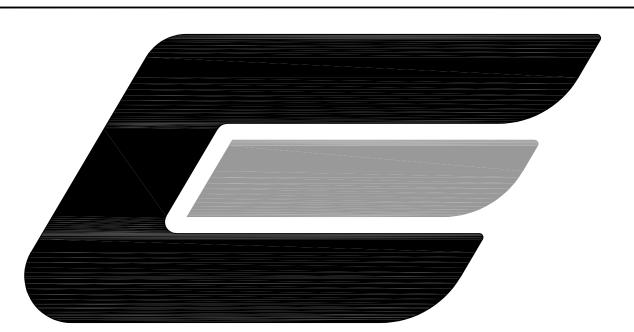
# Clay Electric Cooperative, Inc.



Demolition of Existing Office Building & One Bay at Transportation Building

10 CITRUS DRIVE KEYSTONE HEIGHTS, FLORIDA

A Touchstone Energy Cooperative

DRMP, INC

**Civil Engineers** 

emolition
Building
Transpor **COVER SHEET** 

**INDEX & LOCATION** MAP& DEMO PLAN

ClayKSdemo-A0-C0

3702.151-20 S H E E

A0.0 100% Construction Documents



Florida Building Code - Existing Buildings Sixth Edition (2017 Edition)

Office Building Demolition - 6,007 sq ft One Bay of Transportation Bldg - 1,453 sq ft Total Bldg Demolition Area - 7,460 sq ft Existing Transportation Bldg to Remain - 5,111 sq ft

OF ABBREVIATIONS

ABOVE FINISHED FLOOR

**Type of Construction: Occupancy Classification:** 

ALUMINUM

BOARD

BLOCK

**ALTERNATE** 

BUILT UP ROOF

CONTROL JOINT CHAIN LINK

COMPOSITION

CONCRETE

DOUBLE

CONTINUOUS

DOWNSPOUT

ELECTRIC(AL)

DRAWINGS

CENTRAL VACUUM

**EXPANSION JOINT** 

CONCRETE MASONRY UNIT

TYPE V-B, Unsprinklered Office Building - Business (Group B)

Parking Garage - Low-Hazard Storage (Group S-2)

EQUIPMENT

EACH WAY EXISTING

FOOT/FEET

FRAME WIDTH

GALVANIZED HANDICAPPED

HORIZONTAL

HOT WATER

MANUFACTURER

INTERIOR

MAXIMUM

MINIMUM

MOUNTED

METAL

MECHANICAL

FOOTING FURRING

EXPANSION JOINT

**Existing Building Areas:** Office Building -Parking Garage -

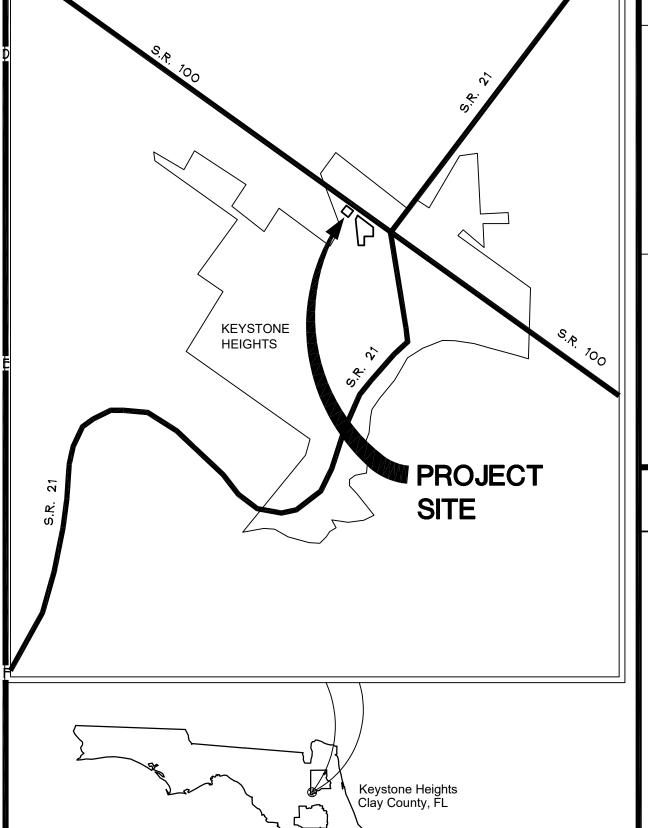
**Provided** 6,007 S.F. 1 Story 5,111 S.F. 1 Story

Allowed 19,000 S.F. 4 Story 26,000 S.F. 4 Story



Sputo & Lammert **Structural Consulting Engineers** 

Engineering, LLC Manley Design Landscape Architect



# LOCATION MAP

NOMINAL

OVER ALL

STL

TYP

W/

ON CENTER

### INDEX OF DRAWINGS

**GENERAL NOTES** 

COVER SHEET, INDEX, LOCATION MAP

ON CENTER OPENING	C0.0
PRECAST PERIMETER PREFABRICATED	C1.0
PLYWOOD PROJECTOR SCREEN	C2.0
PRESSURE TREATED QUARRY TILE	C3.0
RADIUS REFRIGERATOR REINFORCED	L.001
REQUIRED SHEET	L.002
SIMILAR SQUARE	L.003
STEEL STRUCTURE/STRUCTURAL	D1.0
STAINLESS STEEL SUPPORT TUBULAR STEEL	D1.1
TYPICAL UNLESS OTHERWISE NOTED	A1.1
VERTICAL WITH	A2.1
WOOD WELDED WIRE FABRIC	

**DEMOLITION PLAN** SITE GEOMETRY AND MARKING PLAN PAVING, GRADING AND DRAINAGE PLAN LANDSCAPE PLAN, NOTES, AND SCHEDULE LANDSCAPE DETAILS LANDSCAPE TECHNICAL SPECIFICATIONS **EXISTING PHOTOS SHOWING DEMO** 

**DEMOLITION FLOOR PLAN** FLOOR PLAN WALL SECTION DETAILS & BLDG ELEVATION

- 2. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO REFERENCE AND
- 3. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, OR FACE OF CURB UNLESS OTHERWISE NOTED.

RESTORE PROPERTY CORNERS AND LAND MARKERS WHICH MAY BE DISTURBED BY CONSTRUCTION.

- 4. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FDOT MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.
- 6. ALL NON-CONFORMING SIGNS SHALL BE REMOVED FROM THE SITE.
- 7. ALL WORK PERFORMED IN THE CITY RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE LATEST FDOT AND CITY OF GAINESVILLE STANDARDS. PLEASE INFORM CITY INSPECTORS 24 HOURS PRIOR TO COMMENCING ANY WORK IN THE RIGHT-OF-WAY.
- 8. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
- 9. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND SOILS ENGINEER APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING RING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 11. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION.
  DISTURBED AREAS WILL BE SODDED, SEEDED, MULCHED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
- 12. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE BASED UPON BEST AVAILABLE INFORMATION REVIEWED AT THE TIME OF DOCUMENT PREPARATION. THIS INFORMATION MAY NOT BE OF SUITABLE ACCURACY OR CORRECTNESS FOR THE CONTRACTOR'S CONSTRUCTION NEEDS. THEREFORE, THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING THE WORK BEFORE CONSTRUCTION.
- 13. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH DRIVEWAYS, SIDEWALKS, CURBS, FENCING, ETC., DAMAGED DURING CONSTRUCTION, WITH THE SAME TYPE AND QUALITY OF MATERIALS AND WORKMANSHIP AS PREVIOUSLY EXISTED. AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT INDICATED TO BE SODDED SHALL BE SEEDED.
- 14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- 15. ALL WORK TO BE PERFORMED FOR THE COMPLETION OF THIS PROJECT SHALL BE CONSTRUCTED ACCORDING TO THE BEST PRACTICES OF THE INDUSTRY AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND/OR CITY CODES, ORDINANCES, STANDARDS, AND PERMIT CONDITIONS.
- 16. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THE CONSTRUCTION DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 17. WORK BEING PERFORMED UNDER THE CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- 18. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO THE CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 19. THROUGHOUT THE CONSTRUCTION PERIOD OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF ONSITE PERSONNEL, THE TRAVELING PUBLIC, AND THE CONTRACTOR'S WORKFORCE. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE LATEST EDITION PROVISIONS ESTABLISHED BY OSHA. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE TRENCH SAFETY ACT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THIS INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS..
- 20. ALL HANDICAP RAMPS SHALL COMPLY WITH ADA, STATE OF FLORIDA ACCESSIBILITY CODES AND STANDARDS, AND FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. SEE DETECTABLE WARNING STRIP DETAIL ON SHEET C2.30.
- 21. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
- 22. CONTRACTOR TO GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR UNLESS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS.

#### DEMOLITION GENERAL NOTES

- THE CONTRACTOR SHALL ACCURATELY LOCATE ALL UNDERGROUND PIPES, CABLES AND UTILITIES IN THE AREAS OF CONSTRUCTION. THIS SHALL BE DONE SEVEN DAYS PRIOR TO EXCAVATION TO AVOID DAMAGE TO THESE FACILITIES. ALL DAMAGE RESULTING FROM CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 2. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT AND/OR BRACING TO MAINTAIN THE STRUCTURAL INTEGRITY OF ALL POWER POLES AND SUPPORTS LOCATED WITHIN THE IMMEDIATE VICINITY OF TRENCH EXCAVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY TO PROVIDE TEMPORARY SUPPORT AND/OR BRACING IN ACCORDANCE WITH THE POWER COMPANY REQUIREMENTS.
- 3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN

BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS BUT ARE NOT PURPORTED TO BE ABSOLUTELY CORRECT. THERE MAY BE OTHER IMPROVEMENTS, UTILITIES, ETC. WHICH ARE WITHIN THE PROPOSED PROJECT AREA. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES (WHETHER OR NOT SHOWN ON THE DRAWINGS) AFFECTING HIS WORK.

- 4. THE CONTRACTOR SHALL NOTE THAT OVERHEAD UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE AND INCLUDE CONSIDERATION OF SUCH UTILITIES IN PLANNING AND EXECUTING HIS WORK
- 5. THE CONTRACTOR SHALL FOLLOW ALL STATE, LOCAL AND FEDERAL REGULATIONS AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AT AN APPROVED OFF-SITE LOCATION IN A LEGAL MANNER.
- 6. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER USABLE FACILITIES WITHOUT PERMISSION FROM OWNERS AND AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTOR'S EXPENSE.

