

DISTRICT OFFICE RENOVATION/REMODELING: OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

SCHOOL DISTRICT OF CLAY COUNTY

SDCC PROJECT No. C-30-19/20



DAVID BROSKIE * SUPERINTENDENT OF SCHOOLS

JANICE KEREKES

DISTRICT 1 BOARD MEMBER

CAROL STUDDARD

DISTRICT 2 BOARD MEMBER

TINA BULLOCK

DISTRICT 3 BOARD MEMBER

MARY BOLLA

DISTRICT 4 BOARD MEMBER

ASHLEY GILHOUSEN

DISTRICT 5 BOARD MEMBER

BID ISSUE

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REVISIONS		
NO.	DATE	COMMENT

JOB NO. 191003
DATE 5-9-2020
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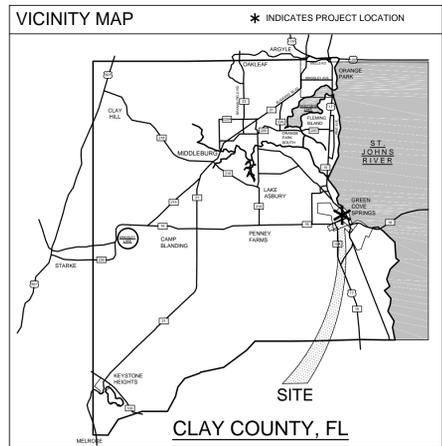
GENERAL NOTES AND INSTRUCTIONS

- THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED.
- DRAWINGS AND NOTES ARE NOT EXHAUSTIVE AND ALL WORK SHALL ADHERE TO THE APPLICABLE CODES AND STANDARDS WHETHER OR NOT IT IS SHOWN ON THE DRAWINGS. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, HOWEVER THE ARCHITECT CANNOT GUARANTEE PERFECTION. FAILURE TO NOTIFY THE ARCHITECT OF DISCREPANCIES AND CHANGES WITHOUT THE WRITTEN CONSENT OF THE DESIGN TEAM RELIEVES THE ARCHITECT OF THE RESPONSIBILITY FOR CHANGES FROM SUCH CHANGES OR DISCREPANCIES. MINOR DETAILS OR MEANS AND METHODS NOT USUALLY SHOWN OR SPECIFIED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK ARE INCORPORATED INTO THE CONTRACT DOCUMENTS AS IF THEY WERE SHOWN.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS OR FROM WRITTEN RECOMMENDATIONS. CHANGES TO THE PLANS BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE OWNER AND/OR CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, FOR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OR EXPOSURE OF PEOPLE TO HAZARDOUS MATERIALS IN ANY FORM INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES. NO ASBESTOS CONTAINING PRODUCTS ARE TO BE INSTALLED IN THE PROJECT.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ALL OTHER WORK REQUIRED TO MAKE THE BUILDING OCCUPABLE, OPERATIVE AND IN AGREEMENT WITH THE DESIGN INTENT DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF SUBCONTRACTORS, INSPECTIONS, TRADES AND THE MAINTENANCE OF THE PROJECT SCHEDULE.
- NOTIFY THE ARCHITECT IF THE PROPOSED USE IS NOT IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. NOTIFY THE ARCHITECT WITH ANY NECESSARY DOCUMENTATION INCLUDING ZONING, SETBACKS, ENVIRONMENTAL REGULATIONS, OR ANY SIMILAR CONSTRAINTS WHICH MAY AFFECT THE PROJECT. HOWEVER, IN NO CASE SHALL ANY PART OF THE DWELLING OR ANY OTHER STRUCTURE BE LOCATION WITHIN 3'-0" OF A PROPERTY LINE WITHOUT APPROVAL OF THE ARCHITECT.
- INCLUDED ENGINEERS' DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL IN REGARDS TO CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEERING CONTENT. HOWEVER CONFLICTS ARE TO BE RESOLVED BY THE ARCHITECT AFTER WRITTEN NOTIFICATION BY THE CONTRACTOR AND IN CONSIDERATION OF THE RELEVANT ARCHITECTURAL DETAILS.
- WHEN NOT PROVIDED IN THE CONTRACT DOCUMENTS, THE DESIGN OF HEATING, VENTILATION AND AIR CONDITIONING, PLUMBING, GAS AND ELECTRICAL SYSTEMS ARE TO BE PROVIDED BY THE CONTRACTOR, INCLUDING THE PREPARATION OF REQUIRED DRAWINGS AND WITH THE ARCHITECTURAL DRAWINGS. THE ARCHITECTURAL DRAWINGS SHOW THE GENERAL ARRANGEMENT, EXTENT AND INTENT OF THE WORK.
- INSTALL ALL WORK PLUMB, TRUE, LEVEL AND WITH GOOD WORKMANSHIP. THE ARCHITECT RESERVES THE RIGHT TO REJECT INFERIOR WORK. INFERIOR WORK SHALL BE REPLACED AS DIRECTED WITHOUT ADDITIONAL COST TO THE OWNER.
- INSTALL ALL MATERIALS, PRODUCTS AND EQUIPMENT TO THE MANUFACTURERS' INSTRUCTIONS, RECOMMENDATIONS AND THE STANDARD OF RECOGNIZED AGENCIES AND ASSOCIATIONS. PROVIDE ADEQUATE BLOCKING/SUPPORT FOR ALL EQUIPMENT, CABINETS, ETC. PROVIDE ALL ANCHORS, FASTENERS AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALLOW FOR THERMAL EXPANSION, CONTRACTION AND BUILDING MOVEMENT. SEPARATE INCOMPATIBLE MATERIALS WITH SUITABLE MATERIALS OR SPACING. PREVENT CORROSION. PROTECT BETWEEN MATERIALS/STRUCTURES AS INDICATED AND AS REQUIRED BY THE MANUFACTURER OR RECOGNIZED INDUSTRY STANDARDS. INSTALL PRODUCTS UNDER APPROPRIATE ENVIRONMENTAL CONDITIONS (AIR TEMPERATURE, SURFACE TEMPERATURE, RELATIVE HUMIDITY, ETC.) TO ENSURE QUALITY AND DURABILITY. MAINTAIN PROPER PROTECTION DURING DRYING/CURING.
- WHERE SIZE, CAPACITY, MODEL, STYLE OR OTHER PERTINENT INFORMATION IS NOT SHOWN, FURNISH WORK IN THE FASHION THAT WILL MEET THE APPLICABLE CODES. RESULT IN AN OPERABLE BUILDING MEETING THE DESIGN INTENT AND OBTAIN THE ARCHITECT'S WRITTEN APPROVAL PRIOR TO PROCEEDING. WHERE THE COMPLETE SIZES OR DIMENSIONS OF MEMBERS, CONNECTIONS OR FASTENERS OF ANY ITEM ARE NOT INDICATED, DESIGN THE ITEM TO PRODUCE THE STRENGTH APPROPRIATE TO THE USE INTENDED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS RELIED UPON FOR THE INSTALLATION OF SHOP-FABRICATED OR OTHER FIELD-INSTALLED MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CONSTRUCTION WASTE RECYCLING PROGRAM FOR WOOD, METALS AND CARDBOARD IN ADDITION TO REMOVING ALL RUBBISH AND DEBRIS AND KEEPING A CLEAN SITE. THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH AND PROFESSIONAL CLEANING PRIOR TO OWNER OCCUPANCY AND COORDINATION OF A FINAL PUNCH LIST PROCESS.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH FULL WARRANTY INFORMATION ON ALL PRODUCTS AND EQUIPMENT, AS WELL AS MAINTENANCE AND OPERATION MANUALS INCLUDING MANUFACTURERS' INSTRUCTIONS AND OTHER RELEVANT MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CONTINUOUS MAINTENANCE OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM DAMAGE OR LOSS BY DUST, DIRT, WATER, THEFT, FIRE OR ANY OTHER PHYSICAL DAMAGE IN CONNECTION WITH THE CONSTRUCTION CONTRACT.
- DIMENSIONS SHALL GOVERN. DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED ON THE SITE BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE PORTION OF THE WORK IN QUESTION. CONTRACTOR SHALL HAVE ALL DIMENSIONS FIELD VERIFIED PRIOR TO ORDERING MATERIALS.
- CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE DRAWINGS. ALL DOORS ARE LOCATED BY THE FLOOR PLAN DIMENSIONS AND/OR JAMB DETAIL RELATIVE TO THE ADJACENT WALLS AND PARTITIONS. DOORS AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM THE FACE OF THE ADJACENT WALL OR CENTERED BETWEEN THE WALLS, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL WALLS AND PARTITIONS ARE DIMENSIONED TO THE FACE OF THE STUD OR FACE OF THE BLOCK. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. WHERE SPECIFIC DIMENSIONS, DETAILS AND DESIGN INTENT CANNOT BE DETERMINED, NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION.

- FOR STRUCTURAL WORK THE CONTRACTOR SHALL REVIEW ALL STRUCTURAL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO THE CONSTRUCTION. CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS OR IN CONFLICT WITH THE CODES. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER, ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. PROVIDE ADEQUATE TIME (10 WORKING DAYS MINIMUM) TO REVIEW PROPOSED CHANGES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. ALL STRUCTURAL SYSTEMS SUCH AS WOOD PRESSED-PLATE TRUSSES WHICH HAVE COMPONENTS TO BE FIELD-ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH THE SUPPLIER'S PRINTED INSTRUCTIONS. CONTRACTOR TO COORDINATE STRUCTURAL FRAMING WITH ELECTRICAL, PLUMBING AND MECHANICAL WORK. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS AND THE COORDINATION OF ALL SYSTEMS AND TRADES. CONTRACTOR TO NOTIFY ARCHITECT AND ENGINEER FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WINDOW AND DOOR SIZES AND DIMENSIONS ARE NOMINAL AND THE CONTRACTOR OR SUBCONTRACTOR/INSTALLER IS CHARGED WITH PROVIDING THE CORRECT ROUGH OPENING AS REQUIRED FOR THE CORRECT INSTALLATION OF THE PRODUCT.
- THROUGHOUT THE PLANS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.
- TYPICAL WALL SECTIONS, FINISHES AND DETAILS ARE NOT DUPLICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERY PLACE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL CONSULT THE COMPLETE SET OF PLANS FOR COORDINATION OF WORK. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- EACH SUBCONTRACTOR SHALL VISIT THE SITE AND BECOME KNOWLEDGEABLE OF CONDITIONS THEREIN. EACH TRADE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL THEIR REQUIREMENTS IN THE PROJECT AND SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY CONDITIONS REQUIRING INFORMATION BEFORE PROCEEDING WITH THEIR WORK. THE SUBCONTRACTORS SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS AND REPAIR OR REPLACE ELEMENTS DAMAGED DURING THE PROJECT.
- UNLESS NOTED OTHERWISE, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES. FASTENER SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS AND FBC TABLE 2304.9.1. ALL FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER IN ACCORDANCE WITH FRC R317.3.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER BY GASKETS OR COATINGS OR BOTH TO AVOID GALVANIC CORROSION ACTION.
- ALL WOOD EXPOSED TO THE WEATHER SUCH AS DECKS, RAILINGS, JOISTS, BEAMS AND POSTS SHALL BE PRESSURE-TREATED. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- EXPOSED SEALANTS SHALL BE CONSTRUCTED WITH A BOND BREAKER OR BACKER ROD. UNLESS NOTED OTHERWISE ALL EXTERIOR JOINTS SHALL BE SEALED WITH DOW CORNING 795 SILICONE SEALANT. HIDDEN SEALANT JOINTS NOT EXPOSED TO THE EXTERIOR SHALL BE BUTYL SEALANT.
- PROVIDE BLOCKING AT ALL EXTERIOR WALL PENETRATIONS (HOSE BIBS, ELECTRICAL RECEPTACLES, FIXTURES, ETC.). PROVIDE A HEAD FLASHING OVER THE BLOCKING AT PENETRATIONS OVER 9" IN LENGTH.
- PROVIDE BLOCKING FOR ALL CASEWORK, TOILET ACCESSORIES AND OTHER ELEMENTS MOUNTED TO OR BRACED AGAINST THE WALLS PRIOR TO INSTALLING WALL BOARD.

