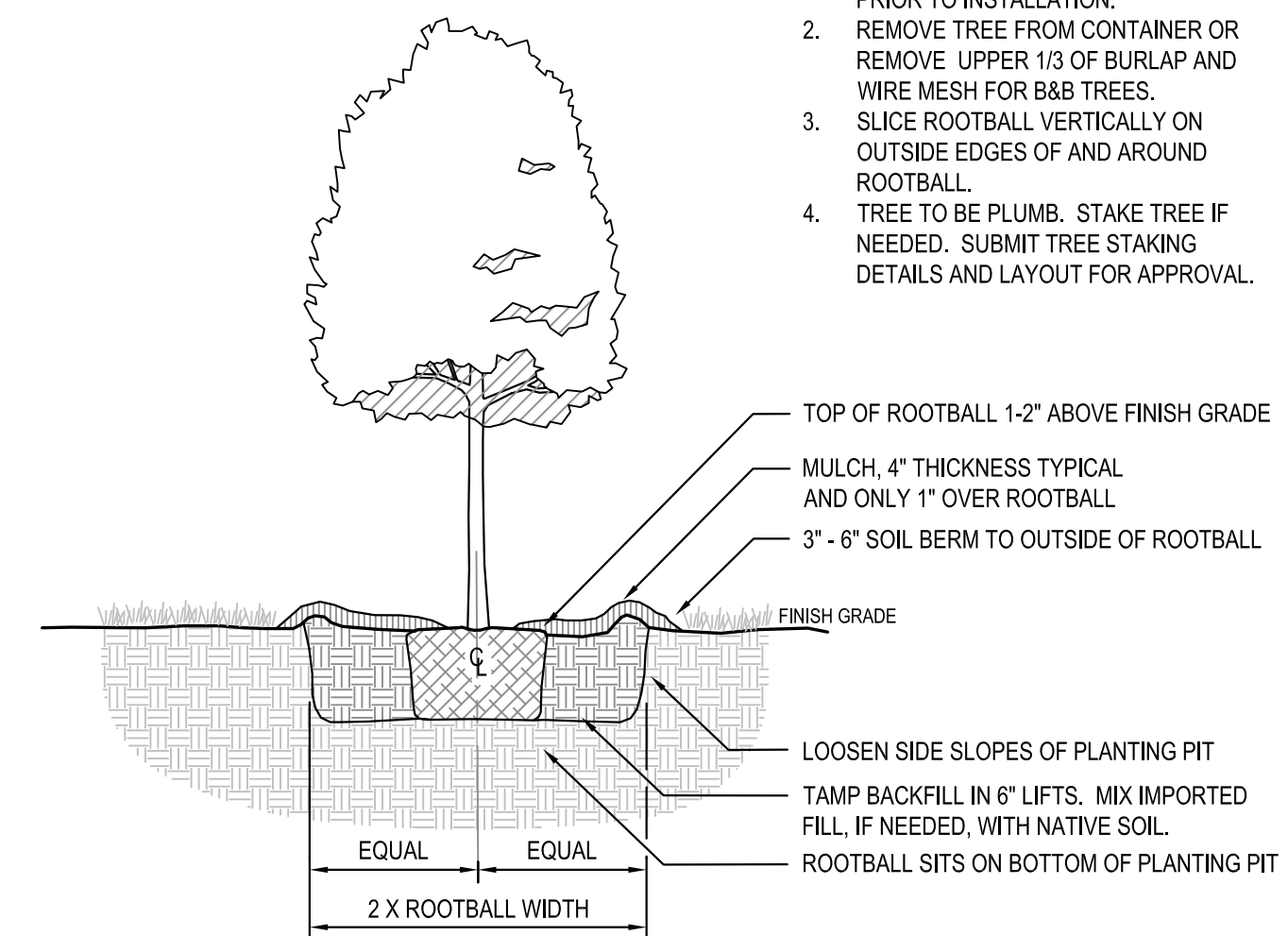
1. DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA.
2. NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL.
3. TREE BARRIERS TO REMAIN IN PLACE UNTIL LANDSCAPING OPERATIONS BEGIN. ONCE REMOVED, VEHICLE AND EQUIPMENT TRAFFIC AND STORAGE OF MATERIALS WITHIN AREA SHALL BE MINIMIZED AS MUCH AS POSSIBLE.
4. ONLY HAND CLEARING SHALL BE PERMITTED WITHIN THE BARRIERS.
5. NO VEHICLE PARKING, MATERIALS STORAGE OR DUMPING SHALL BE PERMITTED WITHIN THE PROTECTIVE BARRIER AREAS.
6. ABSOLUTELY NO FILL, BUILDING MATERIALS, TRASH OR OTHER OBJECTS SHALL BE PLACED INSIDE THESE BARRIERS, IF FILL IS DEPOSITED ADJACENT TO THESE AREAS, A SUITABLE TEMPORARY OR PERMANENT RETAINING STRUCTURE SHALL BE CONSTRUCTED TO PREVENT SILTATION OF THE BARRICADED AREA.
7. NO SOD, SHRUBS OR GROUND COVER SHALL BE INSTALLED WITHIN TEN FEET OF THE TRUNK OF ANY PROTECTED TREE.



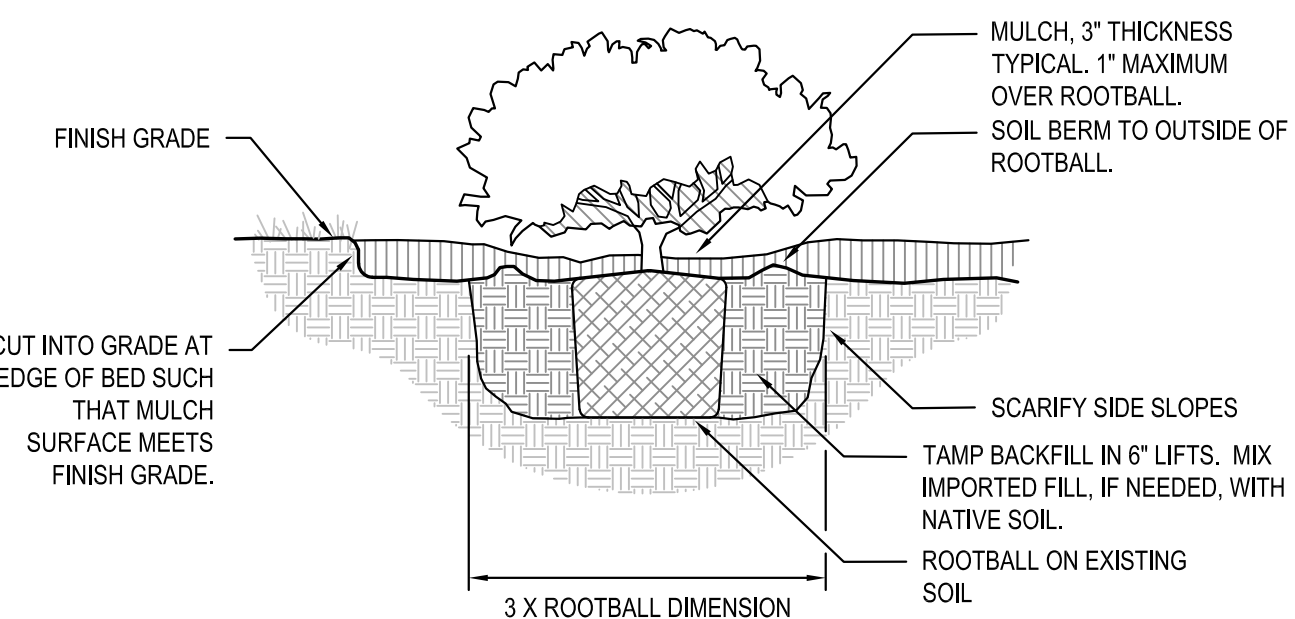
1 TREE PROTECTION DETAIL
SCALE: N.T.S.