#### PAVING, GRADING, AND DRAINAGE GENERAL NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES.

  CONTRACTOR SHALL NOT DISTURB OR RELOCATE ANY EXISTING UTILITY WITHOUT WRITTEN PERMISSION FROM THE UTILITY OWNER.
- 2. ALL CONCRETE USED SHALL BE 3,000 PSI MINIMUM.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDEMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY.
- 4. AREAS WITHIN THE RIGHT-OF-WAY AND EASEMENTS SHALL BE CLEARED OF ALL TREES, ROOTS, VEGETATION, AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE. AREAS OF EXCLUSION SUCH AS TREES OR DESIGNATED BUFFERS SHALL BE ADEQUATELY MARKED FOR PROTECTION.
- 5. STOCKPILES OF WASTE OR EXCESS MATERIAL SHALL NOT REMAIN WITHIN THE RIGHT-OF-WAY OR EASEMENTS AND SHALL BE REMOVED FROM THE BOUNDS OF THE PROJECT IN A LEGAL MANNER.
- 6. STOCKPILES OF EXCAVATED TOPSOIL OR FILL MATERIAL SHALL BE LOCATED SUCH THAT SITE DRAINAGE OR WATERWAYS ARE NOT OBSTRUCTED. THE OWNER OF PROPERTY MAY TEMPORARILY STOCKPILE TOPSOIL OR ROCKS, OUTSIDE OF ALL RIGHTS-OF-WAY AND EASEMENTS, TO REMAIN FOR FUTURE LANDSCAPING. STOCKPILES OF EXCESS SUITABLE MATERIAL MUST BE REMOVED PRIOR TO FINAL INSPECTION OR APPROPRIATELY PERMITTED TO REMAIN ON SITE. STOCKPILE LOCATION APPROVAL MUST BE OBTAINED THROUGH THE APPROPRIATE REGULATING AGENCY AND A PERMIT MUST BE OBTAINED.
- 7. EXCAVATION SHALL INCLUDE REMOVAL OF ALL MATERIALS AND STRUCTURES NECESSARY TO CONSTRUCT ROADWAY AND DRAINAGE FACILITIES TO THE APPROPRIATE LINE AND GRADE.
- 8. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLANS OR DESIGNATED IN THE FIELD.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MULCH, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACE WITH SUITABLE/COMPACTED SOILS AS DIRECTED BY THE OWNER, ENGINEER OR GEOTECHNICAL ENGINEER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- 10. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO FINAL GRADING.
- 11. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
- 12. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
- 13. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO FINAL APPROVAL. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.
- 14. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE
- 15. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEERING OF RECORD DURING SITE INSPECTIONS.
- 16. IF LIMEROCK IS ENCOUNTERED DURING EXCAVATION OF THE SWALES/BASINS OR IF A SINKHOLE FORMS IN THE AREA OF A DRAINAGE SWALE/BASIN, THE ENGINEER OF RECORD SHALL BE NOTIFIED BY EITHER THE CONTRACTOR OR THE ESTABLISHED OPERATION AND MAINTENANCE ENTITY. THE ENGINEER OF RECORD SHALL INSPECT THE REPAIRED AREA UPON COMPLETION OF THE REPAIR.
- 17. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED. 12" OF CLEAN FLORIDA FILL WITH THE pH OF 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.

#### MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE CITY OF GAINESVILLE RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY AN INDIVIDUAL WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS, AND CITY OF GAINESVILLE MOT REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT. IN CASES WHERE THE WORK OCCURS IN AN FDOT RIGHT-OF-WAY OR REQUIRES PLACEMENT OF WORK ZONE SIGNS IN AN FDOT RIGHT-OF-WAY, THE MOT PLAN MUST ALSO BE REVIEWED AND APPROVED BY FDOT.

#### ENVIRONMENTAL GENERAL NOTES

- 1. SYNTHETIC HAY BALES OR FABRIC FENCE (SILT TYPE) SHALL BE UTILIZED AS SILT BARRIERS AND PLACED IN LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS AS REQUIRED TO KEEP SEDIMENT FROM REACHING WATER BODIES OR WETLAND AREAS (REFERENCE STORM WATER POLLUTION PREVENTION PLANS). THESE BARRIERS SHALL BE INSTALLED BEFORE COMMENCING WITH ANY CONSTRUCTION WITHIN OR ADJACENT TO JURISDICTIONAL AREAS. THE CONTRACTOR SHALL MONITOR AND MAINTAIN ALL SILT BARRIERS AND FENCING INCLUDING DAILY INSPECTIONS TO CHECK THEIR INTEGRITY. ANY LOOSE OR DAMAGED SILT BARRIERS AND FENCING SHALL BE IMMEDIATELY REPAIRED OR REPLACED AS NECESSARY. ONCE CONSTRUCTION IS COMPLETED AND FINISHED GRADING AND STABILIZATION HAS BEEN ACHIEVED, SILT BARRIERS AND FENCING SHALL BE COMPLETELY REMOVED TO THE SATISFACTION OF THE ENGINEER AND BEFORE FINAL ACCEPTANCE.
- 2. ALL WATER COLLECTED AND PUMPED DURING TRENCH DEWATERING ACTIVITIES SHALL BE DISPOSED OF IN UPLAND AREAS INTO DOUBLE STAKED HAY BALES. DISCHARGE LOCATIONS SHALL BE A MINIMUM OF 75 FEET FROM THE NEAREST WATER BODY OR WETLAND AREA TO ALLOW FOR MAXIMUM OVERLAND FILTRATION OF SOIL PARTICLES. EXCAVATION ACROSS ALL WETLANDS SHALL BE ACCOMPLISHED BY STRIPPING THE TOP 10 INCHES OF SURFICIAL SOILS FROM THE FULL WIDTH OF THE AREA TO BE DISTURBED. SURFICIAL SOILS SHALL BE REPLACED LAST AND SHALL BE SPREAD ACROSS THE ENTIRE DISTURBED WETLAND AREA TO HELP PROMOTE NATIVE VEGETABLE GROWTH. SURFICIAL SOILS SHALL NOT BE STOCKPILED IN EXCESS OF TWO WEEKS. FURTHER, ALL ASPECTS OF BACKFILLING, GRADING AND MULCHING SHALL BE COMPLETE WITHIN 30 DAYS OF INITIAL WETLAND IMPACT FOR EACH JURISDICTIONAL AREA.
- 3. TEMPORARY STOCKPILES SHALL NOT BE LOCATED ADJACENT TO WETLANDS WHERE SEDIMENTATION FROM STOCKPILES MAY CAUSE DAMAGE TO WETLAND. ADDITIONALLY, SILT BARRIERS AND FENCING SHALL CONTINUOUSLY AND FULLY ENCIRCLE ALL STOCKPILES WHICH WILL REMAIN FOR LONGER THAN 24 HOURS TO CONTAIN MATERIALS WITHIN A REASONABLY CONFINED AREA.
- 4. BANKS SHALL BE PROTECTED FROM EROSION OR COLLAPSE DURING CONSTRUCTION. BANK PROTECTION MATERIAL SHALL BE CAREFULLY PLACED FROM THE BANK AND NOT DUMPED FROM ABOVE IN AN UNCONTROLLED MANNER. SANDBAGS SHALL BE USED FOR PROTECTING THE BANKS. UPON COMPLETION OF CONSTRUCTION, BANKS AND WATERWAYS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONFIGURATION AND PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE DUST CONTROL. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 6. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED UNLESS CALLED OUT TO BE SODDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION/RETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 8. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.

#### **ASBUILT NOTES**

- 1. SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS, IS REQUIRED PRIOR TO SCHEDULING A FINAL INSPECTION FOR UF PDC AND THE WATER MANAGEMENT DISTRICT.
- 2. AS-BUILT DRAWINGS SHALL BE PREPARED IN AUTOCAD FORMAT BY A FLORIDA REGISTERED LAND SURVEYOR. AN ELECTRONIC FILE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SIGNED AND SEALED PRINTS SHALL BE PROVIDED TO THE ENGINEER AS REQUESTED. PROVIDE LOCATION, ELEVATION AND DESCRIPTION OF BENCHMARK(S).
- 3. PROVIDE BUILDING LOCATIONS, FINISH FLOOR ELEVATIONS, PAVEMENT GRADES AND ALL UNDERGROUND FACILITIES INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS.
- 4. PROVIDE PERIMETER DIMENSIONS AND AT TOP OF BANK AND BOTTOM OF POND.
- 5. PROVIDE ELEVATIONS AT TOP OF BANK, BOTTOM OF POND AND POND OUTFALL STRUCTURE(S).
- 6. PROVIDE SPECIAL DETAIL DRAWINGS WHERE INSTALLATIONS WERE NOT AS SHOWN ON CONSTRUCTION DRAWINGS DUE TO FIELD CONDITIONS OR WHERE REQUIRED FOR CLARITY.
- 7. LOCATE ALL PIPES AND PROVIDE SIZE, ELEVATION, INVERT ELEVATIONS, LENGTH AND TYPE.