INDEX OF DRAWINGS

A0.1	COVER
A0.2	CODE SUMMARY, NOTES, INDEX OF DRAWINGS
A1.1	LIFE SAFETY PLAN - OVERALL FIRST FLOOR
A2.1	DEMOLITION PLAN - FIRST FLOOR - OVERALL
A2.2	DEMOLITION PLAN - FIRST FLOOR - WEST
A3.1	FLOOR PLAN - OVERALL
A3.2	FLOOR PLAN - WEST
A3.3	FLOOR PLAN - SOUTH
A4.1	REFLECTED CEILING PLAN
A7.1	SCHEDULES & INTERIOR ELEVATIONS
A9.1	SECTIONS AND DETAILS
E1.1	ELECTRICAL PLAN - OVERALL
E1.2	ELECTRICAL POWER PLAN - WEST
E1.3	ENLARGED ELECTRICAL PLANS



FLORIDA BUILDING CODE SUMMARY

FLORIDA BUILDING CODES 2017 (6th Ed)
 OCCUPANCY USE NARRATIVE: THIS IS AN EXISTING PUBLIC EDUCATION ANCILLARY PLANT/FACILITY USED FOR ADMINISTRATIVE PURPOSES.

FBC, BUILDING (EXISTING CONSTRUCTION)

CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS	
301.1.1 COMPLIANCE METHOD	PRESCRIPTIVE
CHAPTER 4 - PRESCRIPTIVE COMPLIANCE METHOD	
403 ALTERATIONS	SHALL COMPLY WITH NEW BUILDING CODE
CHAPTER 5 - CLASSIFICATION OF WORK	
504 ALTERATIONS - LEVEL 2	RECONFIG SPACE, ADDITION/DELETION OF DOORS OR WINDOWS
CHAPTER 7 - ALTERATIONS - LEVEL 1	NOTHING APPLICABLE TO THIS PROJECT
CHAPTER 8 - ALTERATIONS - LEVEL 2	
801.2 LEVEL 1 COMPLIANCE	INCLUDE CHAPTER 7 ITEMS

FBC, BUILDING (NEW CONSTRUCTION)

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION	
304.1 BUSINESS - GROUP B	OFFICES IN ANCILLARY PLANT/FACILITY
CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS (SREF)	
453.3.2 OWNER REVIEW	EXEMPT FROM LOCAL COUNTY PERMITTING, REVIEW & INSPECTION NOT A REUSE PROJECT
453.3.8 REUSE	NOT IN A FLOOD HAZARD AREA
453.4.2 FLOOD-RESISTANT CONSTRUCT	> 50 OCCUPANTS
453.5.1 ASSEMBLY DEFINITION	SAFEGUARDS WILL BE FOLLOWED
453.6.1 OCCUPANCY DURING CONSTRUCT	PROVIDED
453.7.1 SEPARATE EXITS	EXISTING, ADJACENT TO EXITS
453.7.3 FIRE EXTINGUISHERS	EXISTING
453.7.4 FIRE ALARM	EXISTING; PULL STNS ADJACENT TO EXITS
453.7.5 FIRE ALARM SENDING STNS	NOT REQUIRED
453.7.6 AUTO SHUT-OFF	EXISTING; DETECTORS PROVIDED
453.7.7 UNOCCUP & CONCEALED SPACES	USE APPLICABLE OCCUPANCY IN CHAPTER 3
453.8.1.3 ANCILLARY FACILITY	REMODELING SHALL BRING INTO COMPLIANCE
453.8.4 REMODELING/RENOVATION	NONE SPECIFIED
453.8.6 ASBESTOS PROHIBITED	GUIDELINES FOLLOWED
453.8.8.5 CRIME PREVENTION	EXISTING
453.10.1 FENCING	EXISTING
453.10.2.1 COVERED WALKS	EXISTING
453.10.3.3 SITE LIGHTING	EXISTING
453.13.6 HARDWARE	PANIC BAR (EXIT DEVICES) PROVIDED
453.13.7.1 GLAZING	TEMPERED PROVIDED IN ALL DOORS AND LOWER WINDOWS
453.13.8.1 NATURAL LIGHT & VENTILATION	EXEMPT DUE TO SPACE PURPOSE

CHAPTER 5 - BUILDING HEIGHT AND AREA	
T503 ALLOWABLE BUILDING AREA (% TOTAL FOR EACH AREA):	
GROUPS	B STORIES
ALLOWABLE SF	15,030 2
PROVIDED SF	13,663 2
*INCLUDES FRONTAGE INCREASE PER 506.3 (572/621=0.92-0.25=0.67)	
W/W=0, SINCE 30' PROVIDED ON SEVERAL SIDES, AREA INCREASE = 6,030	

CHAPTER 6 - TYPE OF CONSTRUCTION	
T601 CONSTRUCTION TYPE	V-B (NON-SPRINKLERED) (WORST CASE)

CHAPTER 7 - FIRE RESISTANT RATED CONSTRUCTION

706 FIRE WALLS	NONE REQUIRED
707 FIRE BARRIERS	NONE REQUIRED
708 FIRE PARTITIONS	NONE REQUIRED
709 SMOKE BARRIERS	NONE REQUIRED
710 SMOKE PARTITIONS	NONE REQUIRED
711 FLOOR & ROOF ASSEMBLIES	NONE REQUIRED
712 VERTICAL OPENINGS	NOT APPLICABLE
713 SHAFT ENCLOSURES	NOT APPLICABLE
714 PENETRATIONS	NOT APPLICABLE
715 JOINT SYSTEMS	NOT APPLICABLE
716 OPENING PROTECTIVES	NOT APPLICABLE
717 DUCTS & AIR XFER OPENINGS	NOT APPLICABLE
718 CONCEALED SPACES	NOT APPLICABLE

CHAPTER 8 - INTERIOR FINISHES

T803.11 INTERIOR EXIT PASSAGEWAYS	CLASS A MIN
CORRIDORS	CLASS A MIN
ROOMS	CLASS C MIN

CHAPTER 9 - FIRE PROTECTION SYSTEMS	
903.2.1.3 GROUP B	NO SPRINKLER SYSTEM REQUIRED

CHAPTER 10 - MEANS OF EGRESS

T1004.1.2 OCCUPANT LOAD (BUSINESS)	
FIRST FLOOR	11,098 SF / 100 SF/OCC = 111 OCCUPANTS
SECOND FLOOR	2,565 SF / 100 SF/OCC = 26 OCCUPANTS
TOTAL OCCUPANT LOAD	137 OCCUPANTS
1005.1 EGRESS WIDTH	0.02"/OCC (SEE 1017.2, MIN. WIDTH TO BE 36")
T1006.2.1 NUMBER OF EXITS	2 REQUIRED (OL > 49)
COMMON TRAVEL DISTANCE	75 FT MAX (OL > 30)
1008.1 EGRESS ILLUMINATION	PROVIDED
1010.1.9.3 PANIC HARDWARE	NOT REQUIRED (EXC 2: GROUP A, < 300 OCC)
1010.1.9.3 SIGN REQUIRED	"DOOR TO REMAIN UNLOCKED" SIGNAGE REQUIRED
1011 STAIRWAYS	NOT APPLICABLE
1012 RAMPS	NOT APPLICABLE
1013 EXIT SIGNS	WILL PROVIDED AS REQUIRED
1016.2.2 EGRESS THRU INTERV. SPACES	ALLOWED
T1017.2 EXIT TRAVEL DISTANCE	200 FT MAX
T1020.1 CORRIDOR RATING	NOT REQUIRED (NOT SERVED BY OL > 30)
T1020.2 MIN CORRIDOR WIDTH	36 INCHES (OCCUP LOAD < 50)
1020.4 DEAD END CORRIDORS	NONE (20 FT MAX)
1024 LUMINOUS PATHWAY	NOT REQUIRED
1028 ASSEMBLY EGRESS	NOT REQUIRED (NO ASSEMBLY SPACES)
1029 EMERGENCY ESCAPE	NOT APPLICABLE

CHAPTER 11 - ACCESSIBILITY SEE THE ACCESSIBILITY CODE SUMMARY BELOW

CHAPTER 12 - INTERIOR ENVIRONMENT

VENTILATION:	MECHANICAL
ATTIC	NONE

CHAPTER 16 - STRUCTURAL SEE WIND DESIGN DATA ON THIS SHEET

FLORIDA BUILDING CODE, PLUMBING

FLORIDA PLUMBING CODE 2017 (6th Ed)	
CHAPTER 4 - FIXTURES, FAUCETS AND FIXTURE FITTINGS	
403.1 MIN NO. OF FIXTURES - BUSINESS OCCUPANCY	
BUSINESS	137 69 69
T403.1 W/C	1/25 FOR 1ST 50, THEN 1/50
LAVS	1/40 FOR 1ST 80, THEN 1/80
FOUNTAINS	1/100
SERVICE SINKS	1
	REQUIRED PROVIDED
	W/C LAVS FOUNT SVC SINKS W/C LAVS FOUNT SVC SINKS
MEN	2 2 3 3
WOMEN	2 2 3 3
UNISEX	1 1 1 1
TOTALS	4 4 2 1 7 7 1 1
403.2 SEPARATE FACILITIES	REQUIRED
403.2.1 FAMILY (UNI-SEX) ALLOWED	UNISEX ALLOWED IN LIEU OF SEPARATE FACILITIES
403.4.1 DIRECTIONAL SIGNAGE	REQUIRED AT ENTRY

ACCESSIBILITY CODE SUMMARY

FLORIDA ACCESSIBILITY CODE 2017 (6th Ed)	
CHAPTER 2 - SCOPING REQUIREMENTS	
201.1 VERTICAL ACCESSIBILITY	N/A
203.9 EMPLOYEE WORK AREAS	ACCESS FOR APPROACH, ENTRY & EXIT
206 ACCESSIBLE ROUTES	AN ACCESSIBLE ROUTE IS PROVIDED
207 ACCESSIBLE EGRESS	ACCESSIBLE EGRESS IS PROVIDED
208 ACCESSIBLE PARKING	PROVIDED
209 PASSENGER LOADING	N/A
210 STAIRWAYS	N/A
211 DRINKING FOUNTAINS	HILO PROVIDED
212 KITCHENS AND SINKS	ACCESSIBLE RESTROOMS PROVIDED
213.2 TOILET AND BATHING ROOMS	SIGNS SHALL BE PROVIDED WHERE REQD
216 SIGNS	N/A
217 TELEPHONES	36" MAX HT, SIDE APPROACH PROVIDED
226.1 WORK SURFACES	
CHAPTER 3 - BUILDING BLOCKS	
303 CHANGES IN LEVEL	ACCESSIBLE ROUTE MEETS CODE
CHAPTER 4 - ACCESSIBLE ROUTES	
404 DOORS	ALL ON ACCESSIBLE ROUTE MEET CODE
CHAPTER 7 - COMMUNICATION ELEMENTS AND FEATURES	
703 SIGNS	WHERE REQUIRED, SIGNS SHALL COMPLY