NOTE:

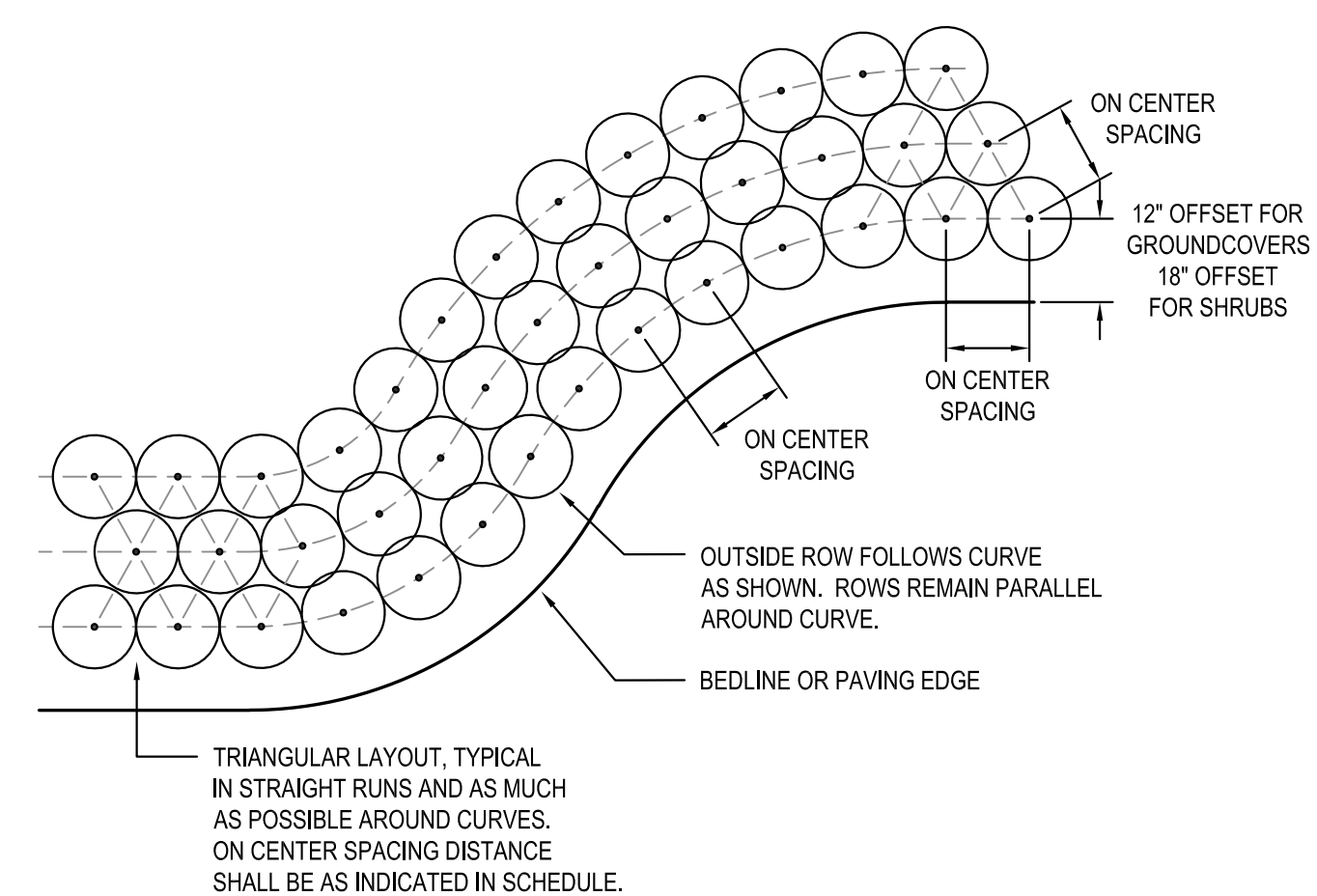
1. ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
2. REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR B&B TREES.
3. SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF AND AROUND ROOTBALL.
4. TREE TO BE PLUMB. STAKE TREE IF NEEDED. SUBMIT TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.



3 TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S.



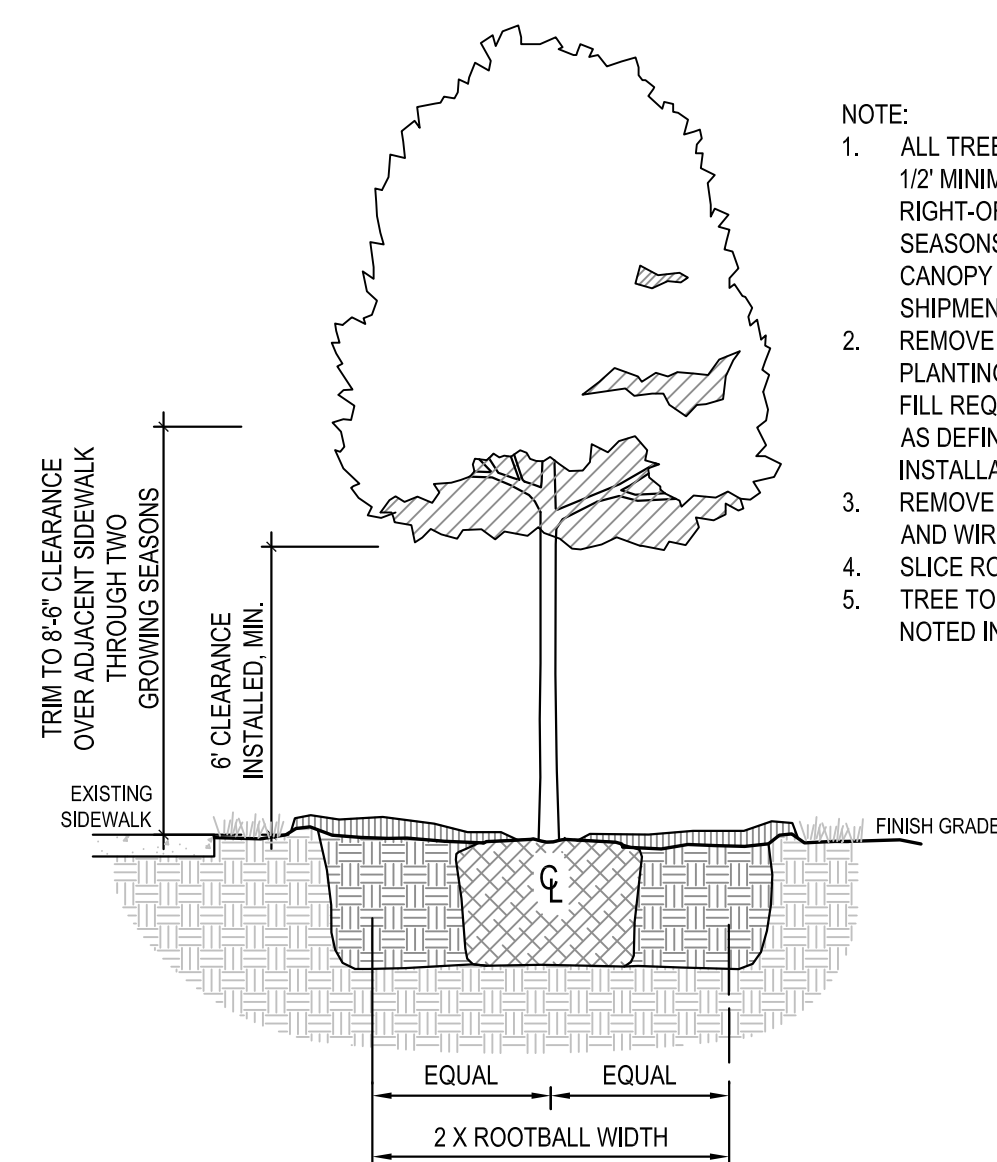
2 SHRUB PLANTING DETAIL
SCALE: N.T.S.