 DESIGNED BY
 -- R
 E
 V
 I
 S
 I
 O
 N
 S

 DRAWN BY
 -- 12/4/2020
 100% CONSTRUCTION DOCUMENTS
 CHECKED BY
 -- APPROVED BY
 --- --- --- --- --- --- ---- ---- ---- ---- ---- ----- ----- ----- ------ ------ ------- -----------</td

IERAL NOTES

AY ELECTRIC FRICT OFFICE MOLITION
AY COUNTY, FLORIDA

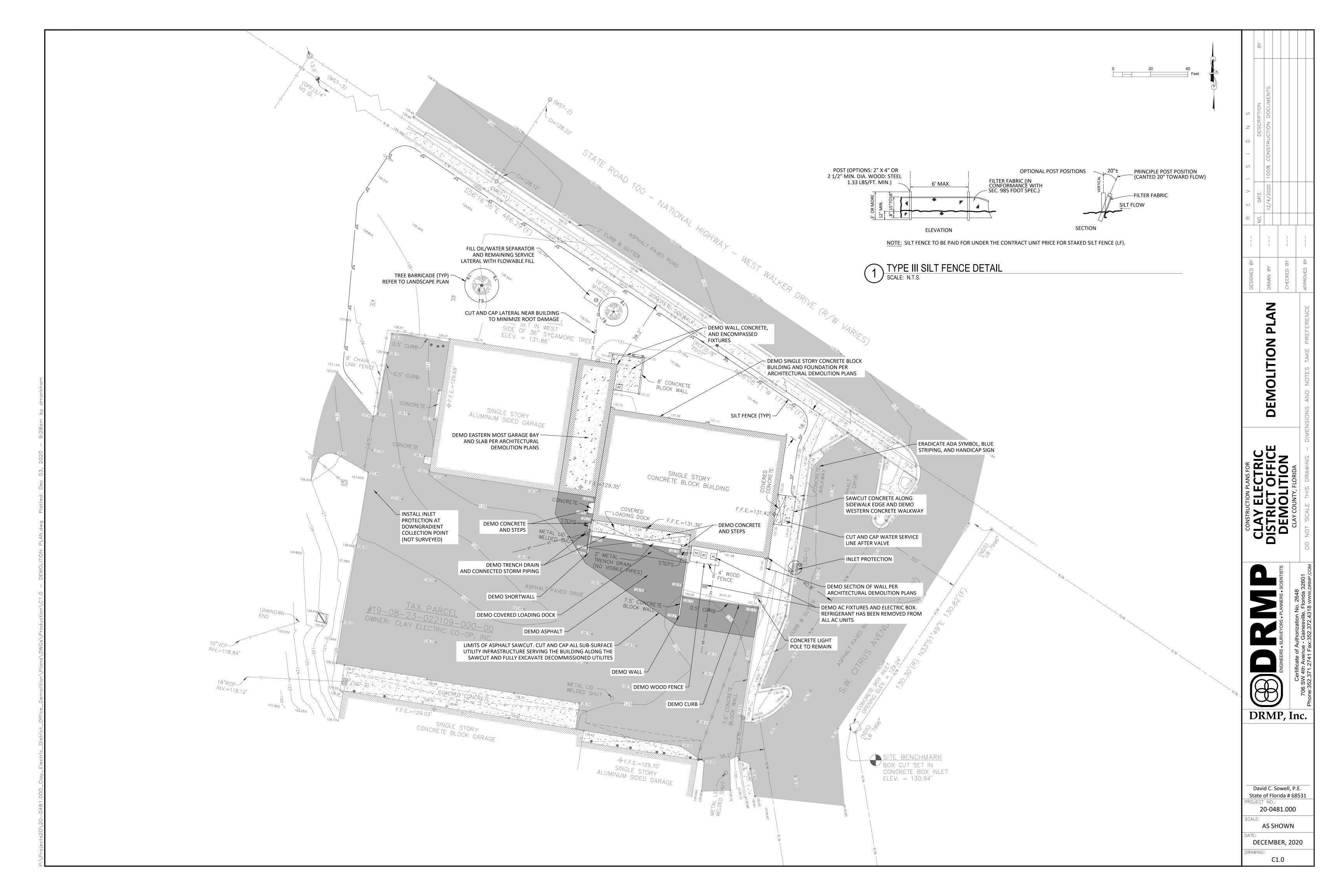
David C. Sowell, P.E. State of Florida # 68531

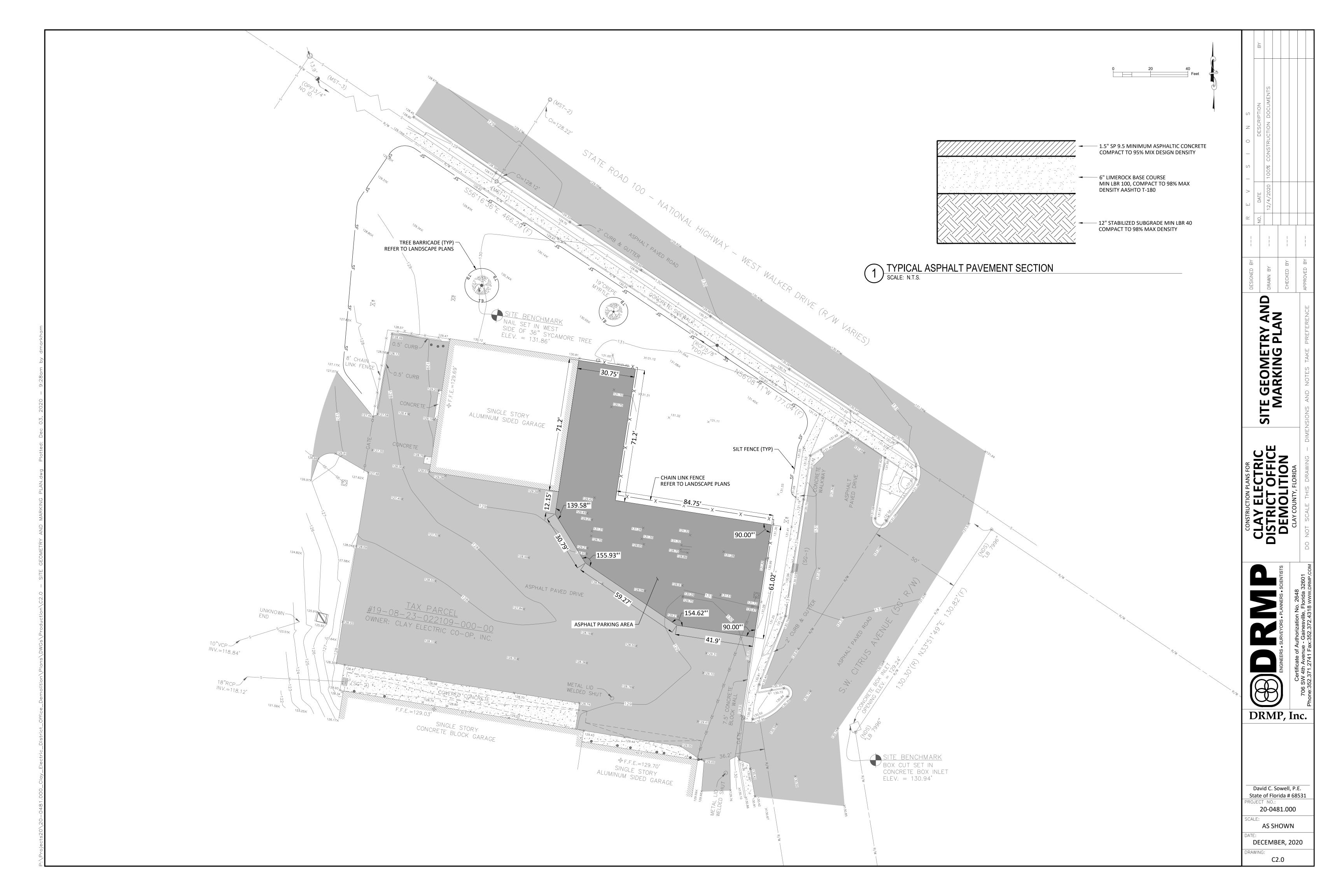
20-0481.000 ALE:

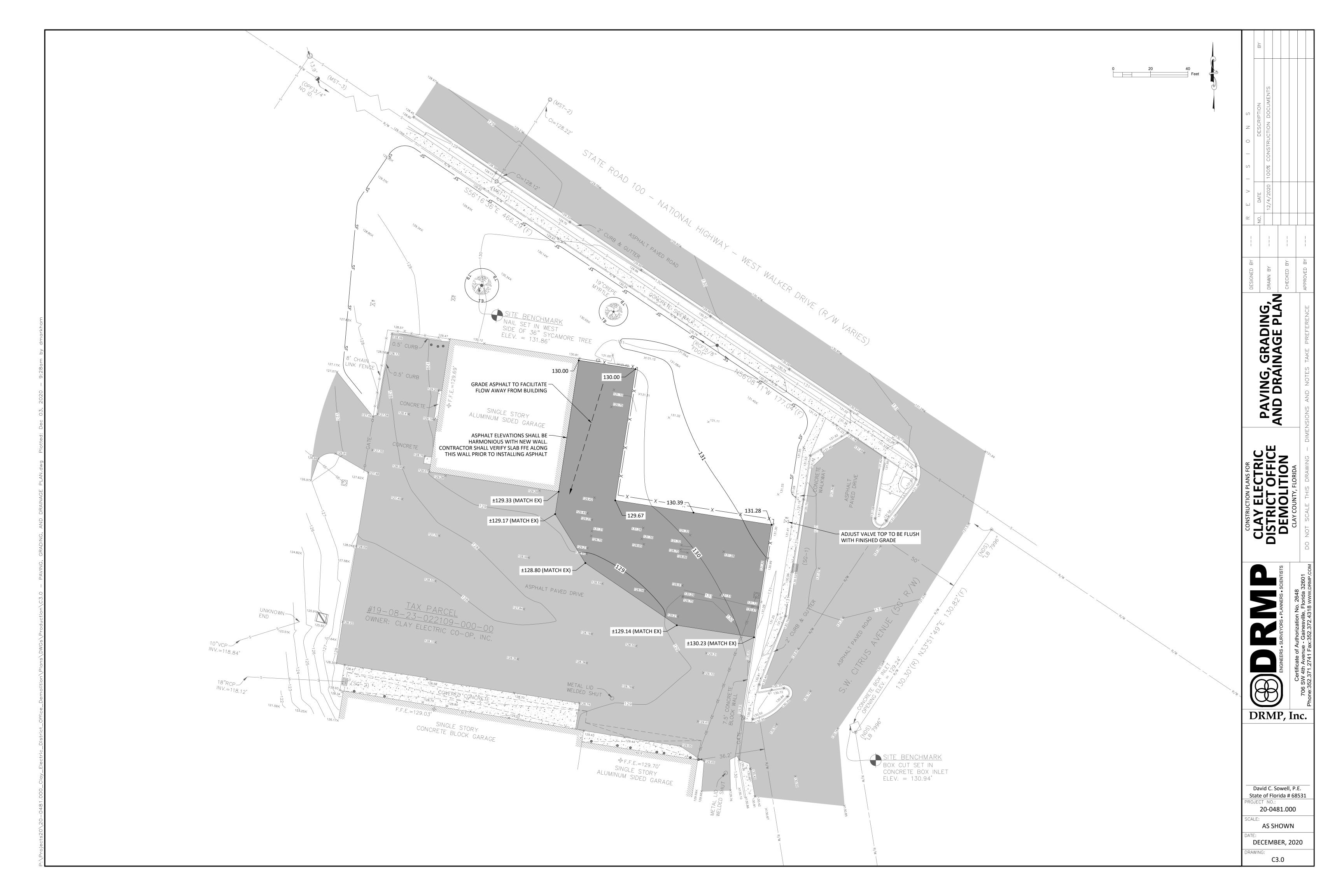
AS SHOWN

ATE:
DECEMBER, 2020

C0.0



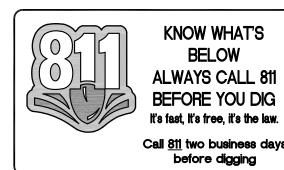




TREES UA	QTY 8	BOTANICAL NAME Ulmus alata	COMMON NAME Winged Elm	<u>SIZE</u> 65 gal., 13` ht. x 60" sprd., 3" cal.	SPACING As shown	NOTES
SHRUBS IVS	QTY 47	BOTANICAL NAME Ilex vomitoria `Schillings Dwarf`	COMMON NAME Schillings Dwarf Yaupon Holly	<u>SIZE</u> 3 gal., 12" ht. x 14" sprd.	SPACING 30" o.c.	<u>NOTES</u>
LP	40	Loropetalum chinense rubrum 'Crimson Fire'	Crimson Fire Loropetalum	3 gal., 24" ht. x 18" sprd.	30" o.c.	
GROUND COVERS LEM	<u>QTY</u> 56	BOTANICAL NAME Liriope muscari `Emerald Goddess`	COMMON NAME Liriope	SIZE 1 gal., 12" ht. x 18" sprd.	SPACING 18" o.c.	<u>NOTES</u>
SOD/SEED SOD		BOTANICAL NAME Paspalum notatum `Argentine`	COMMON NAME Argentine Bahia Grass	SIZE sod		NOTES Sand grown and weed free