FLORIDA FIRE PREVENTION CODE SUMMARY

FLORIDA FIRE PREVENTION CODE, 2017 (6TH EDITION)
 *1:" SIGNIFIES NFPA 1 & "101:" SIGNIFIES NFPA 101, AS AMENDED BY FLORIDA

1:CHAPTER 6 - CLASSIFICATION OF OCCUPANCY (NOTE: 101, CHAPTER 6 IDENTICAL AS BELOW)
 6.1.2 CLASSIF. OF OCCUPANCY BUSINESS

1:CHAPTER 20.13 - BUSINESS	
20.13.3.2.1 EXITS & EXIT CORRIDORS	WALL & CLG: CLASS A OR B
20.13.3.2.2 WALL & CLG: CLASS B OR C	WALL & CLG: CLASS B OR C
20.13.3.3.2 EXITS & EXIT CORRIDORS	FLOORING: CLASS I OR II
20.13.3.3.3 ALL OTHER SPACES	PER 12.5.8.2: RADIANT FLUX MIN 0.1 WCM ²

101:CHAPTER 7 - MEANS OF EGRESS	
7.2.1.3.5 EXISTING FLOOR LEVEL	PERMITTED TO BE 8" BELOW INT FLOOR LEVEL
7.3.1.2 SEE FBC BUILDING CODE SUMMARY - CHAPTER 10	
7.3.4.1(2) MIN. EXIT WIDTH	36"
7.4.1.1 MIN. NO OF EXITS	2 (< 500 OL)
7.5.1.3.5 EXIST DIAGONAL SEPARATION	EXISTING EXEMPT AS LONG AS REMOTE FROM EACH OTHER
7.8.1.2 EXIT ILLUMINATION	REQUIRED DURING TIMES OF OCCUP.

101:CHAPTER 13 - EXISTING ASSEMBLY OCCUPANCIES	
13.1.5 CLASS OF HAZARD	ORDINARY AND LOW
13.1.7 OCCUPANT LOAD	SEE TT 3.1.2 ABOVE
13.2.2.3 DOORS	ALL EXISTING EXIT DOORS FROM ASSEMBLY SPACES HAVE EXISTING OR NEW PANIC HARDWARE IN COMPLIANCE WITH THIS SECTION

13.2.4.2 NUMBER OF EXITS	< 600 OL, 2 EXITS PERMITTED
13.2.5.1.2 COMMON PATH OF TRAVEL	20 FT FOR ANY OL, 75 FT FOR < 50 OL
13.2.5.1.3 DEAD-END CORRIDORS	20 FT MAX (NONE)
13.2.6.2(1) TRAVEL DISTANCE	250 FT MAX (WITH FIRE SPRINKLER SYSTEM)
13.2.8 ILLUMINATION OF EGRESS	PROVIDED
13.2.9 EMERGENCY LIGHTING	PROVIDED
13.2.10 EXIT MARKINGS	PROVIDED
13.3.3.2 CORRIDOR & STAIR FINISHES	CLASS A OR B
13.3.3.3 ASSEMBLY AREA FINISHES	CLASS A, B OR C (< 300 OL)
13.3.3.5 FLOOR FINISHES	NO REQUIREMENTS
13.3.4.1.1 FIRE ALARM	EXISTING FIRE ALARM SYSTEM (< 300 OL)
13.3.5 EXTINGUISHMENT	PORTABLE EXTINGUISHERS PROVIDED

REMAINING CHAPTER 13 SECTIONS DO NOT APPLY (MORE FOR THEATERS, CONVENTION HALLS, ETC)

101:CHAPTER 43 - BUILDING REHABILITATION	
43.1.3.2 CLASSIFICATION OF WORK	EACH AREA SHALL BE CLASSIFIED INDEPENDENTLY
43.1.3.3 REPAIRS	WORK SHALL BE DONE USING LIKE MATERIALS
43.4.3 INT FINISH REQUIREMENTS	NEW INTERIOR FINISHES SHALL MEET REGS FOR NEW CONSTRUCTION
43.6.1.1(2) STAIR RECONSTRUCTION	SHALL BE PERMITTED TO COMPLY WITH 7.2.2.1.1.(3)



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A0.2

THIS DRAWING IS INTENDED TO BE PRINTED AT 24" X 36"

2017 FLORIDA BUILDING CODE, ACCESSIBILITY CODE (6TH ED)

ACCESSIBLE ROUTE:

- ACCESSIBLE ROUTE TO COMPLY WITH 206 AND 402.
- ACCESSIBLE MEANS OF EGRESS TO COMPLY WITH 207.
- PARKING SPACES TO COMPLY WITH 208 AND 502.
- WALK SURFACES TO COMPLY WITH 403.

ACCESSIBLE DOORS AND DOORWAYS:

- DOORS AND DOORWAYS TO COMPLY WITH 404.
- THRESHOLDS TO COMPLY WITH 404.2.5.
- DOOR HARDWARE TO COMPLY WITH 404.2.7.

ACCESSIBLE TOILET FACILITIES:

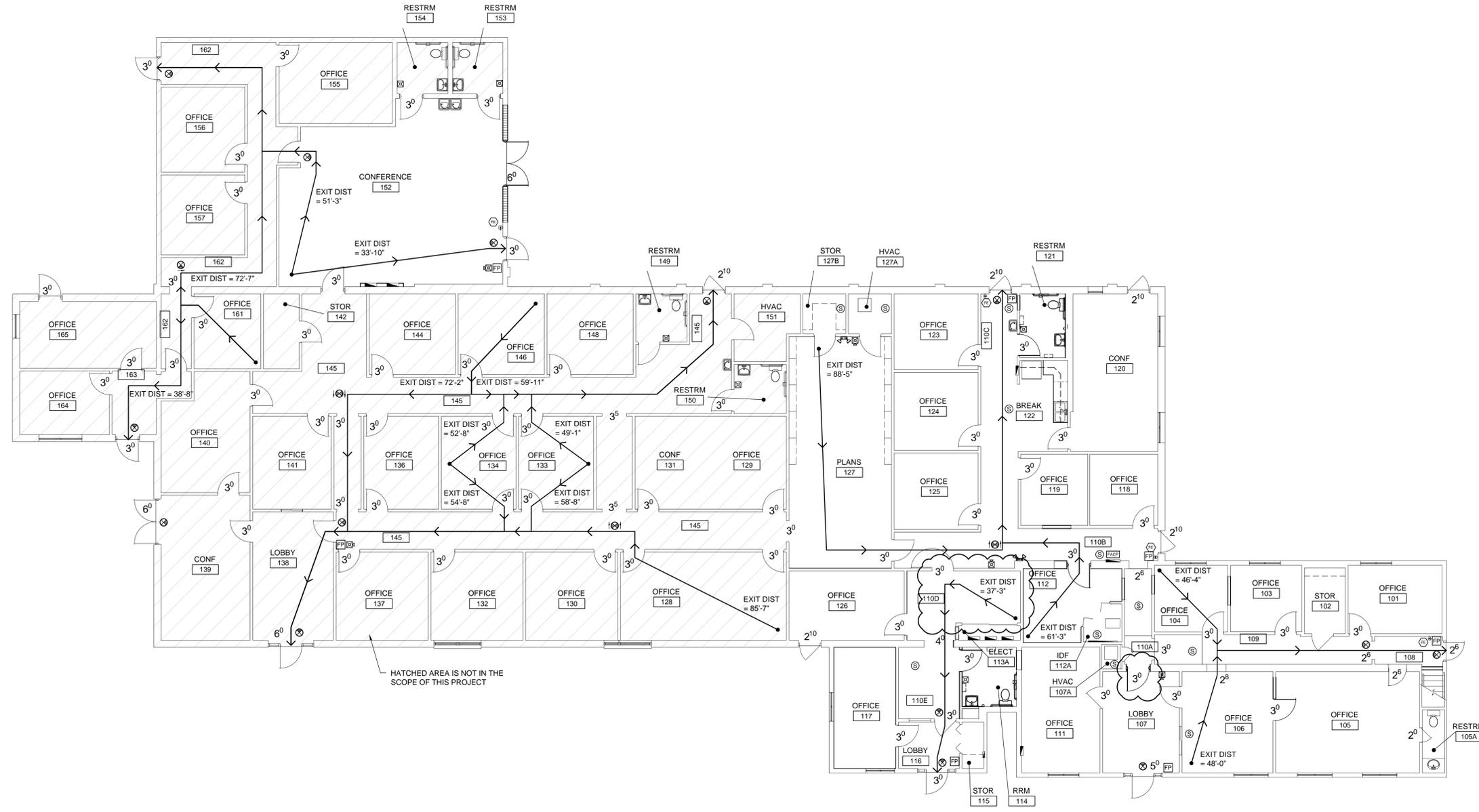
- ACCESSIBLE TOILET FACILITIES TO COMPLY WITH 213 AND CHAPTER 6.
- DRINKING FOUNTAINS TO COMPLY WITH 602.
- TOILET ROOMS TO COMPLY WITH 603.

ACCESSIBLE KITCHENS:

- ACCESSIBLE KITCHENS TO COMPLY WITH 212, 606, AND 804.

SIGNAGE:

- DIRECTIONAL AND INFORMATION SIGNAGE TO COMPLY WITH 216.



SYMBOLS	
[Symbol]	1-HR RATED WALL
[Symbol]	LONGEST EXIT PATH
[Symbol]	FIRE EXTINGUISHER
[Symbol]	FE-1 5-lb. (3A-40BC)
[Symbol]	FE-2 10-lb. (4A-80BC)
[Symbol]	FE-3 20-lb. (20A-120BC)
[Symbol]	FE-4 15-lb. (CLASS K)
[Symbol]	COMBINATION EXIT SIGN AND EMERGENCY LIGHTING
[Symbol]	EMERGENCY LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	HEAT DETECTOR
[Symbol]	FIRE PULL
[Symbol]	HORN/VOICE EVACUATION
[Symbol]	STROBE
[Symbol]	STROBE/HORN, VOICE EVACUATION
[Symbol]	FIRE ALARM CONTROL PANEL
[Symbol]	FIRE ALARM ANNUNCIATOR PANEL
[Symbol]	FIRE SUPPRESSION FLOW SWITCH
[Symbol]	FIRE SUPPRESSION TAMPER SWITCH



DISTRICT OFFICE RENOVATION/REMODELING:

OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST., GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO.	DATE	COMMENT
1	5-27-20	ADD 1