4 SHRUB LAYOUT DETAIL
SCALE: N.T.S.

NOTE:

1. ALL TREE PLANTINGS ALONG FDOT RIGHT-OF-WAY SHALL MAINTAIN 8 1/2\"/>
2. REMOVE ALL ROAD BASE AND OTHER POSSIBLE DEBRIS FROM PLANTING AREA. BACKFILL WITH CLEAN FILL - SEE NOTES REGARDING FILL REQUIREMENTS. DO NOT COMPACT WITHIN TREE PLANTING AREA AS DEFINED IN NOTES. ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
3. REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR B&B TREES.
4. SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES AND AROUND.
5. TREE TO BE PLUMB. USE BELOW GRADE TREE ANCHORING SYSTEM AS NOTED IN GENERAL NOTES.

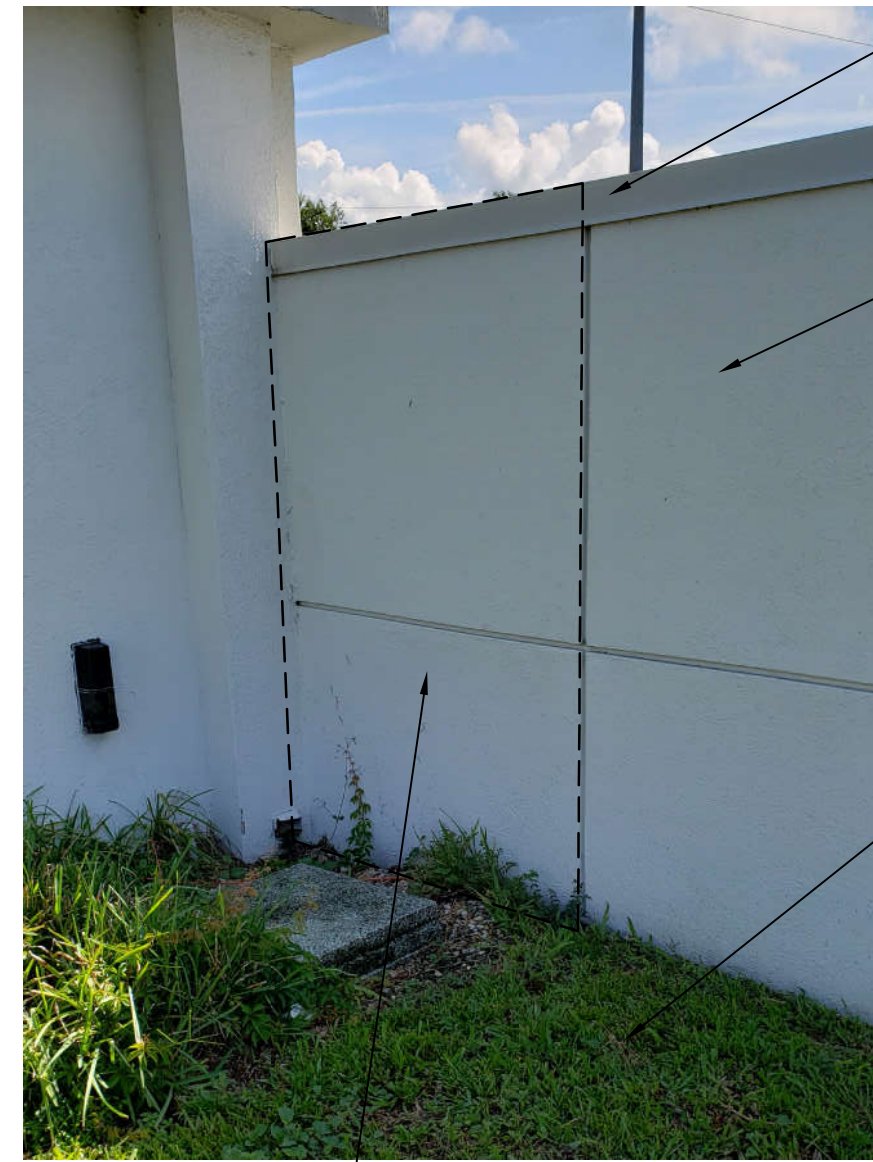


5 TREE PLANTING DETAIL ALONG FDOT RIGHT-OF-WAY
SCALE: N.T.S.



EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

EXISTING PHOTO 1



PROVIDE NEW MTL WALL COPING END CAP (1'-0" LONG) TO MATCH EXISTING

EXISTING STUCCO SCREEN WALL TO REMAIN. REPAIR ANY SPALLING STUCCO AREAS BEFORE PAINTING

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO NEW GRADING (SEE CIVIL DWGS)

REMOVE THIS SECTION OF SCREEN UP TO CONTROL JOINT

EXST'G PHOTO 2



EXISTING LIGHT POLE TO REMAIN

EXISTING STUCCO SCREEN WALL TO REMAIN. REPAIR ANY SPALLING STUCCO AREAS BEFORE PAINTING

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO NEW GRADING (SEE CIVIL DWGS)

REMOVE A PORTION OF THE EXISTING ASPHALT AS SHOWN ON THE CIVIL DWGS

REMOVE EXISTING LOW MASONRY WALL

EXISTING PHOTO 3



FLATTEN OUT DAMAGED EXISTING METAL PANEL AND PROVIDE A NEW BRAKE METAL PANEL THAT COVERS CORNER.

EXISTING PHOTO 4



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO CONTROL JOINT.

REMOVE SHRUBS AND LANDSCAPING BACK AT DEMOLITION PORTION OF THE BUILDING AND SCREEN WALL. (TYPICAL UNLESS DENOTED OTHERWISE)

REMOVE SHRUBS ALONG DEMOLISHED BUILDING AND SCREEN WALL. PROTECT OTHER LANDSCAPING AT SOUTHSIDE MULCHED AREA OF EXISTING ENTRY WALK THAT IS TO BE DEMOLISHED.

REMOVE SIDEWALK LEADING UP TO EXISTING BUILDING ENTRY AND PREP FOR NEW LANDSCAPING.

"CUSTOMER PARKING" SIGNAGE TO BE REMOVED INCLUDING STAKE

EXISTING PHOTO 5



EXISTING TREES BEYOND TO REMAIN

REMOVE SHRUBS AND LANDSCAPING AREA

EXISTING GRASS AREA TO REMAIN. TIE IN NEW 600 AND LANDSCAPING WHERE EXISTING BUILDING AND LANDSCAPED WERE REMOVED.

EXISTING PHOTO 6



REPAIR ANY SPALLING OR LOOSE STUCCO (SYTHENTIC FINISH COAT) ON EXISTING MASONRY SCREEN WALL OR EXISTING NORTH WALL OF EXISTING BUILDING THAT IS TO REMAIN WITH MATCHING STUCCO FINISH; PAINT TO MATCH.

EXISTING PHOTO 7



DEMOLISH EXISTING DOCK AREA AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY

REMOVE A PORTION OF THE EXISTING ASPHALT AS SHOWN ON THE CIVIL DWGS

DEMOLISH EXISTING OFFICE BUILDING & THE FIRST BAY OF MTL BUILDING (SEE DEMOLITION PLAN)

EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

EXISTING PHOTO 8



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO CONTROL JOINT.

DEMOLISH EXISTING DOCK AREA AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY

REMOVE EXISTING LOW MASONRY WALL

EXISTING PHOTO 9

NOTE: PHOTOS ARE FOR REFERENCE AND PROVIDE ADDITIONAL INFORMATION. SEE DEMOLITION PLAN ON SHEET D11 FOR MORE INFORMATION AND APPROX LOCATION PHOTO WAS TAKEN.