#### LANDSCAPE NOTES

- 1. PRE-CONSTRUTION MEETING: CONTACT THE CITY OF KEYSTONE HEIGHTS PUBLIC WORKS AT (352) 473-4807 TO SCHEDULE A TREE BARRICADE INSPECTION AND TO REVIEW PROPOSED LANDSCAPE MATERIALS BEFORE BEGINNING ANY CLEARING, SITE WORK, OR INSTALLATION ACTIVITIES. CONTACT A MINIMUM OF THREE DAYS PRIOR TO REQUESTED MEETING DATE.
- 2. EXISTING TREE PROTECTION: PROTECTIVE BARRIERS SHALL BE CONSTRUCTED AS INDICATED IN DEMOLITION PLANS TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL AS SHOWN IN DEMOLITION PLANS BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. SEE TREE PROTECTION DETAILS FOR SPECIFIC REQUIREMENTS.
- 3. <u>EXISTING LANDSCAPE PROTECTION:</u> PRESERVE AND PROTECT EXISTING LANDSCAPE AS NOTED ON PLANS. ENSURE IRRIGATION IS FUNCTIONAL THROUGH CONSTRUCTION OR HAND WATER AS NEEDED SUCH THAT EXISTING LANDSCAPE CONTINUES TO THRIVE.
- 4. <u>EXISTING UTILITIES:</u> LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL SEE LOGO BELOW.
- 5. <u>SITE CLEARING</u>: ALL FELLED MATERIAL FROM CLEARING ACTIVITIES SHALL BE PROMPTLY AND CAREFULLY REMOVED FROM THE SITE IN ORDER TO AVOID POTENTIAL DAMAGE TO REMAINING TREES AND VEGETATION AND THE HARBORING OF INSECTS AND RODENTS.
- 6. PLANTING PREPARATION: REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING AND TO A DEPTH OF 3 FT. MIN. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
- 7. PRUNING: IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE. SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI A300) AND "PRUNING. TRIMMING. REPAIRING. MAINTAINING, AND REMOVING TREES. AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
- 8. PLANT MATERIAL, GENERAL: ALL PLANT MATERIALS SHALL MEET 'FLORIDA NUMBER 1' REQUIREMENTS AS PER THE MOST CURRENT EDITION OF 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS', FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 9. PROPOSED TREES: ALL PROPOSED CANOPY TREES TO BE A MINIMUM OF EIGHT FEET TALL, FOUR FEET SPREAD, AND HAVE A MINIMUM TRUNK CALIPER OF TWO INCHES. TREES SHALL BE IN 30-GALLON MINIMUM CONTAINERS OR, IF FIELD GROWN, HAVE A MINIMUM ROOTBALL DIAMETER OF 28 INCHES.
- 10. <u>NEW TREE STAKING</u>: IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS. PROPOSED STAKING METHOD TO BE APPROVED BY URBAN FORESTRY INSPECTOR PRIOR TO INSTALLATION.
- 11. <u>SOD</u>: ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUNDCOVER PLANTINGS SHALL BE SODDED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOD SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
- 12. MULCHING: FOUR INCHES OF MULCH SHALL COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUNDCOVER PLANTING AREAS. MULCH SHALL ALSO BE PLACED WITHIN THE AREA 10' FROM THE TRUNK OF ANY PROTECTED TREE AT THE CONCLUSION OF CONSTRUCTION ACTIVITIES, UNLESS EXISTING VEGETATION IS PRESERVED. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE BARK 'MINI NUGGETS' MULCH IN ALL AREAS EXCEPT STORMWATER FACILITIES, IN WHICH PINE STRAW SHALL BE USED. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES.
- 13. IRRIGATION: TO PROVIDE IRRIGATION TO ALL PROPOSED PLANTINGS. MODIFY AND RENOVATE EXISTING IRRIGATION SYSTEM AS NEEDED.
- 14. MAINTENANCE: MAINTENANCE OF PROPOSED PLANTINGS AND TURF SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
- 15. PROPOSED TREES AS MITIGATION: TREES PROPOSED AS PART OF THIS PROJECT FULFILL MITIGATION REQUIREMENTS OF THE RECENTLY CONSTRUCTION CLAY ELECTRIC OFFICE BUILDING WEST OF SW CITRUS AVENUE. PLEASE REFER TO THE PREVIOUSLY APPROVED PLANS FOR THAT PROJECT AS WELL AS FOLLOW UP CORRESPONDENCE DATED MARCH 2, 2020.
- 16. FENCING: PROPOSED FENCING TO BE 8'-0" TALL GALVANIZED CHAIN LINK TO MATCH THAT INSTALLED AT THE CLAY ELECTRIC DISTRICT OFFICE. MATCH POST SIZES, INSTALLATION DETAILS, AND FENCE FABRIC GAUGE. INCLUDE PRIVACY SLATS TO MATCH AS WELL. INSTALL TERMINAL POSTS AT INTERFACE WITH EXISTING, RENOVATED GARAGE ON THE WESTERN END AND AT THE END OF THE EXISTING SCREEN WALL ON THE SOUTHEASTERN END. TERMINAL POSTS TO BE LOCATED SUCH THAT THERE IS LESS THAN A 4" GAP BETWEEN THE TERMINAL POST AND ADJACENT WALL OR COLUMN. EXISTING FENCING TO REMAIN AS SHOWN. ADD PRIVACY SLATS TO MATCH WITHIN THE EXISTING FENCING IN THE NORTHWESTERN CORNER, SPECIFICALLY WITHIN THE RUN FROM THE EXISTING, RENOVATED GARAGE STRUCTURE WEST TO THE EXISTING FENCE CORNER AND FROM THAT CORNER SOUTH TO THE EXISTING WESTERN GATE. PROVIDE A FENCING SUBMITTAL INCLUDING FOOTING AND INSTALLATION DETAILS FROM THE MANUFACTURER FOR OWNER'S APPROVAL TO INSTALLATION. CONFIRM PROPOSED LOCATION OF FENCING WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL FENCING PER MANUFACTURER'S SPECIFICATIONS.
- 17. GRAVEL: INSTALL WHITE RIVER ROCK GRAVEL, PEBBLE SIZE 1" 3", ALONG FENCE IN LOCATIONS AS NOTED ON PLAN. GRAVEL TO BE 3-4" DEEP SO AS TO PROVIDE CONTINOUS AND CONSISTENT COVERAGE. CUT GRAVEL AREAS INTO GRADE SUCH THAT TOP OF GRAVEL IS FLUSH WITH EXISTING GRADE AND TOP OF CURB. INSTALL GEOTEXTILE LANDSCAPE FABRIC BELOW GRAVEL AND TURN UP EDGES. GRAVEL TO BE WASHED AND FREE OF DEBRIS. PROVIDE A GRAVEL SUBMITTAL INCLUDING SMALL SAMPLE FOR OWNER REPRESENTATIVE'S APPROVAL PRIOR TO INSTALLATION. CONFIRM PROPOSED LOCATION OF GRAVEL WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.





MANLEY DESIGN

Landscape Architecture · Site Planning

Manley Design, LLC 224 NW 2nd Avenue, Suite E Gainesville, Florida 32601 (352) 363-7412 Certificate of Authorization No. LC26000575

PROJECT NAME:

# CLAY ELECTRIC OFFICE DEMOLITION

Keystone Heights, FL

for

Clay Electric

SEAL:

PROJECT NO: 20-017

CLIENT'S NO.:

ISSUED FOR: 100% CONSTRUCTION

**DOCUMENTS** 

ISSUED DATE: 04 DEC 2020

REVISIONS:

\_\_\_\_

10' 20' 40 SCALE: 1" = 20'

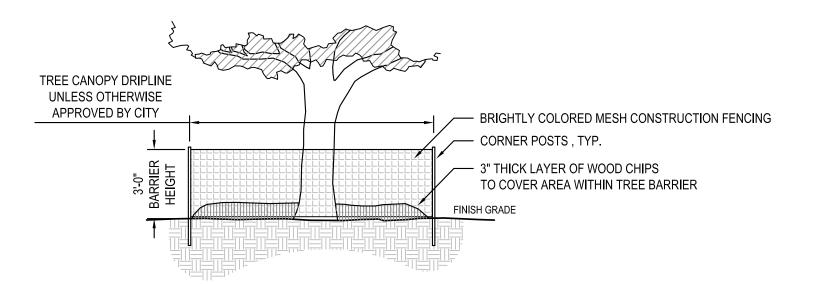
SHEET TITLE:

LANDSCAPE PLAN, NOTES, AND SCHEDULE

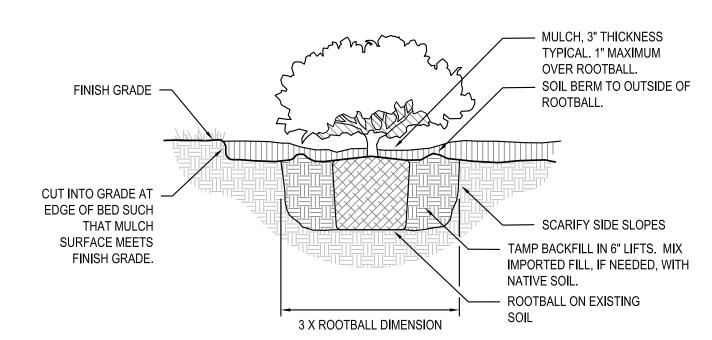
SHEET NUMBER:

\_.001

- 1. DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA.
- 2. NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL.
- 3. TREE BARRIERS TO REMAIN IN PLACE UNTIL LANDSCAPING OPERATIONS BEGIN. ONCE REMOVED, VEHICLE AND EQUIPMENT TRAFFIC AND STORAGE OF MATERIALS WITHIN AREA SHALL BE MINIMIZED AS MUCH AS POSSIBLE.
- 4. ONLY HAND CLEARING SHALL BE PERMITTED WITHIN THE BARRIERS.
- 5. NO VEHICLE PARKING, MATERIALS STORAGE OR DUMPING SHALL BE PERMITTED WITHIN THE PROTECTIVE BARRIER AREAS.
- 6. ABSOLUTELY NO FILL, BUILDING MATERIALS, TRASH OR OTHER OBJECTS SHALL BE PLACED INSIDE THESE BARRIERS. IF FILL IS DEPOSITED ADJACENT TO THESE AREAS, A SUITABLE TEMPORARY OR PERMANENT RETAINING STRUCTURE SHALL BE CONSTRUCTED TO PREVENT SILTATION OF THE BARRICADED AREA.
- 7. NO SOD, SHRUBS OR GROUNDCOVER SHALL BE INSTALLED WITHIN TEN FEET OF THE TRUNK OF ANY PROTECTED TREE.

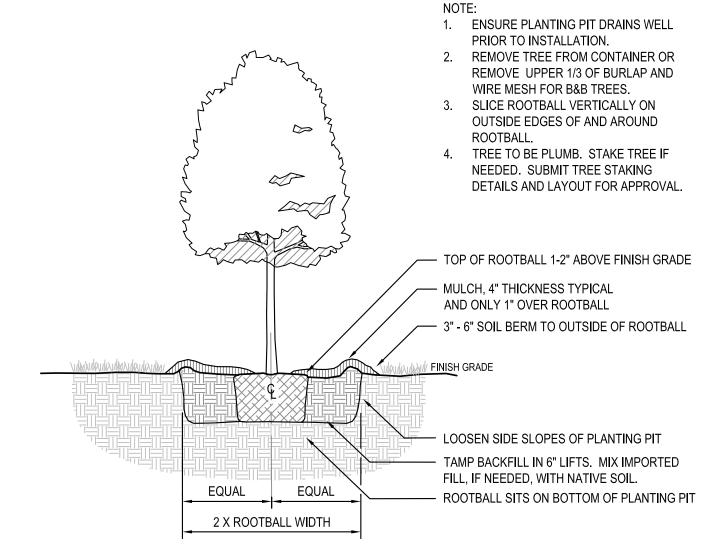


TREE PROTECTION DETAIL SCALE: N.T.S.

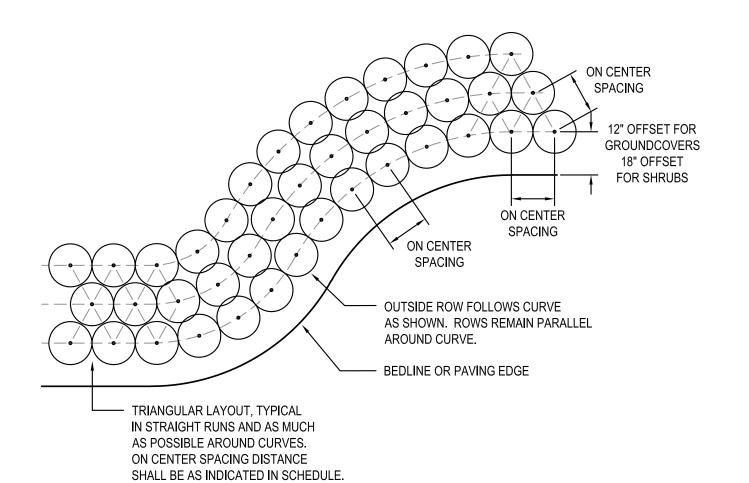


SHRUB PLANTING DETAIL

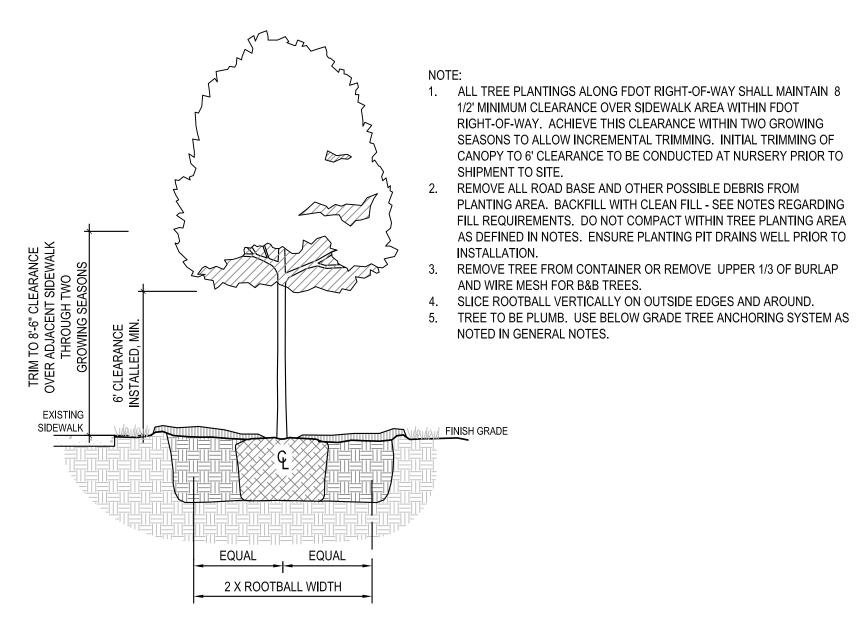
SCALE: N.T.S.



3 TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S.



4 SHRUB LAYOUT DETAIL SCALE: N.T.S.



TREE PLANTING DETAIL ALONG FDOT RIGHT-OF-WAY SCALE: N.T.S.

**MANLEY DESIGN** Landscape Architecture • Site Planning

Manley Design, LLC 224 NW 2nd Avenue, Suite E Gainesville, Florida 32601 (352) 363-7412 Certificate of Authorization No. LC26000575

PROJECT NAME:

## CLAY **ELECTRIC OFFICE DEMOLITION**

Keystone Heights, FL

Clay Electric

PROJECT NO: 20-017 CLIENT'S NO.: ISSUED FOR: 100% CONSTRUCTION

ISSUED DATE: 04 DEC 2020

**DOCUMENTS** 

REVISIONS:

SCALE:

AS SHOWN

SHEET TITLE:

LANDSCAPE DETAILS

SHEET NUMBER: L.002

A. PROVIDE ALL LABOR, EQUIPMENT AND INCIDENTALS REQUIRED TO RENDER ALL SERVICES REQUIRED TO SUCCESSFULLY INSTALL ALL TURF AND LANDSCAPE PROPOSED WITHIN THE PROJECT AREA AS DEFINED ON PLANS.

B. WORK WILL INCLUDE BUT IS NOT LIMITED TO PREPARATION, INSTALLATION, AND MAINTENANCE FOR PROPOSED TURF AND LANDSCAPE

#### 1.2 SUBMITTALS

A. PROVIDE TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ANY PLANTING ACTIVITIES. SUBMITTALS SHALL INCLUDE:

- 1. A COPY OF CURRENT CERTIFICATE AS A CERTIFIED LANDSCAPE CONTRACTOR BY THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION (FNGLA).
- 2. A COPY OF CURRENT PEST CONTROL LICENSE (ROW, ORNAMENTAL AND/OR AQUATIC, IF APPROPRIATE)
- 3. MANUFACTURER'S LABELS OR INFORMATION FOR ANY COMPONENTS INCORPORATED INTO THIS PROJECT, INCLUDING BUT NOT LIMITED TO FERTILIZERS, PESTICIDES, AND STAKING SYSTEMS.
- 4. IF IMPORTED FILL IS REQUIRED TO AUGMENT EXISTING CONDITIONS FOR PLANTING, PROVIDE IMPORTED FILL AS DESCRIBED WITHIN PRODUCTS SECTION. PROVIDE A SOIL ANALYSIS THROUGH THE UNIVERSITY OF FLORIDA EXTENSION SOIL TESTING LABORATORY FOR EACH FILL SOURCE AND INCLUDING INCLUDE A WRITTEN REPORT CONTAINING SOIL-AMENDMENT AND FERTILIZER RECOMMENDATIONS FOR EACH SOURCE.
- 5. SCHEDULE OF VALUES: PRIOR TO THE COMMENCEMENT OF THE WORK, SUBMIT INSTALLED UNIT PRICES FOR ALL PLANT MATERIALS (MULCH SHALL BE INCLUDED IN THE INSTALLED UNIT PRICING) AND SODDING. THE SCHEDULE OF VALUES SHOULD EQUAL THE TOTAL CONTRACT PRICE FOR LANDSCAPE INSTALLATION.
- 6. TYPEWRITTEN INSTRUCTIONS PROVIDING A MAINTENANCE SCHEDULE AND ALL MAINTENANCE OPERATIONS NECESSARY TO MAINTAIN THE PLANTINGS DURING AND FOLLOWING INSTALLATION, AS SPECIFIED BELOW.
- 7. WRITTEN WARRANTIES AS SPECIFIED BELOW.
- 8. RECORD DRAWINGS: FURNISH ONE SET OF RECORD DRAWINGS THAT CLEARLY SHOW ALL CHANGES MADE TO THE ORIGINAL CONTRACT DRAWINGS DURING THE COURSE OF THE WORK. DRAWINGS SHALL BE PROVIDED IN PDF FILE FORMAT AND TO BE FULLY LEGIBLE AND TO SCALE.