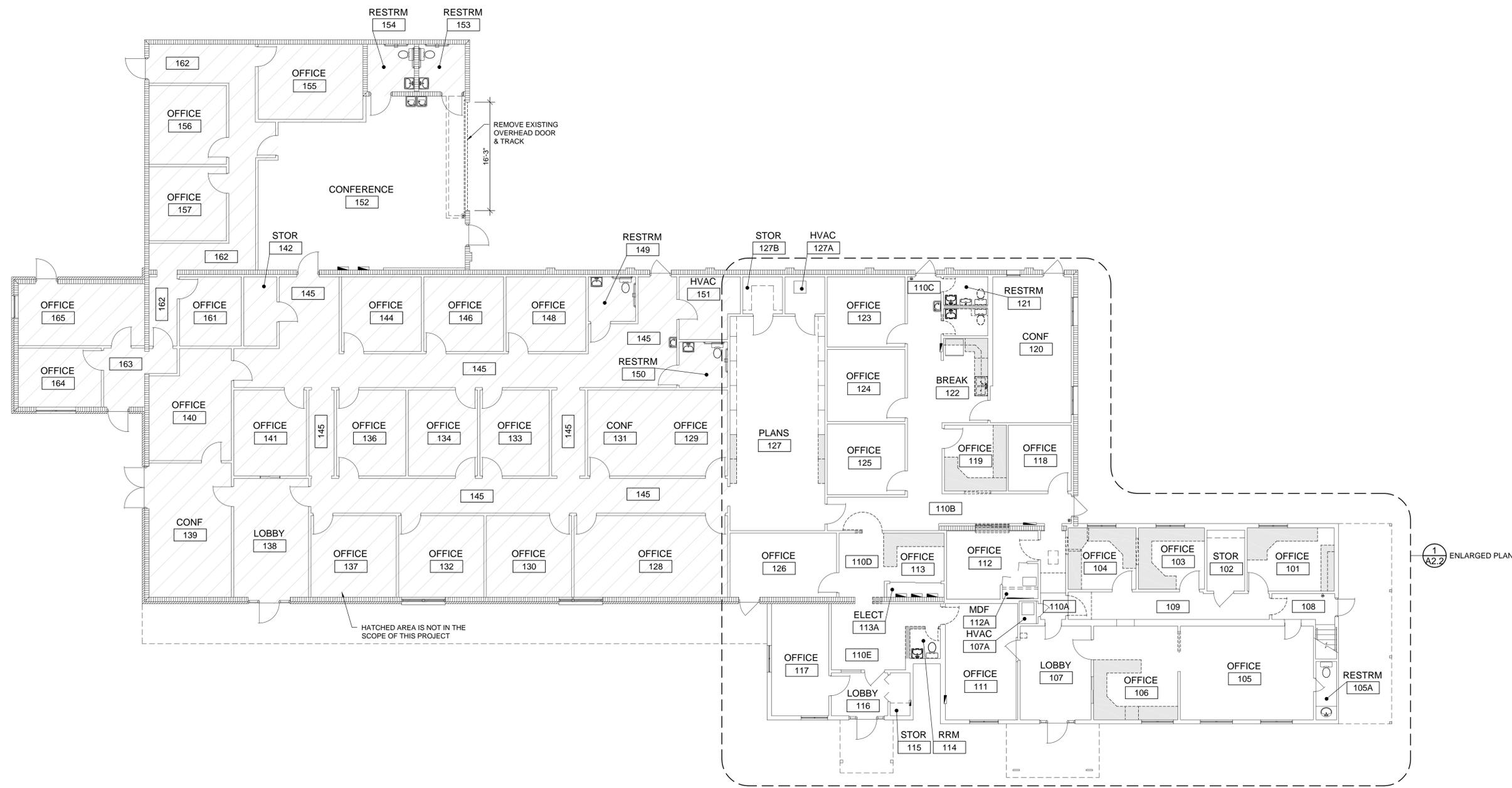
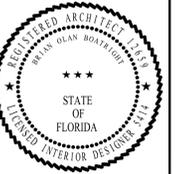
JOB NO. 191003
 DATE 5-9-2020
 DRAWN BY BOB
 CHECKED BY BOB

AREA CALCULATIONS	
FIRST FLOOR	11,098 GSF
SECOND FLOOR	2,565 GSF
TOTAL AREA (GROSS)	13,663 GSF

1 LIFE SAFETY PLAN - OVERALL FIRST FLOOR
 1/8" = 1'-0"

A1.1

THIS DRAWING IS INTENDED TO BE PRINTED AT 1/8" = 1'-0"



DISTRICT OFFICE RENOVATION/REMODELING:
OPERATIONS BUILDING 1 WEST END
 925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

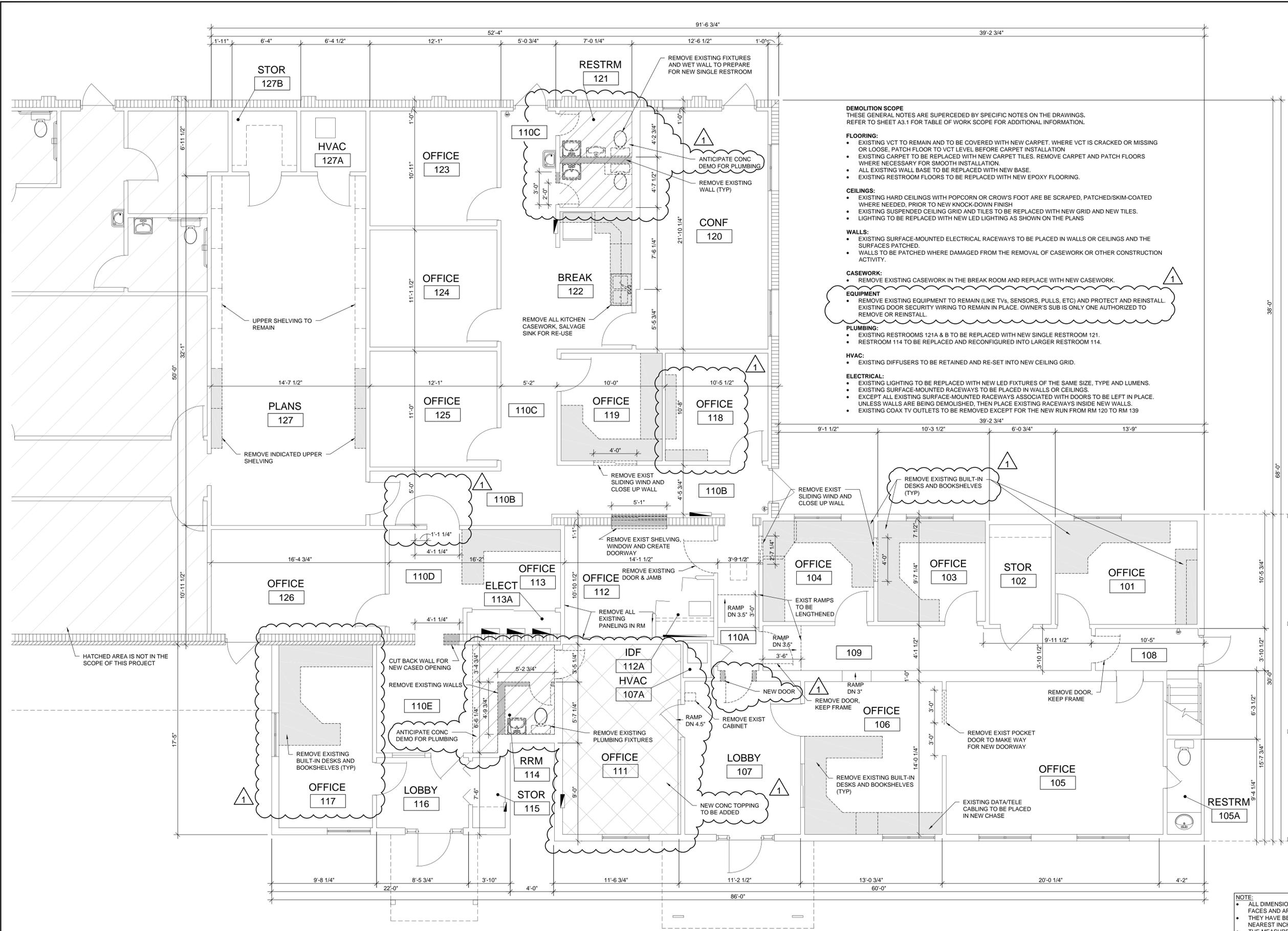
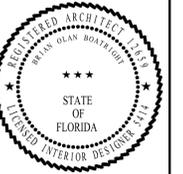
REVISIONS		
NO.	DATE	COMMENT

JOB NO. 191003
 DATE 5-9-2020
 DRAWN BY BOB
 CHECKED BY BOB

NOTE:
 • ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS.
 • THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
 • THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
 • NO WARRANTY IS GIVEN FOR THE ACCURACY OF EXISTING CONDITIONS.
 • NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

1 DEMOLITION PLAN - FIRST FLOOR - OVERALL
 1/8" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.



- DEMOLITION SCOPE**
THESE GENERAL NOTES ARE SUPERCEDED BY SPECIFIC NOTES ON THE DRAWINGS. REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION.
- FLOORING:**
- EXISTING VCT TO REMAIN AND TO BE COVERED WITH NEW CARPET. WHERE VCT IS CRACKED OR MISSING OR LOOSE, PATCH FLOOR TO VCT LEVEL BEFORE CARPET INSTALLATION
 - EXISTING CARPET TO BE REPLACED WITH NEW CARPET TILES. REMOVE CARPET AND PATCH FLOORS WHERE NECESSARY FOR SMOOTH INSTALLATION
 - ALL EXISTING WALL BASE TO BE REPLACED WITH NEW BASE.
 - EXISTING RESTROOM FLOORS TO BE REPLACED WITH NEW EPOXY FLOORING.
- CEILING:**
- EXISTING HARD CEILING WITH POPCORN OR CROW'S FOOT ARE BE SCRAPPED, PATCHED/SKIM-COATED WHERE NEEDED, PRIOR TO NEW KNOCK-DOWN FINISH
 - EXISTING SUSPENDED CEILING GRID AND TILES TO BE REPLACED WITH NEW GRID AND NEW TILES.
 - LIGHTING TO BE REPLACED WITH NEW LED LIGHTING AS SHOWN ON THE PLANS
- WALLS:**
- EXISTING SURFACE-MOUNTED ELECTRICAL RACEWAYS TO BE PLACED IN WALLS OR CEILING AND THE SURFACES PATCHED.
 - WALLS TO BE PATCHED WHERE DAMAGED FROM THE REMOVAL OF CASEWORK OR OTHER CONSTRUCTION ACTIVITY.
- CASEWORK:**
- REMOVE EXISTING CASEWORK IN THE BREAK ROOM AND REPLACE WITH NEW CASEWORK.
- EQUIPMENT**
- REMOVE EXISTING EQUIPMENT TO REMAIN (LIKE TV'S, SENSORS, PULLS, ETC) AND PROTECT AND REINSTALL. EXISTING DOOR SECURITY WIRING TO REMAIN IN PLACE. OWNER'S SUB IS ONLY ONE AUTHORIZED TO REMOVE OR REINSTALL.
- PLUMBING:**
- EXISTING RESTROOMS 121A & B TO BE REPLACED WITH NEW SINGLE RESTROOM 121.
 - RESTROOM 114 TO BE REPLACED AND RECONFIGURED INTO LARGER RESTROOM 114.
- HVAC:**
- EXISTING DIFFUSERS TO BE RETAINED AND RE-SET INTO NEW CEILING GRID.
- ELECTRICAL:**
- EXISTING LIGHTING TO BE REPLACED WITH NEW LED FIXTURES OF THE SAME SIZE, TYPE AND LUMENS.
 - EXISTING SURFACE-MOUNTED RACEWAYS TO BE PLACED IN WALLS OR CEILING.
 - EXCEPT ALL EXISTING SURFACE-MOUNTED RACEWAYS ASSOCIATED WITH DOORS TO BE LEFT IN WALLS. UNLESS WALLS ARE BEING DEMOLISHED, THEN PLACE EXISTING RACEWAYS INSIDE NEW WALLS.
 - EXISTING COAX TV OUTLETS TO BE REMOVED EXCEPT FOR THE NEW RUN FROM RM 120 TO RM 139

NOTE:

- ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS. THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
- THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
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- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

1 DEMOLITION PLAN - FIRST PLAN - WEST
1/4" = 1'-0"

DISTRICT OFFICE RENOVATION/REMODELING:

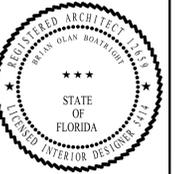
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO	DATE	COMMENT
1	5-27-2020	ADD 1

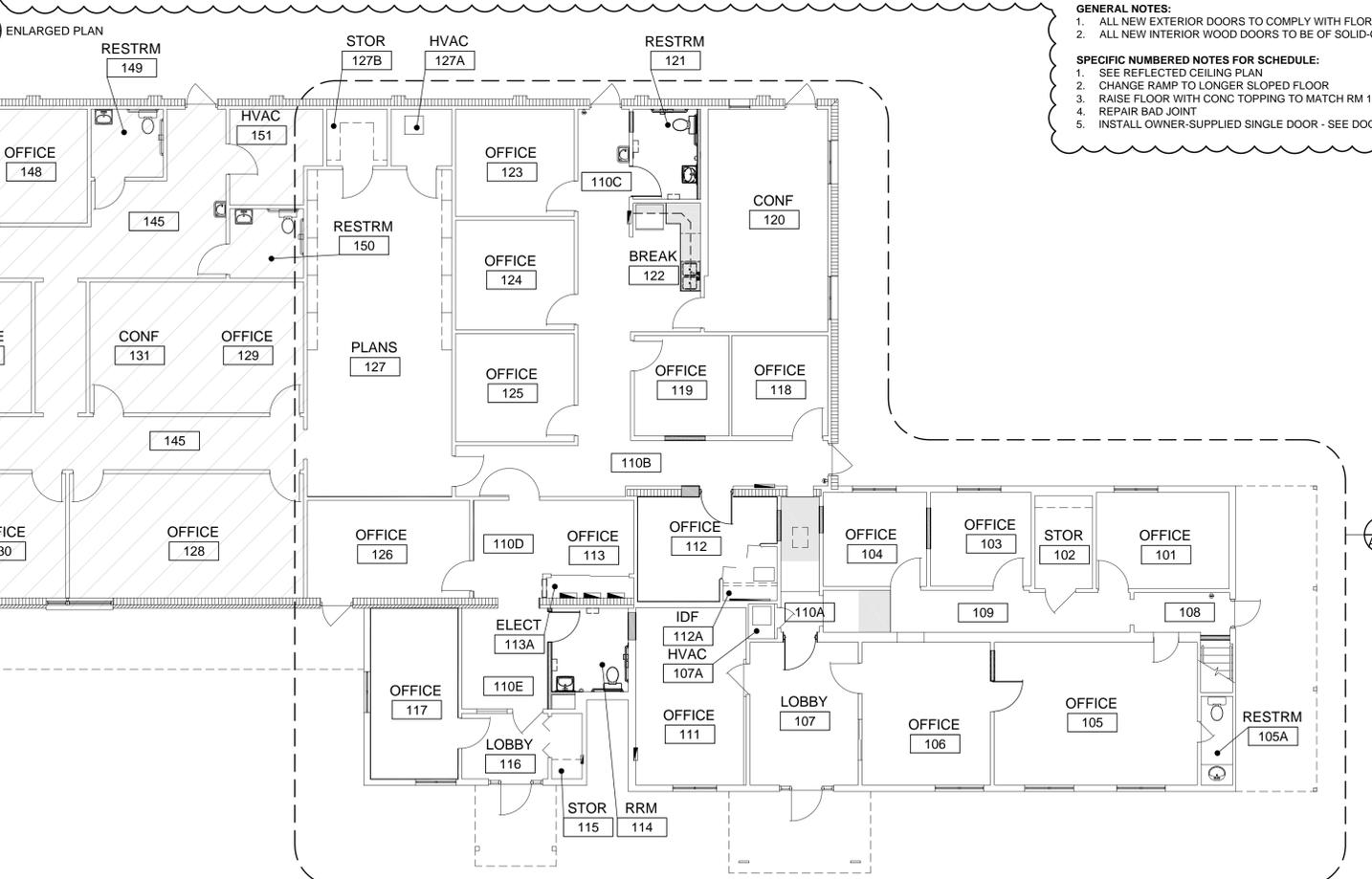
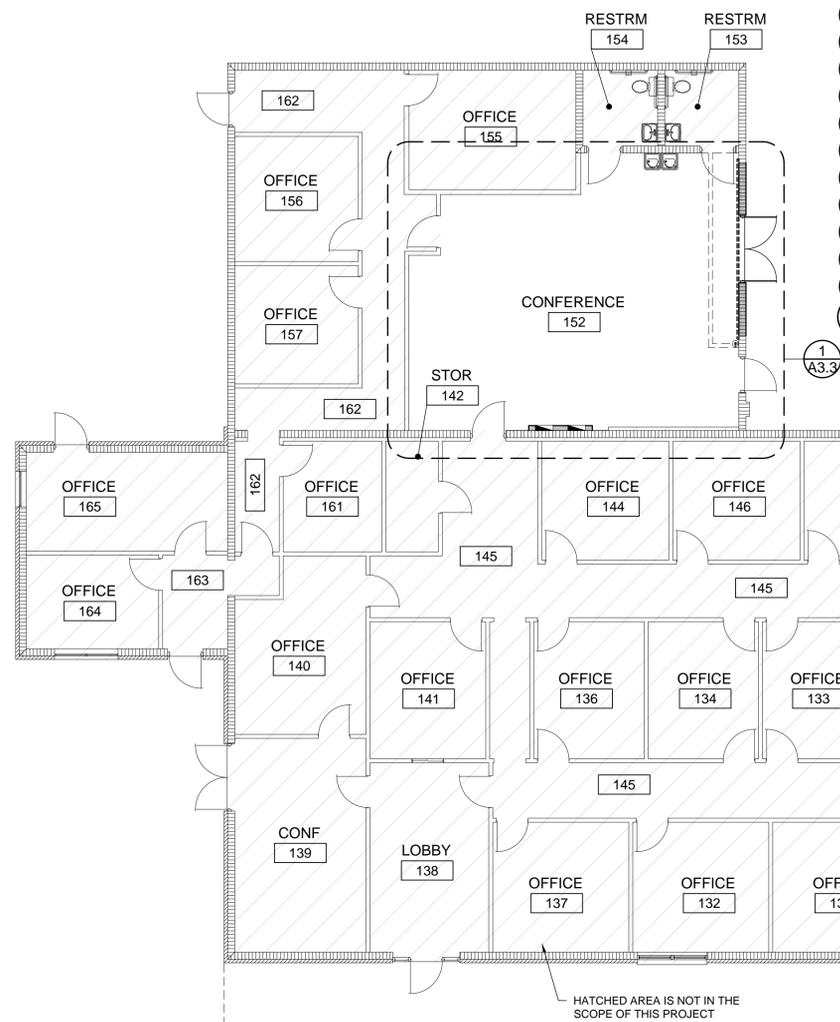
JOB NO. 191003
DATE 5-9-2020
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CHECKED BY BOB

A2.2



DEMOLITION & RENOVATION SCHEDULE

NO	ROOM NAME	NEW ROOM	FLOOR					BASE		WALLS					CEILING					DOORS		CASEWORK			HVAC			PLUMBING			ELECT			NOTES			
			REPLACE CARPET	PATCH VCT & CARPET	EPoxy FLOORING	ADD CONC TOPPING	NO DEMO	REPLACE WALL BASE	NO DEMO	REMOVE PANELING	NEW FRAMING	REMOVE WINDOW	SKIM COAT	NO DEMO	REPLACE SUSP. CLG	REM. CROWN MOLD	NEW POPCORN	NEW SUSP. CLG	NEW KNOCKDOWN	NO DEMO	REMOVE DOOR	NEW DOOR	REMOVE CASEWORK	NEW CASEWORK	NO DEMO	REMOVE DUCTWORK	ADD NEW DUCTWORK	NO WORK	REMOVE FIXTURES	REWORK PIPING	NO WORK	REPLACE LIGHTING	EMBED SURF-MTD		NEW LIGHTING	ADD DATA	NO WORK
101	OFFICE		X					X					P								X									X	X		X			1	
102	STORAGE		X					X												1																	
103	OFFICE		X											X	1							X								X	X		X				
104	OFFICE		X											X	1	X						X								X	X		X				
105	OFFICE		X											X								X								X	X		X				
105A	RESTROOM				X																	X															
106	OFFICE		X																			X								X	X		X				
107	LOBBY			X																										X	X						
107A	HVAC						X				X																									X	
108	CORRIDOR			X																																	
109	CORRIDOR			X																																	
110A	CORRIDOR			X																																	
110B	CORRIDOR			X																																	
110C	CORRIDOR			X																																	
110D	CORRIDOR			X																																	
110E	CORRIDOR			X																																	
111	OFFICE		X				X																														
112	OFFICE		X																																		
112A	MDF						X																														
113A	ELECT							X																													
114	RESTROOM	X			X																																
115	STORAGE						X																														
116	LOBBY			X																																	
117	OFFICE		X																																		
118	OFFICE		X																																		
119	OFFICE		X																																		
120	CONFERENCE		X																																		
121	RESTROOM	X			X																																
122	BREAK		X																																		
123	OFFICE		X																																		
124	OFFICE		X																																		
125	OFFICE		X																																		
126	OFFICE		X																																		
127	PLANS		X																																		
127A	HVAC						X																														
127B	STORAGE							X																													
152	CONFERENCE								X																												



GENERAL NOTES:
 1. ALL NEW EXTERIOR DOORS TO COMPLY WITH FLORIDA PRODUCT APPROVAL.
 2. ALL NEW INTERIOR WOOD DOORS TO BE OF SOLID-CORE CONSTRUCTION, U.O.

SPECIFIC NUMBERED NOTES FOR SCHEDULE:
 1. SEE REFLECTED CEILING PLAN
 2. CHANGE RAMP TO LONGER SLOPED FLOOR
 3. RAISE FLOOR WITH CONC TOPPING TO MATCH RM 107 FLOOR ELEVATION
 4. REPAIR BAD JOINT
 5. INSTALL OWNER-SUPPLIED SINGLE DOOR - SEE DOOR SCHEDULE

1 FLOOR PLAN - OVERALL
 1/8" = 1'-0"

NOTE:
 • ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS.
 • THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
 • THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
 • NO WARRANTY IS GIVEN FOR THE ACCURACY OF EXISTING CONDITIONS.
 • NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

DISTRICT OFFICE RENOVATION/REMODELING:

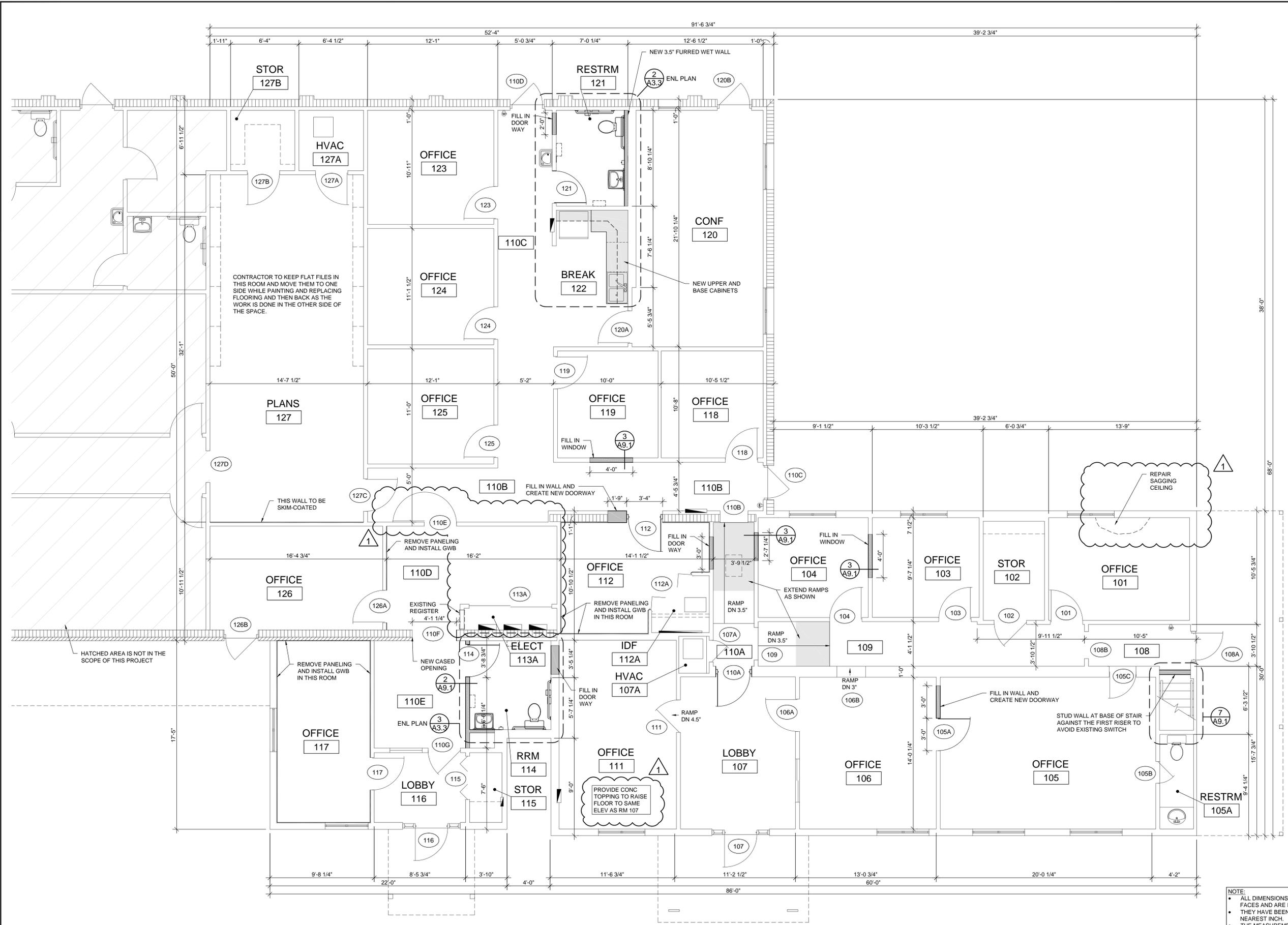
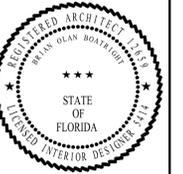
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST., GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO	DATE	COMMENT
1	5-27-20	ADD 1

JOB NO. 191003
 DATE 5-9-2020
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A3.1



DISTRICT OFFICE RENOVATION/REMODELING:

OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS		
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1	5-27-20	ADD 1

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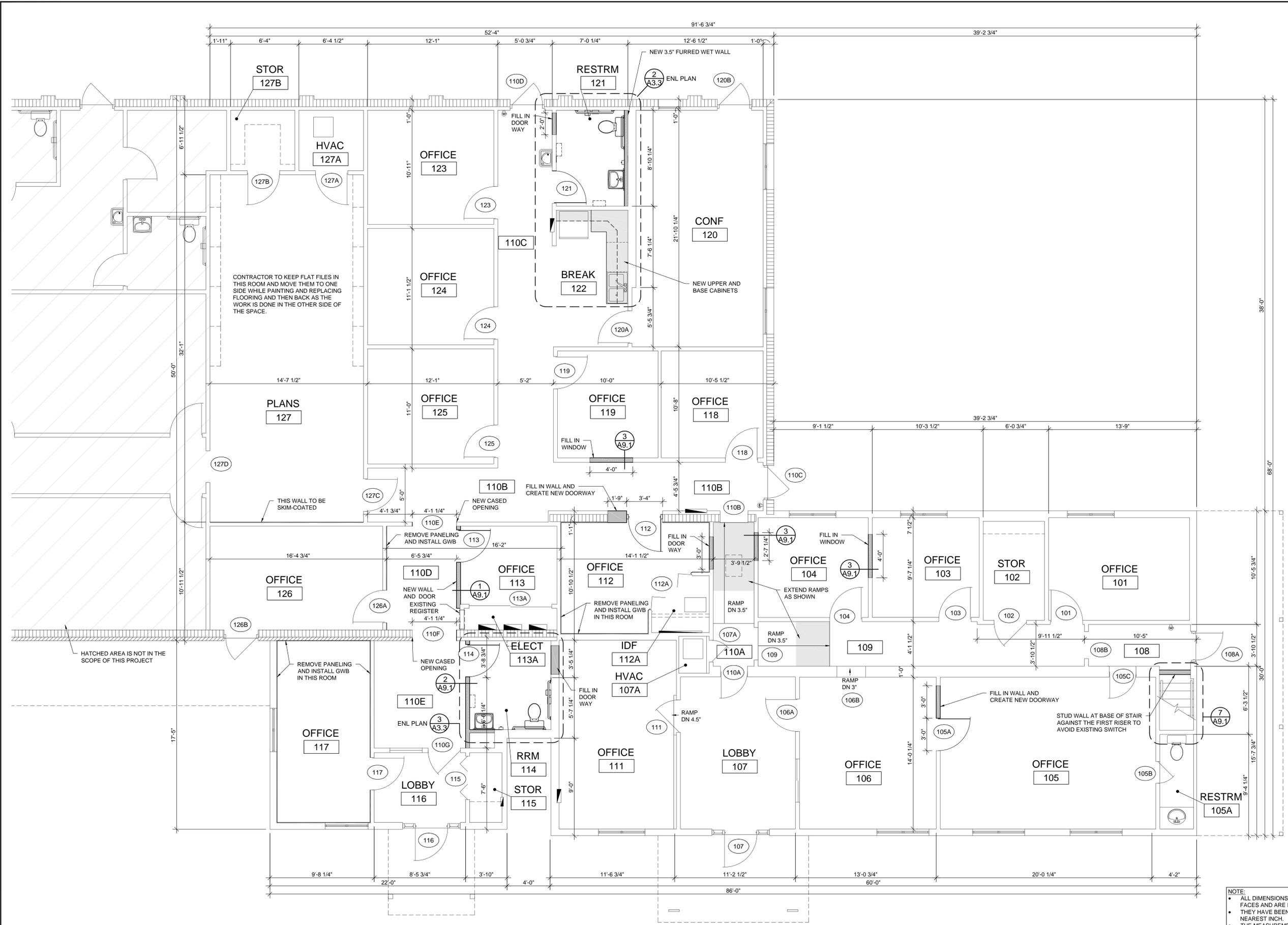
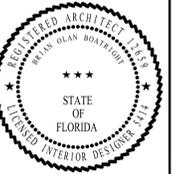
A3.2

NOTE:
 • ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS. THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
 • THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
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 • NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

1 FLOOR PLAN - WEST
1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

THIS DRAWING IS INTENDED TO BE PRINTED AT 24" X 36"



CONTRACTOR TO KEEP FLAT FILES IN THIS ROOM AND MOVE THEM TO ONE SIDE WHILE PAINTING AND REPLACING FLOORING AND THEN BACK AS THE WORK IS DONE IN THE OTHER SIDE OF THE SPACE.

THIS WALL TO BE SKIM-COATED

HATCHED AREA IS NOT IN THE SCOPE OF THIS PROJECT

NOTE:
 • ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS. THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
 • THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
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1 FLOOR PLAN - WEST
1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

DISTRICT OFFICE RENOVATION/REMODELING:

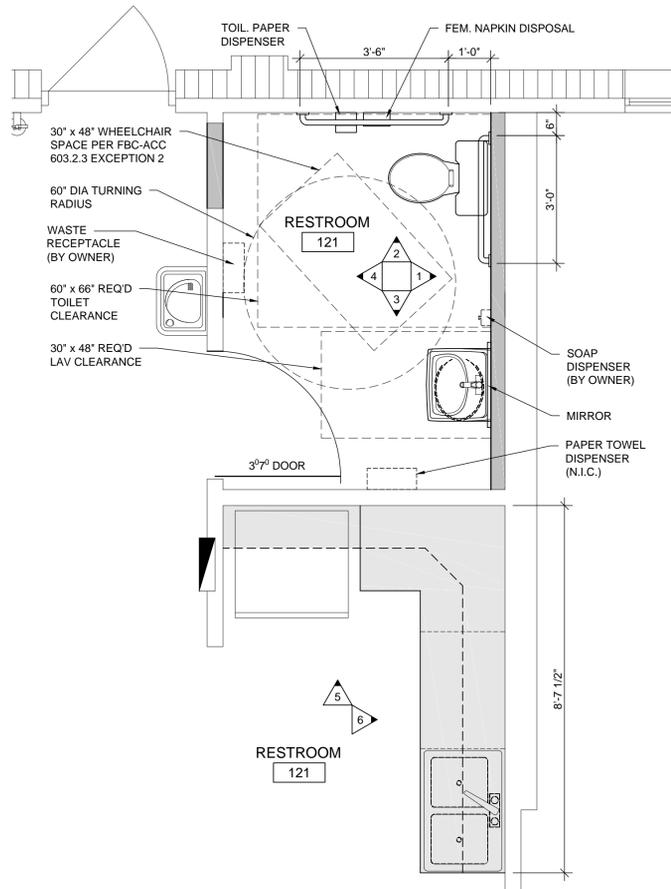
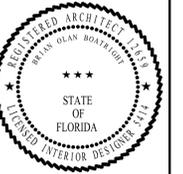
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

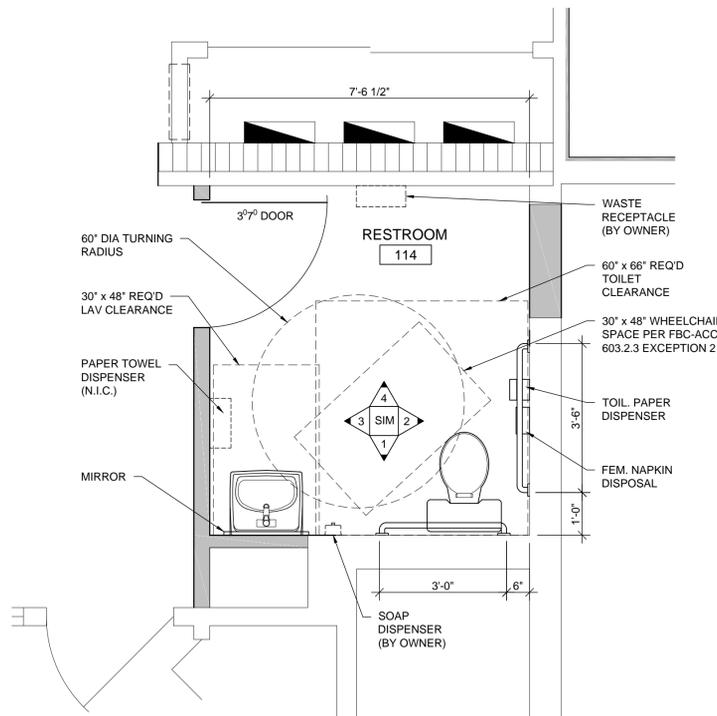
REVISIONS		
NO.	DATE	COMMENT

JOB NO. 191003
DATE 5-9-2020
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A3.2