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck
ARCHITECTS INC.
FOUNDED 1911
606 N.E. First Street
Gainesville, Florida 32601
www.brameheck.com

Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20-1697

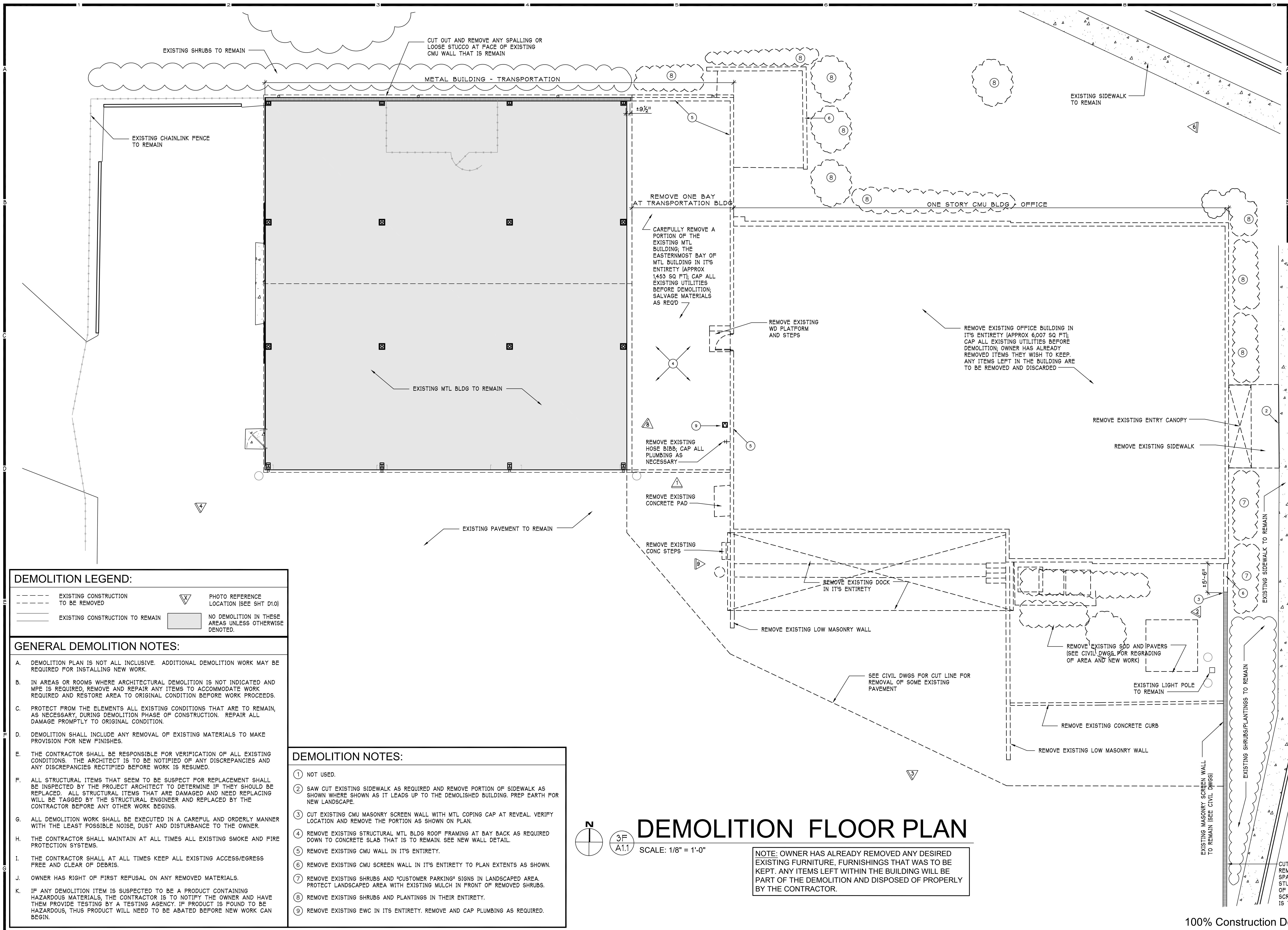
Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

EXISTING PHOTOS SHOWING DEMO

DRAWN	MDR
CHECKED	MR
DATE	12/04/20
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REVISIONS	

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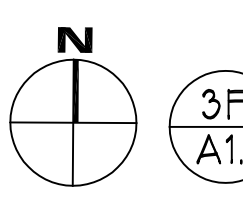


DEMOLITION LEGEND:

--- EXISTING CONSTRUCTION TO BE REMOVED	▽ PHOTO REFERENCE LOCATION (SEE SHT D1.0)
— EXISTING CONSTRUCTION TO REMAIN	■ NO DEMOLITION IN THESE AREAS UNLESS OTHERWISE DENOTED.

- GENERAL DEMOLITION NOTES:**
- DEMOLITION PLAN IS NOT ALL INCLUSIVE. ADDITIONAL DEMOLITION WORK MAY BE REQUIRED FOR INSTALLING NEW WORK.
 - IN AREAS OR ROOMS WHERE ARCHITECTURAL DEMOLITION IS NOT INDICATED AND MPE IS REQUIRED, REMOVE AND REPAIR ANY ITEMS TO ACCOMMODATE WORK REQUIRED AND RESTORE AREA TO ORIGINAL CONDITION BEFORE WORK PROCEEDS.
 - PROTECT FROM THE ELEMENTS ALL EXISTING CONDITIONS THAT ARE TO REMAIN, AS NECESSARY, DURING DEMOLITION PHASE OF CONSTRUCTION. REPAIR ALL DAMAGE PROMPTLY TO ORIGINAL CONDITION.
 - DEMOLITION SHALL INCLUDE ANY REMOVAL OF EXISTING MATERIALS TO MAKE PROVISION FOR NEW FINISHES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES AND ANY DISCREPANCIES RECTIFIED BEFORE WORK IS RESUMED.
 - ALL STRUCTURAL ITEMS THAT SEEM TO BE SUSPECT FOR REPLACEMENT SHALL BE INSPECTED BY THE PROJECT ARCHITECT TO DETERMINE IF THEY SHOULD BE REPLACED. ALL STRUCTURAL ITEMS THAT ARE DAMAGED AND NEED REPLACING WILL BE TAGGED BY THE STRUCTURAL ENGINEER AND REPLACED BY THE CONTRACTOR BEFORE ANY OTHER WORK BEGINS.
 - ALL DEMOLITION WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST AND DISTURBANCE TO THE OWNER.
 - THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ALL EXISTING SMOKE AND FIRE PROTECTION SYSTEMS.
 - THE CONTRACTOR SHALL AT ALL TIMES KEEP ALL EXISTING ACCESS/EGRESS FREE AND CLEAR OF DEBRIS.
 - OWNER HAS RIGHT OF FIRST REFUSAL ON ANY REMOVED MATERIALS.
 - IF ANY DEMOLITION ITEM IS SUSPECTED TO BE A PRODUCT CONTAINING HAZARDOUS MATERIALS, THE CONTRACTOR IS TO NOTIFY THE OWNER AND HAVE THEM PROVIDE TESTING BY A TESTING AGENCY. IF PRODUCT IS FOUND TO BE HAZARDOUS, THIS PRODUCT WILL NEED TO BE ABATED BEFORE NEW WORK CAN BEGIN.

- DEMOLITION NOTES:**
- NOT USED.
 - SAW CUT EXISTING SIDEWALK AS REQUIRED AND REMOVE PORTION OF SIDEWALK AS SHOWN WHERE SHOWN AS IT LEADS UP TO THE DEMOLISHED BUILDING. PREP EARTH FOR NEW LANDSCAPE.
 - CUT EXISTING CMU MASONRY SCREEN WALL WITH MTL COPING CAP AT REVEAL. VERIFY LOCATION AND REMOVE THE PORTION AS SHOWN ON PLAN.
 - REMOVE EXISTING STRUCTURAL MTL BLDG ROOF FRAMING AT BAY BACK AS REQUIRED DOWN TO CONCRETE SLAB THAT IS TO REMAIN. SEE NEW WALL DETAIL.
 - REMOVE EXISTING CMU WALL IN ITS ENTIRETY.
 - REMOVE EXISTING CMU SCREEN WALL IN ITS ENTIRETY TO PLAN EXTENTS AS SHOWN.
 - REMOVE EXISTING SHRUBS AND "CUSTOMER PARKING" SIGNS IN LANDSCAPED AREA. PROTECT LANDSCAPED AREA WITH EXISTING MULCH IN FRONT OF REMOVED SHRUBS.
 - REMOVE EXISTING SHRUBS AND PLANTINGS IN THEIR ENTIRETY.
 - REMOVE EXISTING EWC IN ITS ENTIRETY. REMOVE AND CAP PLUMBING AS REQUIRED.



DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: OWNER HAS ALREADY REMOVED ANY DESIRED EXISTING FURNITURE, FURNISHINGS THAT WAS TO BE KEPT. ANY ITEMS LEFT WITHIN THE BUILDING WILL BE PART OF THE DEMOLITION AND DISPOSED OF PROPERLY BY THE CONTRACTOR.

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Clay Electric Cooperative, Inc.
A Touchstone Energy Cooperative
PROJECT No 20 - 1697

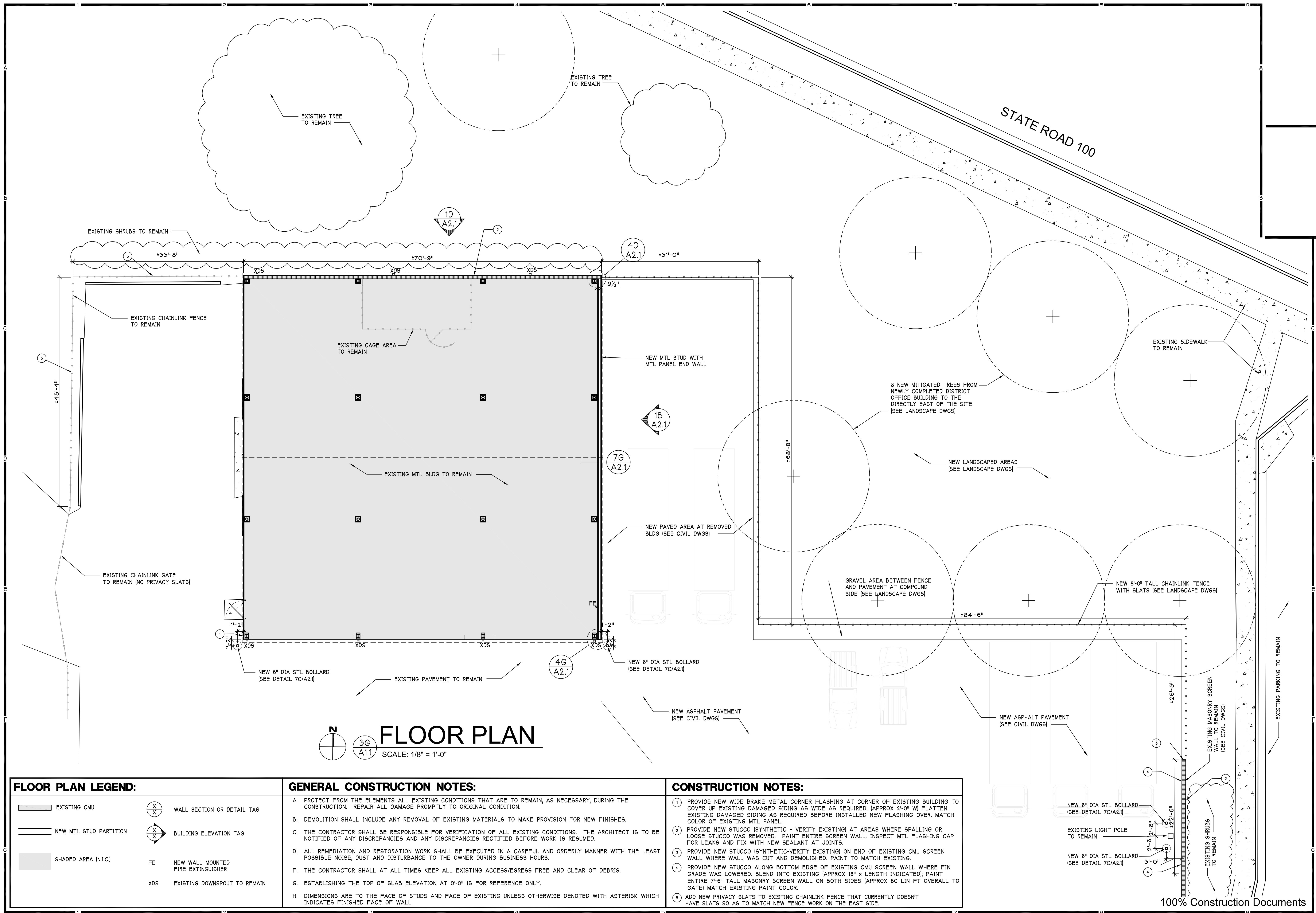
Demolition of Existing Office Building and One Bay at Transportation Building
10 Citrus Drive, Keystone Heights, Florida

DEMOLITION FLOOR PLAN

DRAWN	MDR
CHECKED	MR
DATE	12/04/20
CAD	3702151110 Cadi CDJ
FILE NO.	3702.151-20
REVISIONS	

FILE NO. 3702.151-20
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FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

	EXISTING CMU		WALL SECTION OR DETAIL TAG
	NEW MTL STUD PARTITION		BUILDING ELEVATION TAG
	SHADED AREA (N.I.C.)	FE	NEW WALL MOUNTED FIRE EXTINGUISHER
		XDS	EXISTING DOWNSPOUT TO REMAIN

GENERAL CONSTRUCTION NOTES:

- PROTECT FROM THE ELEMENTS ALL EXISTING CONDITIONS THAT ARE TO REMAIN, AS NECESSARY, DURING THE CONSTRUCTION. REPAIR ALL DAMAGE PROMPTLY TO ORIGINAL CONDITION.
- DEMOLITION SHALL INCLUDE ANY REMOVAL OF EXISTING MATERIALS TO MAKE PROVISION FOR NEW FINISHES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES AND ANY DISCREPANCIES RECTIFIED BEFORE WORK IS RESUMED.
- ALL REMEDIATION AND RESTORATION WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST AND DISTURBANCE TO THE OWNER DURING BUSINESS HOURS.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP ALL EXISTING ACCESS/EGRESS FREE AND CLEAR OF DEBRIS.
- ESTABLISHING THE TOP OF SLAB ELEVATION AT 0'-0" IS FOR REFERENCE ONLY.
- DIMENSIONS ARE TO THE FACE OF STUDS AND FACE OF EXISTING UNLESS OTHERWISE DENOTED WITH ASTERISK WHICH INDICATES FINISHED FACE OF WALL.

CONSTRUCTION NOTES:

- PROVIDE NEW WIDE BRAKE METAL CORNER FLASHING AT CORNER OF EXISTING BUILDING TO COVER UP EXISTING DAMAGED SIDING AS WIDE AS REQUIRED. (APPROX 2'-0" W) FLATTEN EXISTING DAMAGED SIDING AS REQUIRED BEFORE INSTALLED NEW FLASHING OVER. MATCH COLOR OF EXISTING MTL PANEL.
- PROVIDE NEW STUCCO (SYNTHETIC - VERIFY EXISTING) AT AREAS WHERE SPALLING OR LOOSE STUCCO WAS REMOVED. PAINT ENTIRE SCREEN WALL. INSPECT MTL FLASHING CAP FOR LEAKS AND FIX WITH NEW SEALANT AT JOINTS.
- PROVIDE NEW STUCCO (SYNTHETIC-VERIFY EXISTING) ON END OF EXISTING CMU SCREEN WALL WHERE WALL WAS CUT AND DEMOLISHED. PAINT TO MATCH EXISTING.
- PROVIDE NEW STUCCO ALONG BOTTOM EDGE OF EXISTING CMU SCREEN WALL WHERE FIN GRADE WAS LOWERED. BLEND INTO EXISTING (APPROX 18" x LENGTH INDICATED); PAINT ENTIRE 7'-6" TALL MASONRY SCREEN WALL ON BOTH SIDES (APPROX 80 LIN FT OVERALL TO GATE) MATCH EXISTING PAINT COLOR.
- ADD NEW PRIVACY SLATS TO EXISTING CHAINLINK FENCE THAT CURRENTLY DOESN'T HAVE SLATS SO AS TO MATCH NEW FENCE WORK ON THE EAST SIDE.