#### 1.3 QUALITY CONTROL

- A. ALL WORK SHALL BE PERFORMED BY A FNGLA CERTIFIED LANDSCAPE CONTRACTOR (FCLC) WHO HAS COMPLETED LANDSCAPE WORK SIMILAR IN SCOPE, MATERIAL, DESIGN, AND EXTENT TO THAT AS INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL TREE AND SHRUB ESTABLISHMENT. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN FCLC CERTIFICATION UNDER FNGLA.
- B. PRUNING AND TRIMMING, IF REQUIRED, SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AS CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).
- C. ALL PLANT MATERIAL TO COMPLY WITH 'FLORIDA #1' GRADE QUALITY STANDARD AS DEFINED AND SPECIFIED WITHIN THE LATEST EDITION OF THE 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS' PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS,
- SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.

  D. UNSATISFACTORY OR DEFECTIVE MATERIAL MAY BE REJECTED AT ANY TIME, AND REJECTED MATERIAL SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE.
- E. CONTRACTOR SHALL MAINTAIN AND EXPERIENCED, FULL-TIME SUPERVISOR ON THE PROJECT SITE DURING ALL PLANTING ACTIVITIES.
- F. SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS PROOF OF NON-AVAILABILITY OR EVIDENCE OF 'EQUAL' STATUS IS DEMONSTRATED PRIOR TO ORDERING AND/OR INSTALLATION. CONTRACTOR TO SUBMIT A SUBSTITUTION REQUEST TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ORDERING, DELIVERY, OR INSTALLATION OF MATERIAL. THE SUBSTITUTION REQUEST SHALL IDENTIFY THE ISSUE WITH THE SPECIFIED MATERIAL AND PROPOSE ALTERNATIVE, EQUAL MATERIAL(S). INFORMATION TO BE PROVIDED REGARDING ALTERNATIVE MATERIALS SHALL INCLUDE SCIENTIFIC NAME, COMMON NAME, SIZE, AND SOURCE.
- G. PACKAGE STANDARD PRODUCTS WITH MANUFACTURER'S CERTIFIED ANALYSIS OR ANALYSIS BY RECOGNIZED LABORATORY.

#### 1.4 CONTRACTOR REQUIREMENTS

- A. PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY FOR COMPLETION OF WORK AND MAINTENANCE.
- B. OBTAIN ALL NECESSARY PERMITS, LICENSES, AND NOTIFICATIONS AND PAY FEES NECESSARY FOR COMPLETION OF THE WORK.
- C. COMPLY WITH ALL APPLICABLE CODES.
- D. COORDINATE WITH OTHER TRADES WORKING ON THE PROJECT DURING PLANTING ACTIVITIES.
- E. COORDINATION SHALL OCCUR WITH OTHER CONTRACTORS OR PROJECTS OCCURRING OFF SITE IF NECESSAR'
- F. IDENTIFY AND VERIFY THE LOCATION OF ALL UTILITIES WITHIN PROPOSED PLANTING AREAS. CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF FLORIDA STATUTES PRIOR TO ANY EXCAVATION OR PLANTING ACTIVITIES.
- G. PROVIDE SAFE STORAGE FOR ALL EQUIPMENT AND MATERIALS. STORAGE OF SUCH ITEMS IS AT THE CONTRACTOR'S RISK.
- H. REPAIR, AT NO COST TO THE OWNER, ANY DAMAGE OCCURRING DUE TO CONTRACTOR NEGLIGENCE TO EXISTING UTILITIES, STRUCTURES, FURNISHINGS, HARDSCAPE, LANDSCAPE, OR OTHER ELEMENTS TO REMAIN. ANY DAMAGED WORK SHALL BE REPAIRED AS PER PLANS, OTHER SPECIFICATIONS SECTIONS, OR AS INSTRUCTED BY THE OWNER'S REPRESENTATIVE.
- I. MAINTENANCE DURING INSTALLATION AND UNTIL FINAL ACCEPTANCE.

#### 1.5 WARRANTY

- A. EXISTING LANDSCAPE AND VEGETATION
- 1. ALL EXISTING LANDSCAPE AND TURF TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES.

#### B. NEW PLANTS

- WARRANTY SHRUBS AND GROUNDCOVER FOR A PERIOD OF TWELVE (12) MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION
   AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR THAT WHICH IS A RESULT OF NEGLECT BY
- OWNER, ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTOR'S CONTROL.

  2. REMOVE AND REPLACE ANY LANDSCAPE MATERIAL FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD.

  B. NEW SOD
- 1. WARRANTY ALL GRASS FOR A PERIOD OF SIX (6) MONTHS AFTER SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR THE UNUSUAL PHENOMENA OR INCIDENTS, WHICH ARE BEYOND THE
- CONTRACTOR'S CONTROL.

  2. REMOVE AND REPLACE ALL TURF FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION DURING WARRANTY PERIOD AS DETERMINED
- BY THE LANDSCAPE ARCHITECT.
- C. REPAIR GRADES, LAWN AREAS, PAVING, AND ANY OTHER DAMAGE RESULTING FROM REPLACEMENT PLANTING OPERATIONS, AT NO ADDITIONAL COST TO OWNER.
- D. IF ANY PLANTS ARE REPLACED DURING THE WARRANTY PERIOD, THEN THE REPLACEMENT MATERIAL SHALL ALSO BE WARRANTED FOR THE SAME PERIOD AS LISTED FOR NEW MATERIAL, ABOVE, FROM THE DATE OF REPLACEMENT. ONLY ONE REPLACEMENT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH SPECIFIED REQUIREMENTS.
- E. A FINAL INSPECTION MAY BE MADE AT THE END OF THE WARRANTY PERIOD TO DETERMINE ACCEPTANCE OR REJECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER, IN WRITING, THIRTY (30) DAYS PRIOR TO THE END OF THE WARRANTY PERIOD, AT WHICH TIME THE OWNER HAS THE OPTION TO PERFORM AN END OF WARRANTY INSPECTION. FAILURE TO NOTIFY THE OWNER OF THE END DATE OF THE WARRANTY PERIOD SHALL CAUSE THE WARRANTY PERIOD TO EXTEND UNTIL SUCH TIME AS THE CONTRACTOR GIVES THE OWNER THE REQUIRED 30 DAYS' NOTICE.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

- A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT SITE.
- B. SOD: TIME DELIVERY SO THAT SOD WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOD AGAINST DRYING AND BREAKING OF ROLLED STRIPS.
- C. PLANTS: DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. DO NOT BEND OR BIND-TIE SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OF DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET PLANTS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME. HANDLE PLANT MATERIALS BY ROOTBALL.

#### PART 1 - GENERAL, CON'T

#### 1.7 PROJECT CONDITIONS

- A. COORDINATE AND COOPERATE WITH OTHER TRADES TO ENABLE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- B. IF WEATHER CONDITIONS DETRIMENTAL TO PLANTING ARE ENCOUNTERED OR ANTICIPATED, NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR DURING PERIODS OF OR WITHIN 48 HOURS OF PREDICTED TEMPERATURES LESS THAN 32 F.
- C. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR ANTICIPATED, INCLUDING BUT NOT LIMITED TO LIMESTONE, ROAD BASE, RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OBSTRUCTIONS, OR TOXIC MATERIALS, NOTIFY THE OWNER'S REPRESENTATIVE
- D. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
- E. DETERMINE LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL, 811. PERFORM WORK IN A MANNER THAT AVOIDS POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED.

#### PART 2 - PRODUCTS

#### 24 5111

- A. IF REQUIRED TO AUGMENT EXISTING SOILS FOR LANDSCAPE AND TURF INSTALLATION, PROVIDE NEW, DEEP FILL MATERIAL AS PER USDA STANDARD TEXTURES AND THAT IS TAKEN FROM WELL-DRAINING LOCAL SOURCES WITH SIMILAR SOIL TYPES AS FOUND AT THE PROJECT
- B. FILL TO BE SUITABLE FOR PLANT GROWTH, FRIABLE, AND FREE OF CLAY LUMPS, BRUSH, WEEDS, SEEDS, ROOTS, STUMPS, STONES, ORGANIC MUCK, HARD PAN CLAY, LITTER AND CONSTRUCTION DEBRIS INCLUDING LIMEROCK OR PAVING BASE MATERIAL, ASPHALT, AND CONCRETE, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH
- C. FILL TO BE OF PH 5-6.5.

#### 2.2 MULC

A. MULCH SHALL BE OF A TYPE AS INDICATED IN NOTES, FREE OF BRANCHES, CONES, AND DEBRIS.

#### 2.3 COMMERCIAL FERTILIZER

- A. FERTILIZER TYPE AND APPLICATION TIMING AND METHODS SHALL ADHERE TO THE LOCAL JURISDICTIONAL AGENCY'S REQUIREMENTS.

  B. SHRUBS AND GROUNDCOVERS: UTILIZE A ROOT STARTER OR EQUIVALENT SLOW RELEASE FERTILIZER TO ENCOURAGE ROOT GROWTH.
- APPLY AT MANUFACTURER'S RECOMMENDED RATE. ROOT STARTER SHALL BE A COMPLETE, SLOW RELEASE FERTILIZER WITH ORGANIC NITROGEN AND CONTAIN THE FOLLOWING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS:
  - 1. BETWEEN 5-6% TOTAL NITROGEN (N) CONSISTING OF 3.5-4.5% WATER INSOLUBLE/SLOW RELEASE NITROGEN AND 1.5% WATER SOLUBLE NITROGEN
- 2. BETWEEN 1-2% PHOSPHATE (P2O5)
- 3. BETWEEN 0.5-3% POTASH/POTASSIUM (K)
- B. TURF: PROVIDE FERTILIZER WITH NOT LESS THAN SIXTEEN (16) PERCENT TOTAL NITROGEN, FOUR (4) PERCENT AVAILABLE PHOSPHORIC ACID AND EIGHT (8) PERCENT SOLUBLE POTASH. APPLY AT MANUFACTURER'S RECOMMENDED RATE.

#### 2.4 PLANT MATERIALS

- A. PROVIDE SHRUBS AND GROUNDCOVERS OF SIZE, GENUS, SPECIES, AND VARIETY AS SHOWN IN THE PLANT SCHEDULE FOR LANDSCAPE
- WORK THAT CONFORM TO FLORIDA NO. 1 QUALITY STANDARDS.

  B. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- C. LANDSCAPE MATERIAL SHALL BE CONTAINER GROWN MATERIAL UNLESS OTHERWISE SPECIFIED OR UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.