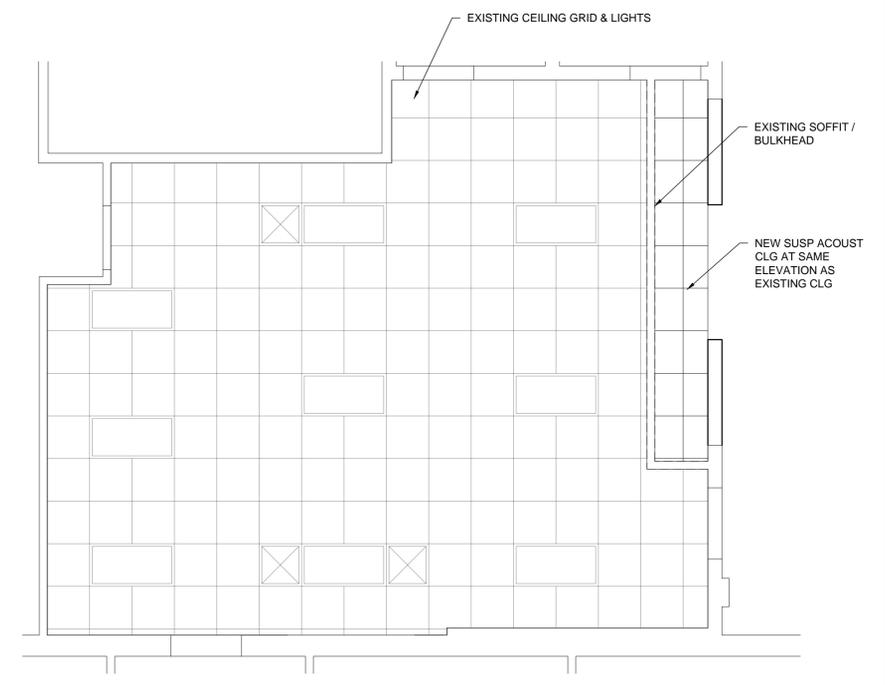
2 ENLARGED RESTROOM 121 & BREAK AREA 122
1/2" = 1'-0"



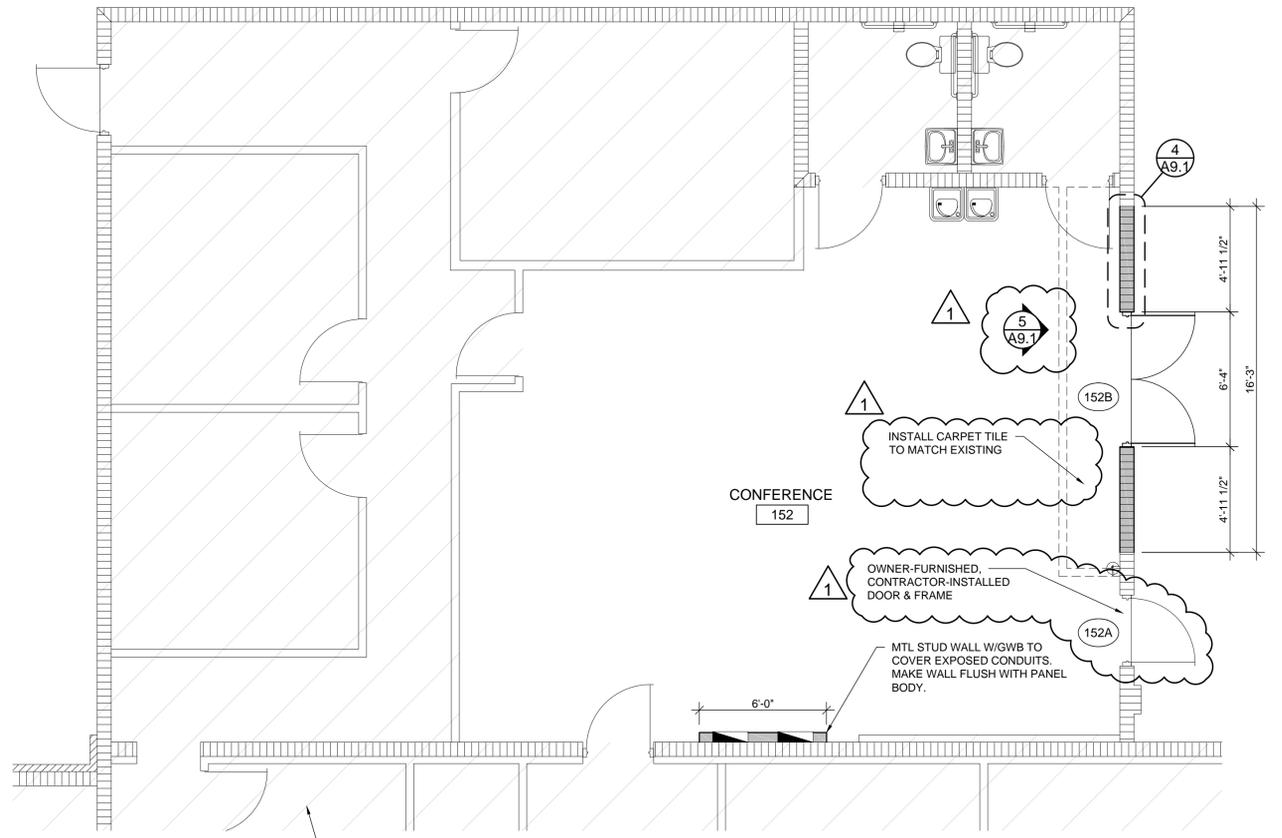
3 ENLARGED RESTROOM 114
1/2" = 1'-0"

NOTE:

- ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS. THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
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- NO WARRANTY IS GIVEN FOR THE ACCURACY OF EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.



4 REFLECTED CEILING PLAN - ROOM 152
1/4" = 1'-0"



1 FLOOR PLAN - ROOM 152
1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

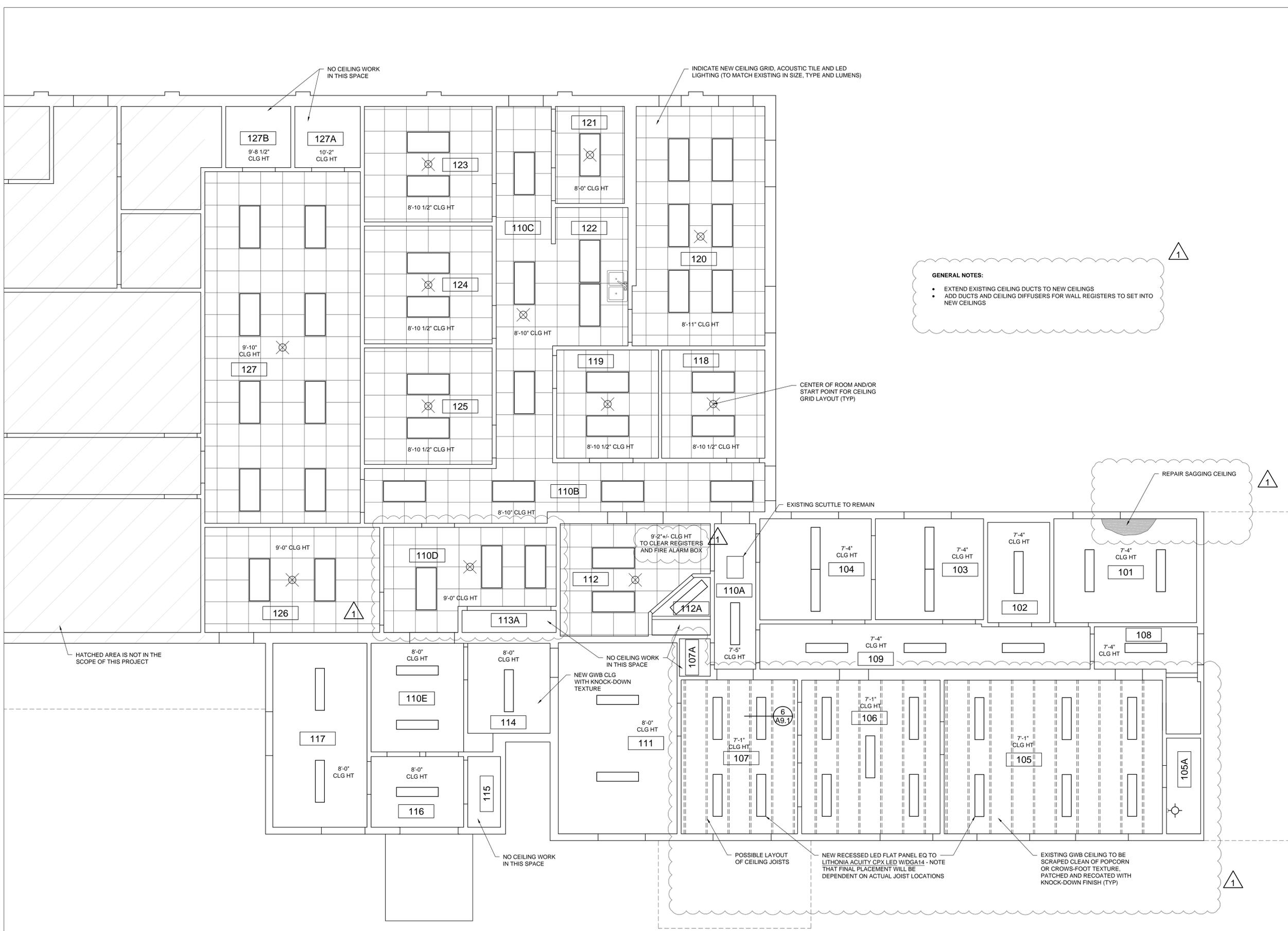
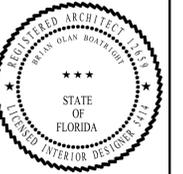
DISTRICT OFFICE RENOVATION/REMODELING:

OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO	DATE	COMMENT
1	5-27-20	ADD 1

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GENERAL NOTES:

- EXTEND EXISTING CEILING DUCTS TO NEW CEILINGS
- ADD DUCTS AND CEILING DIFFUSERS FOR WALL REGISTERS TO SET INTO NEW CEILINGS

DISTRICT OFFICE RENOVATION/REMODELING:

OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST., GREEN COVE SPRINGS, FL 32043

REVISIONS		
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1	5-27-20	ADD 1

JOB NO. 191003
DATE 5-9-2020
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REFLECTED CEILING PLAN - WEST
1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

THIS DRAWING IS INTENDED TO BE PRINTED AT 1/4" = 1'-0"