SEAL

MICHAEL P. RICHMOND
REGISTRATION # AR-0091268
CORP. LIC. NO. AA0002304

Brame Heck
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FOUNDED 1911

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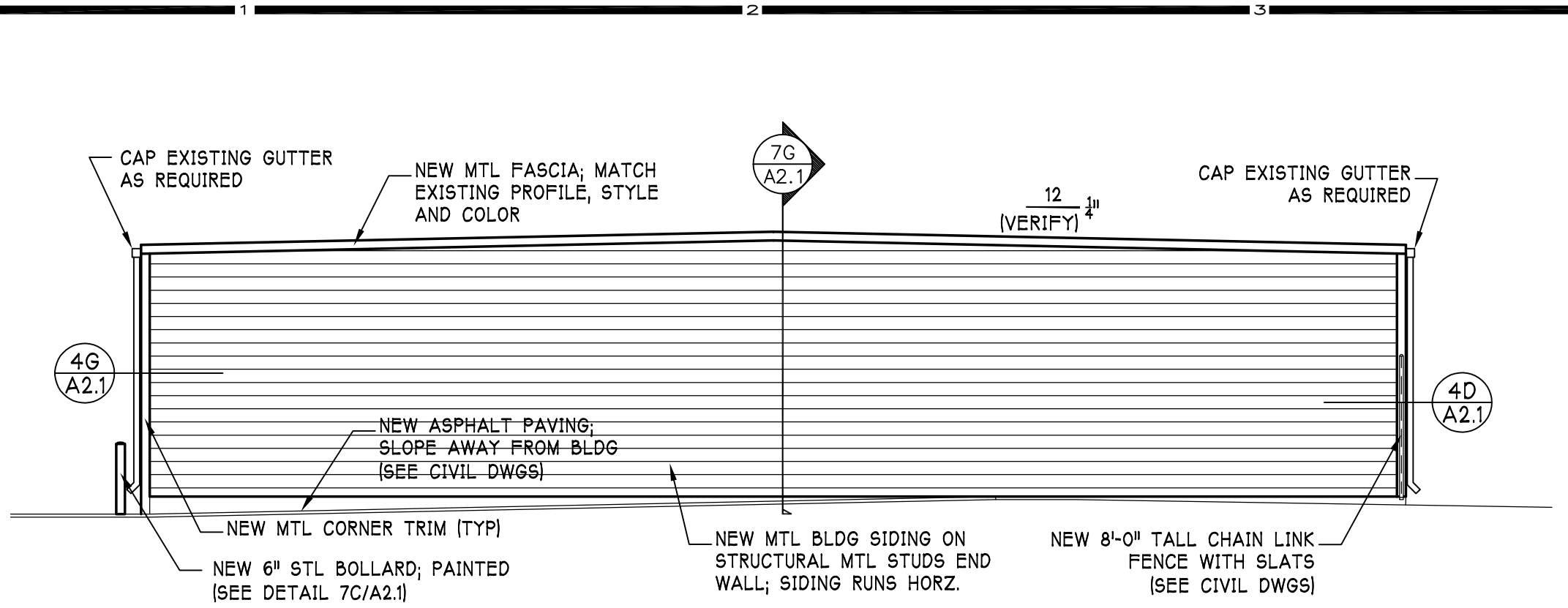
FLOOR PLAN

DRAWN MDR
CHECKED MR
DATE 12/04/20
CAD 3702151110 Cad/ CD/ ClayKSdemo-A1-plan
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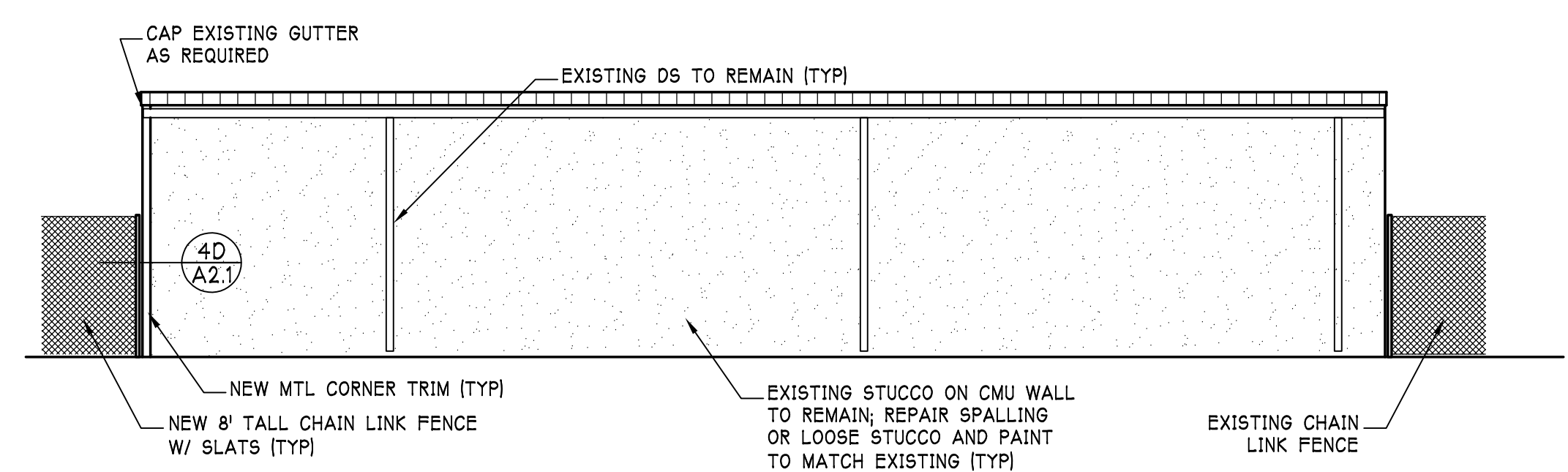
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A1.1