#### 25 900

- A. PROVIDE SAND-GROWN ONLY, STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES, AND MACHINE CUT TO PAD THICKNESS OF 3/4 INCH (PLUS OR MINUS 1/4 INCH), EXCLUDING TOP GROWTH AND THATCH. PROVIDE
- ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. SOD SHALL BE VIABLE AND NOT DORMANT.

  B. PROVIDE SOD OF UNIFORM PAD SIZES WITH A MAXIMUM 5% DEVIATION IN EITHER LENGTH OR WIDTH. BROKEN PADS OR PADS WITH UNEVEN ENDS WILL NOT BE ACCEPTABLE. SOD PADS INCAPABLE OF SUPPORTING THEIR OWN WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON UPPER 10 PERCENT OF PAD WILL BE REJECTED.
- C. STABILIZING NETTING OR OTHER SYNTHETIC MATERIALS WITHIN SOD SHALL BE PROHIBITED.
- D. SOD TO BE AS LISTED WITHIN THE PLANT SCHEDULE.
- E. REFER TO CIVIL PLANS FOR SOD TYPE AND INSTALLATION METHODS WITHIN STORMWATER FACILITIES.

#### 2.6 WEED PRE-EMERGENT HERBICIDE

A. IF APPROVED BY OWNER, APPLY 'RON STAR G' PRE-EMERGENT HERBICIDE, OR APPROVED EQUAL IN PLANTING AREAS.

#### PART 3 - EXECUTION

#### 3.1 PREPARATION

- A. CONDUCT A PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. DISCUSS PROPOSED ACTIVITIES, REVIEW PROPOSED PLANTING AREAS, AND CONFIRM PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF PROPOSED CONFERENCE.
- B. ENSURE ALL ASPHALT, LIMEROCK, AND OTHER CONSTRUCTION DEBRIS ARE REMOVED FROM AREAS OF PROPOSED PLANTING OR SODDING TO A MINIMUM DEPTH OF THREE FEET PRIOR TO INSTALLATION.
- C. CLEAN EXISTING SOIL OF ROOTS, PLANTS, SODS, STONES, CLAY, LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT
- D. PLANTING DEPTH OF SOIL SHALL BE A MINIMUM OF THREE (3) FEET. IF FILL MUST BE ADDED, IT SHALL CONFORM TO THE REQUIREMENTS
- E. GAIN APPROVAL FROM OWNER PRIOR TO WORK FOR REMOVAL OF EXISTING GRASS, VEGETATION, AND TURF BY METHODS OTHER THAN HAND REMOVAL. IF APPROVED, SPRAY AREAS WITH "ROUND-UP" OR OTHER APPROPRIATE HERBICIDE AND PERFORM ADDITIONAL SPRAY TREATMENTS AS NEEDED TO ENSURE A COMPLETE KILL. REMOVE AND DISPOSE OF RESULTING DEAD VEGETATION AND TURF. DO NOT TURN RESULTING DEAD VEGETATION OR TURF OVER INTO SOIL. REPEAT IF NECESSARY TO REMOVE EXISTING VEGETATION.
- F. FOR TURF AREAS INDICATED FOR RENOVATION, MECHANICALLY CUT OUT AREAS OF FAILING TURF AND CREATE A CLEAN EDGE FOR NEW SOD INSTALLATION.
- G. FINE GRADE PROPOSED PLANTING AND SOD AREAS TO SMOOTH, EVEN SURFACES WITH LOOSE, UNIFORMLY FINE TEXTURE AND FREE OF LUMPS, CLODS, STONES, ROOTS, AND OTHER EXTRANEOUS MATTER. ROLL, RAKE, AND DRAG AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES.
- H. ALLOW FOR SOD THICKNESS IN AREAS TO BE SODDED SUCH THAT INSTALLED SOD MEETS FINISHED GRADES.

#### PART 3 - EXECUTION, CON'T

#### 3.2 TREE BARRIERS AND EXISTING TREE PROTECTION

- A. REFER TO NOTES ON DEMOLITION PLANS OR LANDSCAPE PLANS REGARDING TREE PROTECTION AND TREE PROTECTION BARRIERS.

  B. MINIMIZE IMPACTS ON EXISTING TREE ROOTS AS MUCH AS POSSIBLE. AVOID TREE ROOT PLATE AREAS AS DEFINED BY PERMITTING.
- B. MINIMIZE IMPACTS ON EXISTING TREE ROOTS AS MUCH AS POSSIBLE. AVOID TREE ROOT PLATE AREAS AS DEFINED BY PERMITTING AGENCIES.C. ALL ROOTS OF TREES TO REMAIN THAT ARE IMMEDIATELY ADJACENT TO EXTENSIVE EXCAVATION AND ARE 1" DIAMETER OR OVER SHALL BE
- HAND CUT. EXPOSE ROOTS BY HAND DIGGING, HAND CUT OR SAW CLEANLY, AND IMMEDIATELY COVER WITH SOIL. DO NOT ALLOW CUT ROOTS TO DRY OUT.

  D. SUPPLEMENTAL IRRIGATION IS REQUIRED FOR TREES THAT HAVE UNDERGONE ROOT PRUNING. PROVIDE SUPPLEMENTAL IRRIGATION
- IMMEDIATELY FOLLOWING PRUNING AND CONTINUE THROUGH CONSTRUCTION.

#### 3.3 PLANTING TREES, SHRUBS, AND GROUNDCOVERS

- A. PLANT TREES, SHRUBS, AND GROUNDCOVER AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWNS UNLESS OTHERWISE AUTHORIZED BY LANDSCAPE ARCHITECT. IF PLANTING OF TREES AND SHRUBS OCCURS AFTER INSTALLATION OF LAWNS, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE CAUSED BY LANDSCAPE INSTALLATION.
- B. LAY OUT INDIVIDUAL PLANT LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. TRIANGLE SPACING SHALL BE USED FOR SHRUBS AND GROUNDCOVERS UNLESS OTHERWISE SPECIFIED IN PLANS OR BY LANDSCAPE ARCHITECT. OUTLINE AREAS AND SECURE LANDSCAPE ARCHITECT'S OR OWNER REPRESENTATIVE'S ACCEPTANCE BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUIRED.
- C. EXCAVATE PITS, BEDS, AND TRENCHES SUCH THAT PITS ARE AS DEEP AS THE PLANT'S ROOTBALL AND 1.5 TIMES THE DIAMETER OF THE ROOTBALL. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. SCARIFY SIDES OF PIT.
- D. FILL EXCAVATIONS FOR SHRUBS WITH WATER AND ALLOW WATER TO PERCOLATE OUT PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING IF PITS DO NOT DRAIN PRIOR TO PLANTING.
- E. REMOVE PLANT MATERIAL FROM CONTAINER. LIFT TREES AND SHRUBS BY THE ROOTBALL AND NOT BY THE TRUNK OR MAIN STEM. SET PLANT MATERIAL STOCK IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1-2" ABOVE ADJACENT FINISH LANDSCAPE GRADES.
- F. REMOVE ANY SYNTHETIC OR STRAPPING MATERIAL PRIOR TO SETTING PLANT MATERIAL INTO PLANTING PIT OR TRENCH.
- G. ENSURE PLANT MATERIAL IS PLUMB.
- H. PLACE BACKFILL AROUND BASE AND SIDES OF BALL AND WORK IN EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. ENSURE ROOTBALL REMAINS 1-2" ABOVE ADJACENT FINISH GRADE. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
- I. DISH TOP OF BACKFILL FOR TREES AND PALMS TO ALLOW FOR MULCHING.
- J. ALL PLANT MATERIAL SHALL BE FERTILIZED AT THE TIME OF PLANTING. MIX OR APPLY FERTILIZER JUST INSIDE OF PLANT FOLIAGE/DRIPLINE. DO NOT APPLY FERTILIZER DIRECTLY ON STEMS OR EXPOSED ROOTS OF MATERIAL. MIX SPECIFIED FERTILIZERS WITH EXISTING SOIL AT RATES SPECIFIED BY THE MANUFACTURER. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN

#### THREE (3) DAYS. K. APPLY PRE-EMERGENT HERBICIDE, IF APPROVED BY OWNER, AND AS PER MANUFACTURER'S SPECIFICATIONS.

- L. MULCH PITS, TRENCHES, AND PLANTED AREAS. PROVIDE A THREE (3) INCH THICKNESS OF MULCH AND WORK ONTO TOP OF BACKFILL. THE
- FINISH LEVEL OF MULCH SHOULD MEET ADJACENT FINISH GRADES. MULCH AREAS BETWEEN GROUNDCOVER PLANTS.
- M. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOILS.

  N. GUY AND STAKE TREES AND PALMS IMMEDIATELY AFTER PLANTING AS NEEDED.

#### 3.4 SODDING NEW LAWNS

- A. ENSURE GRADE IS SMOOTH AND EVEN WITH A LOOSE, UNIFORM TEXTURE. ROLL, RAKE AND DRAG PROPOSED LAWN AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES AND PROVIDE AN EVEN SURFACE FOR SOD INSTALLATION.
- B. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.C. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE
- PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.

  D. APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES SPECIFIED AND THOROUGHLY MIX INTO UPPER TWO INCHES OF SOIL IN AREAS OF
- PROPOSED SOD. DELAY APPLICATION OF FERTILIZER IF LAWN PLANTING WILL NOT FOLLOW WITHIN A FEW DAYS.

  E. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS
- TO OFFSET JOINTS IN ADJACENT COURSES. TAP SOD FIRMLY IN PLACE ONCE LAID.

  F. ANCHOR SOD ON SLOPES GREATER THAN 3:1 WITH WOOD PEGS TO PREVENT SLIPPAGE, IF NEEDED.
- G. AVOID DAMAGE TO SUBGRADE OR SOD DUE TO INSTALLATION ACTIVITIES.H. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

#### 3.5 CLEANUP

A. MAINTAIN WORK AREAS IN AN ORDERLY CONDITION. KEEP PAVEMENTS AND ADJACENT SITE AREAS CLEAN. REMOVE ALL POTS, LITTER, TOOLS, EQUIPMENT, AND EXTRANEOUS SOIL, SOD, OR MATERIALS AT THE END OF EACH WORK DAY. STORE MATERIALS AND EQUIPMENT WHERE DIRECTED. DISPOSE OF MATERIALS AS DIRECTED.

#### 3.6 NEW PLANT PROTECTION

- A. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DURING CONSTRUCTION. MAINTAIN PROTECTION DURING INSTALLATION AND THROUGHOUT THE MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.
- B. TREES WHICH ARE TO REMAIN IN THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- C. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP LINE OF EXISTING OR NEWLY PLANTED TREES. REMOVE INTERFERING BRANCHES WITHOUT INJURY TO TRUNKS.

#### 3.7 MAINTENANCE

MAINTENANCE

A. MAINTENANCE ACTIVITIES SHALL INCLUDE THE FOLLOWING ACTIVITIES DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE:

- WEEDING: MAINTAIN PLANTINGS AND TURF AS WEED FREE.
- 2. MULCHING: MAINTAIN MULCH AT TREES, PALMS, AND WITHIN PLANTING BEDS AT A 3" DEPTH.
- 3. PEST CONTROL: SPRAY AS REQUIRED TO KEEP PLANTINGS AND TURF FREE OF INSECTS AND DISEASE.
- 4. MOWING: MOW TURF AREAS AS NEEDED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- 5. REPLACEMENT: REPLACE PLANTS OR SOD AREAS THAT ARE IN POOR CONDITION.

  6. LITTER REMOVAL: REMOVE LITTER AND DEPRIS EDOM LANDSCAPE AND TURE ARE
- 6. LITTER REMOVAL: REMOVE LITTER AND DEBRIS FROM LANDSCAPE AND TURF AREAS.
- RESTORE PLANTING SAUCERS OF TREES AND SHRUBS.
   TIGHTEN AND REPAIR STAKE AND GUY WIRE SUPPORTS, IF PRESENT, AND RESET TREES AND SHRUBS TO PROPER GRADES OF
- VERTICAL POSITION AS REQUIRED.

  9. REMOVE ALL TREE STAKING, IF PRESENT, WITHIN ONE YEAR AFTER PLANTING.

OWNER AND ALL SUBMITTALS HAVE BEEN MADE.

- 3.8 REPLACEMENT OF EXISTING LANDSCAPE DAMAGED DURING PROJECT

  A. ANY EXISTING VEGETATION, INCLUDING TREES AND SHRUBS, DAMAGED OR DESTROYED SHALL BE REPLACED OR MITIGATED BY THE CONTRACTOR WITH LIKE SPECIES OR ANOTHER SPECIES APPROVED BY THE OWNER'S REPRESENTATIVE. ANY AREA OF VEGETATION THAT IS DAMAGED DURING CONSTRUCTION WILL BE RESTORED TO ITS ORIGINAL STATE WITHIN 72 HOURS OF THE COMPLETION OF THE ASSOCIATED CONSTRUCTION WORK.
- B. IF REMOVAL OF AN EXISTING TREE REQUIRES MITIGATION, THE CONTRACTOR SHALL BE HELD LIABLE FOR THE COMPLETE COST, INCLUDING BUT NOT LIMITED TO TREE REPLACEMENT COSTS AND PAYMENTS REQUIRED TO PERMITTING AGENCIES.
- C. TREE REPLACEMENT SPECIES AND PROCEDURES SHALL BE DISCUSSED WITH AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ACTIVITIES.

#### 3.9 INSPECTION AND ACCEPTANCE

- A. WHEN ALL LANDSCAPE WORK IS SUBSTANTIALLY COMPLETE, THE OWNER'S REPRESENTATIVE MAY MAKE A SUBSTANTIAL COMPLETION
- INSPECTION TO DETERMINE ACCEPTABILITY AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.

  B. ONCE ITEMS OUT OF COMPLIANCE WITH DOCUMENTS ARE ADDRESSED, THE OWNER'S REPRESENTATIVE MAY CONDUCT A FINAL COMPLETION INSPECTION. FINAL ACCEPTANCE WILL NOT BE ISSUED UNTIL ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED AND ACCEPTED BY THE
- C. WORK MAY BE INSPECTED FOR ACCEPTANCE IN PORTIONS AS PHASES OF INSTALLATION ARE COMPLETED AND AS AGREEABLE TO THE OWNER'S REPRESENTATIVE, PROVIDED EACH PORTION OF WORK OFFERED FOR INSPECTION IS SUBSTANTIALLY COMPLETE.

--- END OF SECTION ----

MANLEY DESIGN

Landscape Architecture • Site Planning

Manley Design, LLC 224 NW 2nd Avenue, Suite E Gainesville, Florida 32601 (352) 363-7412 Certificate of Authorization No. LC26000575

PROJECT NAME:

# CLAY ELECTRIC OFFICE DEMOLITIO

Keystone Heights, FL

for

Clay Electric

SEAL:

PROJECT NO: 20-017
CLIENT'S NO.:

ISSUED FOR: 100% CONSTRUCTION

**DOCUMENTS** 

ISSUED DATE: 04 DEC 2020 REVISIONS:

AS SHOWN

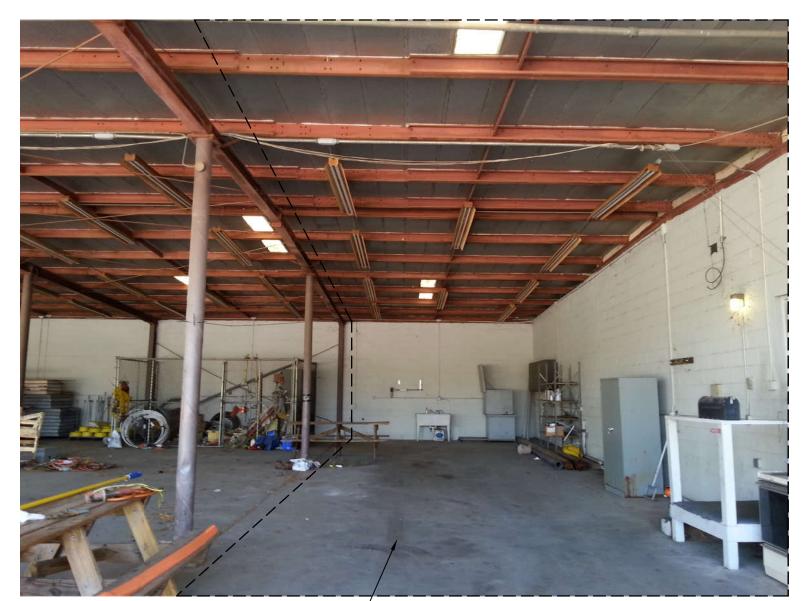
SHEET TITLE:

SCALE:

LANDSCAPE
TECHNICAL
SPECIFICATIONS

SHEET NUMBER:

NUMBI



EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

## **EXISTING PHOTO 1**



FLATTEN OUT DAMAGED EXISTING METAL PANEL AND PROVIDE A NEW BRAKE METAL PANEL THAT COVERS CORNER.

# **EXISTING PHOTO 4**



REPAIR ANY SPALLING OR LOOSE STUCCO (SYTHENTIC FINISH COAT) ON EXISTING MASONRY SCREEN WALL OR EXISTING NORTH WALL OF EXISTING BUILDING THAT IS TO REMAIN WITH MATCHING STUCCO FINISH; PAINT TO MATCH.

EXISTING PHOTO 7



EXISTING STUCCO SCREEN WALL TO REMAIN. REPAIR ANY SPALLING STUCCO AREAS BEFORE PAINTING

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO NEW GRADING (SEE CIVIL



NEW GRADING (SEE CIVIL

EXISTING LIGHT POLE

EXISTING STUCCO SCREEN
WALL TO REMAIN. REPAIR ANY
SPALLING STUCCO AREAS
BEFORE PAINTING

TO REMAIN

REMOVE EXISTING GRASS & LANDSCAPED AREA DOWN TO

REMOVE A PORTION OF THE EXISTING ASPHALT AS SHOWN ON THE CIVIL DWGS

## EXST'G PHOTO 2

- REMOVE THIS SECTION OF SCREEN UP TO CONTROL JOINT



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO CONTROL JOINT.

LANDSCAPING BACK AT DEMOLITION PORTION OF THE BUILDING AND SCREEN WALL. (TYPICAL UNLESS DENOTED OTHERWISE)

REMOVE SHRUBS ALONG DEMOLISHED BUILDING AND OTHER LANDSCAPING AT SOUTHSIDE MULCHED AREA OF EXISTING ENTRY WALK THAT IS TO BE DEMOLISHED

UP TO EXISTING BUILDING ENTRY AND PREP FOR NEW

"CUSTOMER PARKING" SIGNAGE TO BE

DEMOLISH EXISTING DOCK

ON THE CIVIL DWGS

DEMOLISH EXISTING OFFICE BUILDING & THE FIRST BAY

# **EXISTING PHOTO 5**



EXISTING EAST BAY AREA TO BE CAREFULLY REMOVED DURING DEMOLITION (SEE DEMOLITION PLAN)

# **EXISTING PHOTO 8**

# **EXISTING PHOTO 9**

# **EXISTING PHOTO 3**

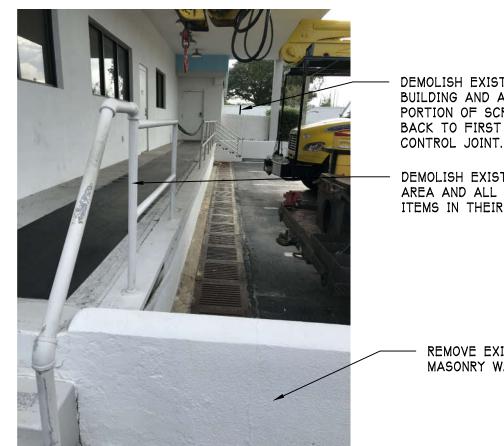


EXISTING TREES BEYOND TO REMAIN

REMOVE SHRUBS AND

REMAIN. TIE IN NEW SOD AND LANDSCAPING WHERE EXISTING BUILDING AND LANDSCAPED WERE

# **EXISTING PHOTO 6**



DEMOLISH EXISTING OFFICE BUILDING AND A SMALL PORTION OF SCREEN WALL BACK TO FIRST STUCCO

DEMOLISH EXISTING DOCK AREA AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY

REMOVE EXISTING LOW MASONRY WALL

> NOTE:
> PHOTOS ARE FOR REFERENCE AND PROVIDE
> ADDITIONAL INFORMATION. SEE DEMOLITION
> PLAN ON SHEET D1.1 FOR MORE INFORMATION AND APPROX LOCATION PHOTO WAS TAKEN.

100% Construction Documents

CORP. LIC. NO. AA0002304

EXISTING PHOTOS SHOWING DEMO

CAD 3702151\10 Cad\ CD\

ClayKSdemo-D1-demo

3702.151-20