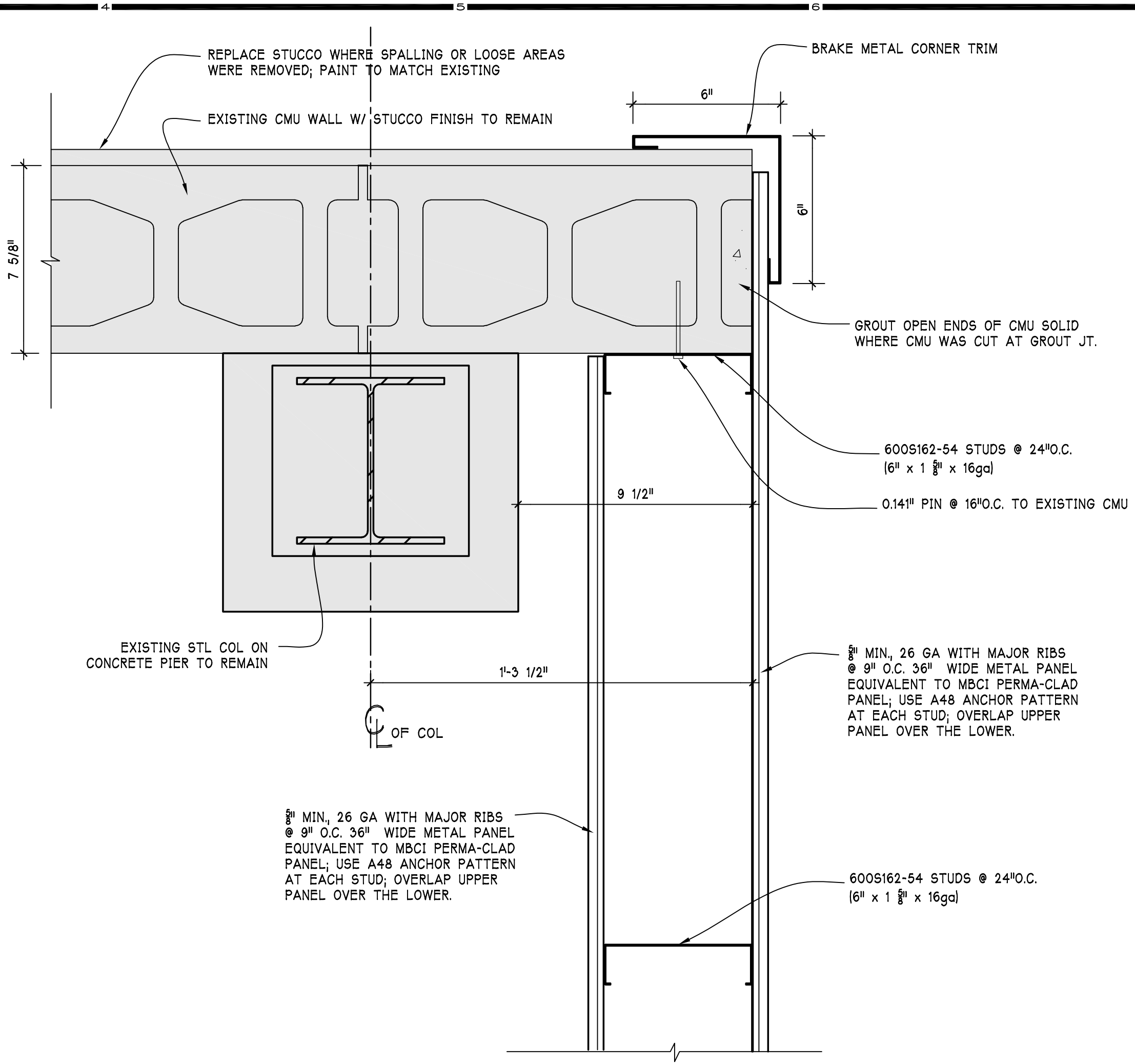
100% Construction Documents



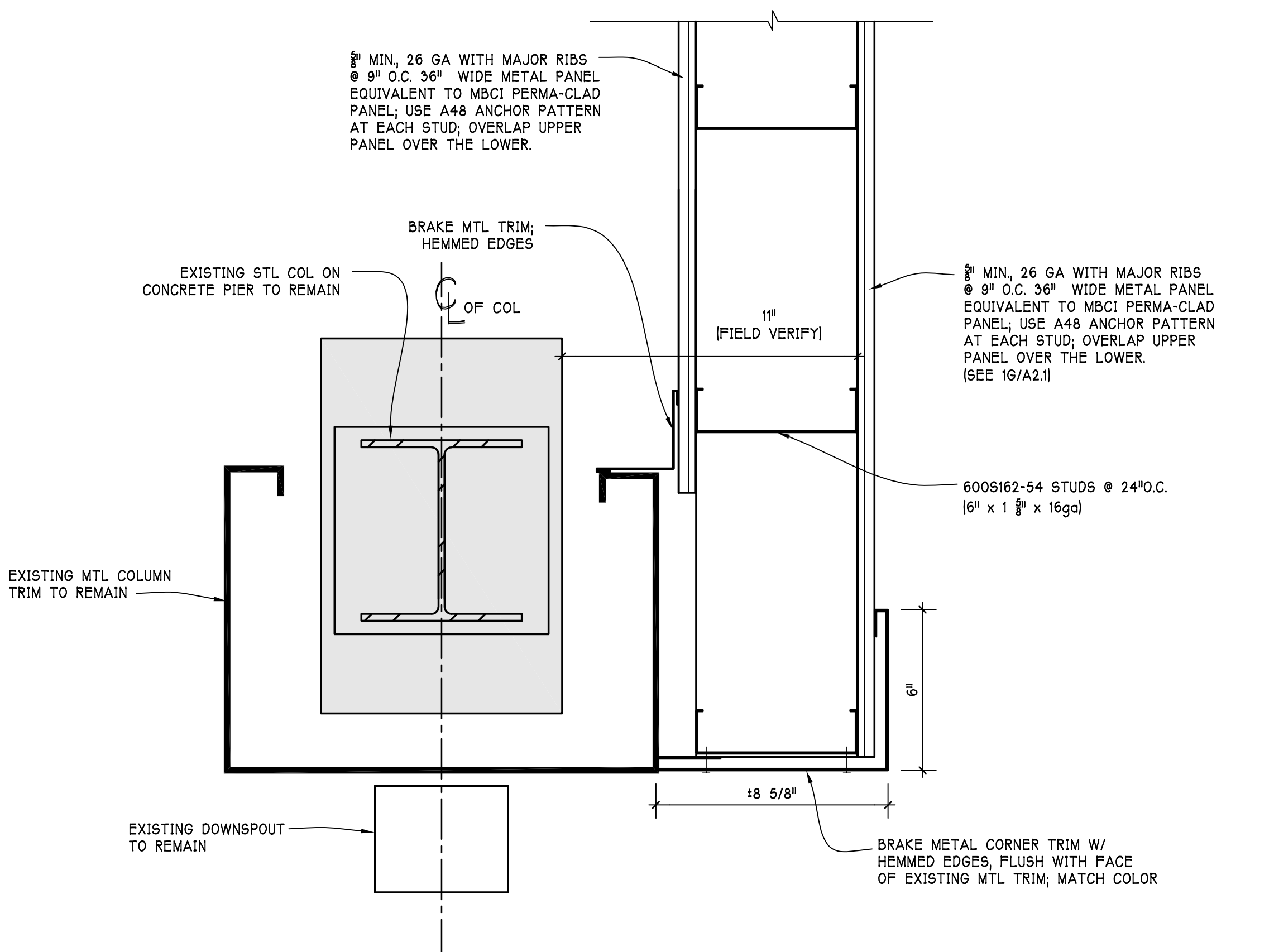
1B EAST ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: COLOR OF MTL BLDG PANEL TO MATCH EXISTING



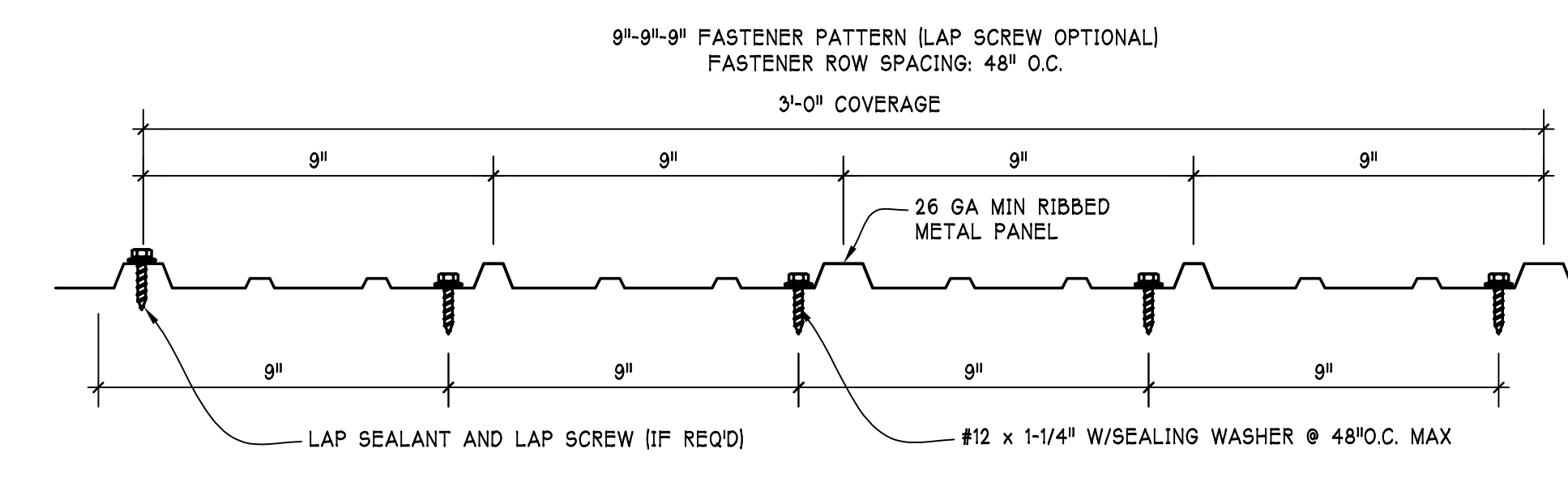
1D NORTH ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: NO CHANGES ARE BEING MADE TO OTHER BUILDING ELEVATIONS



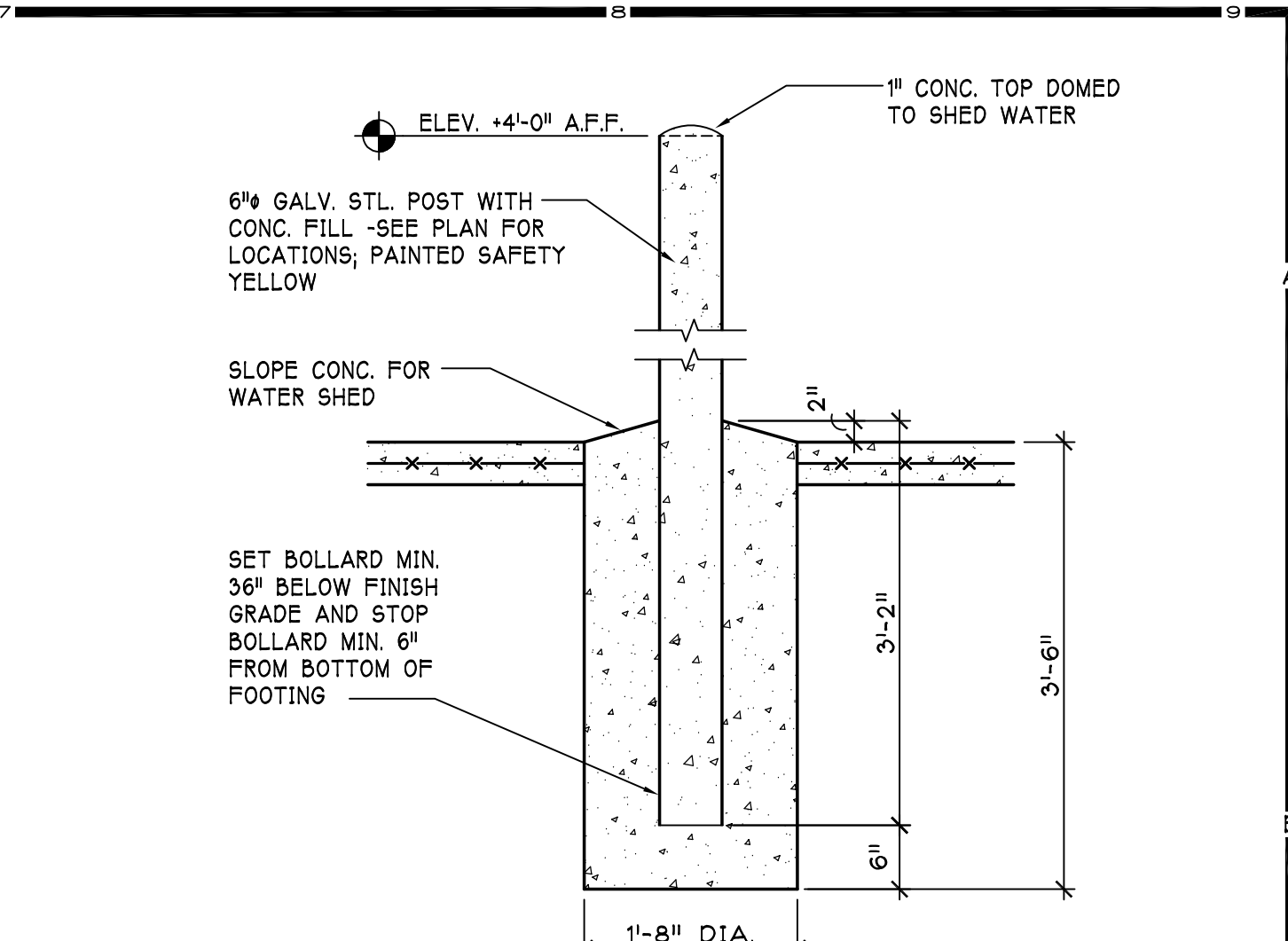
4D WALL CORNER DETAIL
SCALE: 3/4" = 1'-0"



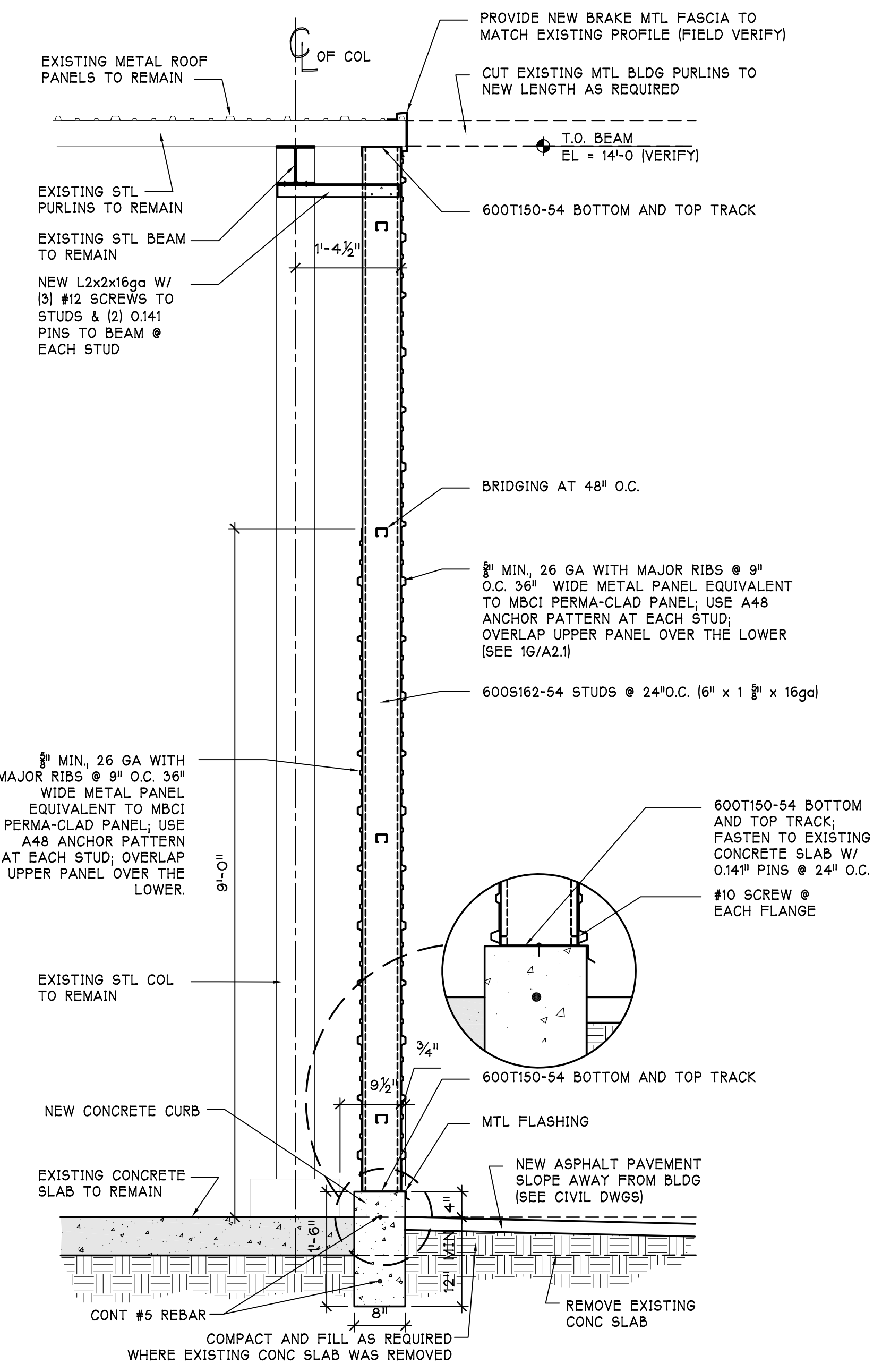
4G WALL CORNER DETAIL
SCALE: 3/4" = 1'-0"



1G A48 PANEL FASTENER DETAIL
SCALE: 3/4" = 1'-0"



7C GALV. STEEL BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



7G WALL SECTION (TYP)
SCALE: 3/4" = 1'-0"

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WALL SECTION DETAILS & BLDG ELEVATION

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