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FINISH SCHEDULE

NO	ROOM NAME	FLOOR			BASE		WALLS				CEILING			CLG HT	EXISTING OR NEW	NOTES
		CARPET TILE	EPOXY	NO WORK	RUBBER	NO WORK	NEW GWB	SKIM COAT	PAINT	NO WORK	KNOCK-DOWN GWB	SUSPENDED CEILING	NO WORK			
101	OFFICE	X			X			X			X			7'-4"	E	
102	STORAGE	X			X			X			X			7'-4"	E	
103	OFFICE	X			X		X	X			X			7'-4"	E	
104	OFFICE	X			X		X	X			X			7'-4"	E	
105	OFFICE	X			X			X			X			7'-1"	E	
105A	RESTROOM			X		X				X		X		7'-4"	E	
106	OFFICE	X			X			X			X			7'-1"	E	
107	LOBBY	X			X			X			X			7'-1"	E	
107A	HVAC			X		X				X		X		N/A	E	
108	CORRIDOR	X			X		X	X			X			7'-4"	E	
109	CORRIDOR	X			X			X			X			7'-4"	E	
110A	CORRIDOR	X			X	X	X	X			X	X		VARIES	E	
110B	CORRIDOR	X			X	X	X	X			X	X		VARIES	N	
110C	CORRIDOR	X			X	X	X	X			X	X		VARIES	N	
110D	CORRIDOR	X			X	X	X	X			X	X		VARIES	N	
110E	CORRIDOR	X			X	X	X	X			X	X		VARIES	E	
111	OFFICE	X			X			X			X			8'-0"	E	
112	OFFICE	X			X		X	X			X			9'-0"	N	
112A	IDF			X				X			X			N/A	E	
113A	ELECTRICAL			X		X				X		X		N/A	E	
114	RESTROOM		X		X		X	X			X			8'-0"	N	
115	STORAGE	X			X			X			X			8'-0"	E	
116	LOBBY	X			X			X			X			8'-0"	E	
117	OFFICE	X			X		X	X			X			8'-0"	E	
118	OFFICE	X			X			X			X			8'-10.5"	N	
119	OFFICE	X			X		X	X			X			8'-10.5"	N	
120	CONFERENCE	X			X			X			X			8'-11"	N	
121	RESTROOM		X		X		X	X			X			8'-0"	N	
122	BREAK AREA	X			X			X			X			8'-10"	N	
123	OFFICE	X			X			X			X			8'-10.5"	N	
124	OFFICE	X			X			X			X			8'-10.5"	N	
125	OFFICE	X			X			X			X			8'-10.5"	N	
126	OFFICE	X			X			X			X			9'-0"	N	
127	PLANS	X			X			X			X			9'-10"	N	
127A	HVAC			X		X					X			N/A	E	
127B	STORAGE			X		X					X			N/A	E	
152	CONFERENCE	X			X		X	X			X				E	1

FINISH LEGEND:

FLOORING
 CT-1 PENTZ MODULAR COMMERCIAL CARPET TILE REVIVAL 7043T-2212 "AWAKENING"
 EP-1 EPOXY FINISH - TO BE SELECTED FROM STANDARD COLOR LINE

WALL BASE
 B-1 BURKE RUBBER UNI-COLOR #875 "NAVY (NIGHT BLUE)"

PAINT
 WALLS PAINT, SHERWIN-WILLIAMS, SW 7661 "REFLECTION"
 FRAMES PAINT, SHERWIN-WILLIAMS, SW 7665 "WALL STREET"

CEILING
 GWB-1 LEVEL 4, KNOCK-DOWN FINISH

GENERAL NOTES:

- EXISTING WALLS TO BE SANDED TO REMOVE TEXTURES, FINISHED TO LEVEL 4 AND PAINTED SMOOTH.

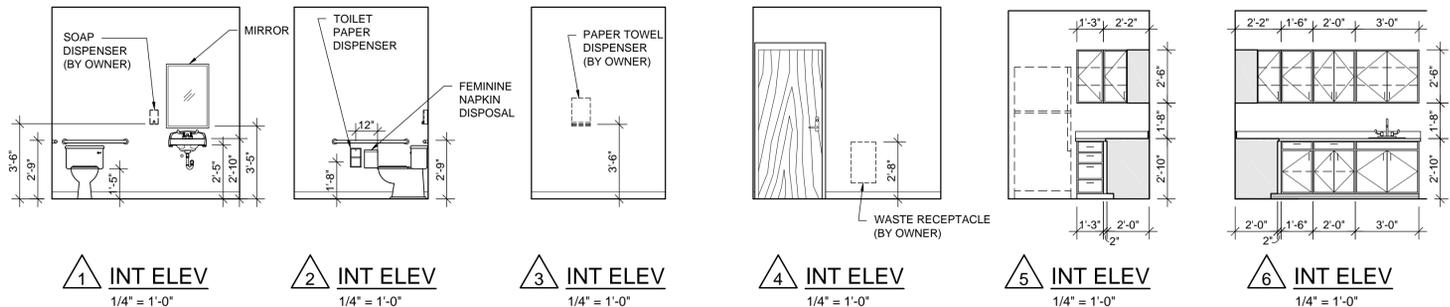
SPECIFIC NOTES:

- PARTIAL NEW GRID

GENERAL DOOR & WINDOW NOTES:

- ALL EXTERIOR DOORS & WINDOWS TO HAVE CURRENT FLORIDA PRODUCT APPROVALS
- ALL WINDOWS SHALL MEET AAMA 101.
- ALL DOOR GLASS TO BE TEMPERED.
- SEE PLANS FOR QUANTITIES.
- FIELD VERIFY ALL SIZES BEFORE ORDERING.
- SIZES ON THE PLANS ARE NOMINAL AND INTENDED TO CONVEY DESIGN INTENT. VERIFY SIZES WITH MANUF. AND FIELD CONDITIONS AND PROVIDE REQUIRED ROUGH OPENING TO ENSURE PROPER INSTALLATION.
- PROVIDE WEATHERSTRIPPING & DOOR SWEEPS TO ALL EXTERIOR DOORS.
- PROVIDE NON-EXPANDING SEALANT AT ALL DOORS, WINDOWS AND ROOF PENETRATIONS.
- FLASH ALL WINDOWS PER AAMA 2400, AND PROVIDE SILL PANS PER ASTM E2112.

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE ROUGH OPENING SIZES AND NOT INCLUDING SHIM SPACE



DOOR SCHEDULE

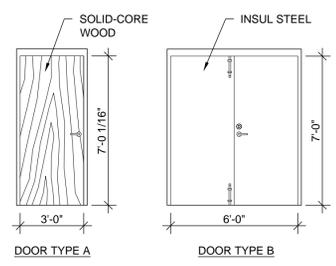
NO	ROOM	OPENING CHANGE	EXISTING DOOR TO REMAIN	REPLACE LOCKSET	SIZE W x H	THK	FRAME			DOOR				EXT	HARDWARE GROUP	NO CHANGE	NOTES
							TYPE	MATERIAL	FINISH	MARK	TYPE	MATERIAL	FINISH				
101	OFFICE		YES	YES	3'0" x 7'0"										4		
102	STORAGE		YES	YES	3'0" x 7'0"										5		
103	OFFICE		YES	YES	3'0" x 7'0"										4		
104	OFFICE		YES	YES	3'0" x 7'0"										4		
105A	OFFICE	YES			3'0" x 7'0"	1 3/8"	HM	STEEL	PAINT	A	FLUSH	SC WD	STAIN		1		
105B	RESTROOM		YES	YES	2'0" x 7'0"												
105C	OFFICE		YES	YES	2'0" x 7'0"										4		
106A	OFFICE		YES	YES	3'0" x 7'0"										5		
106B	OFFICE			---	2'0" x 7'0"		CO										
107	LOBBY		YES		3'0" x 7'0"									Y		X	
107A	HVAC		YES	YES	3'0" x 7'0"										5		
108A	CORRIDOR		YES		2'0" x 7'0"									Y		X	
108B	CORRIDOR	YES		---	2'0" x 7'0"		CO	WOOD	PAINT								1
109	CORRIDOR	YES		---	2'0" x 7'0"		CO	WOOD	PAINT								1
110A	CORRIDOR	YES	YES	YES	3'0" x 7'0"		HM	STEEL	PAINT	A	FLUSH	SC WD	STAIN		5		2
110B	CORRIDOR			---	2'0" x 7'0"		CO										
110C	CORRIDOR		YES		2'0" x 7'0"									Y		X	
110D	CORRIDOR		YES		3'0" x 7'0"									Y		X	
110E	CORRIDOR			---	3'0" x 7'0"		CO										
111	OFFICE		YES		3'0" x 7'0"										4		
112	OFFICE	YES			3'0" x 7'0"	1 3/8"	HM	STEEL	PAINT	A	FLUSH	SC WD	STAIN		1		
112A	IDF		YES		5'0" x 7'0"											X	
113A	ELECTRICAL		YES		3'0" x 7'0"											X	
114	RESTROOM	YES			3'0" x 7'0"	1 3/8"	HM	STEEL	PAINT	A	FLUSH	SC WD	STAIN		2		
115	STORAGE		YES		3'0" x 7'0"											X	
116	LOBBY		YES		3'0" x 7'0"									Y		X	
117	OFFICE		YES	YES	3'0" x 7'0"										4		
118	OFFICE		YES	YES	3'0" x 7'0"										4		
119	OFFICE		YES	YES	3'0" x 7'0"										4		
120A	CONFERENCE		YES	YES	3'0" x 7'0"										4		
120B	CONFERENCE		YES		3'0" x 7'0"									Y		X	
121	RESTROOM	YES			3'0" x 7'0"	1 3/8"	HM	STEEL	PAINT	A	FLUSH	SC WD	STAIN		2		
123	OFFICE		YES	YES	3'0" x 7'0"										4		
124	OFFICE		YES	YES	3'0" x 7'0"										4		
125	OFFICE		YES	YES	3'0" x 7'0"										4		
126A	OFFICE		YES	YES	3'0" x 7'0"										4		
126B	OFFICE		YES		3'0" x 7'0"									Y		X	
127A	HVAC		YES	YES	3'0" x 7'0"										5		
127B	STORAGE		YES	YES	3'0" x 7'0"										5		
127C	PLANS		YES	YES	3'0" x 7'0"										5		
127D	PLANS		YES		3'0" x 7'0"		CO										
152A	CONFERENCE		YES		3'0" x 7'0"									Y			3
152B	CONFERENCE	YES			(2) 3'0" x 7'0"	1 3/8"	HM	STEEL	PAINT	B	FLUSH	STEEL	PAINT	Y	3		

GENERAL NOTES:

- ALL NEW EXTERIOR DOORS TO COMPLY WITH FLORIDA PRODUCT APPROVAL.
- ALL NEW INTERIOR WOOD DOORS TO BE OF SOLID-CORE CONSTRUCTION, U.N.O.

SPECIFIC NUMBERED NOTES FOR SCHEDULE:

- LEAVE FRAMES, REMOVE DOORS AND STOPS. PATCH AND PAINT.
- DOOR TO BE CHANGED TO 3'-0" WIDE. RE-USE ELECTRICAL HARDWARE. USE OWNER'S SUB
- OWNER-PROVIDED DOOR & FRAME. CONTRACTOR TO INSTALL SECURITY CARD ACCESS TO BE INSTALLED BY OWNER'S SUB.



BRIAN BOATRIGHT ARCHITECT
 914 PLAINFIELD AVENUE
 ORANGE PARK, FL 32073
 (904) 413-8828
 brianboatright@brianboatright.com
 brianboatright@brianboatright.com
 FL: A22000151, A22000152, A22000153, A22000154

REGISTERED ARCHITECT, STATE OF FLORIDA
 LICENSED INTERIOR DESIGNER, STATE OF FLORIDA

DISTRICT OFFICE RENOVATION/REMODELING:
OPERATIONS BUILDING 1 WEST END
 925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

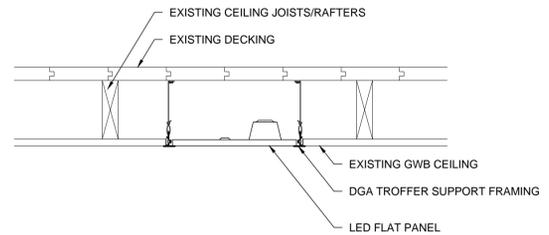
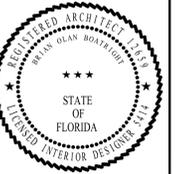
REVISIONS

NO	DATE	COMMENT
1	5-27-20	ADD 1

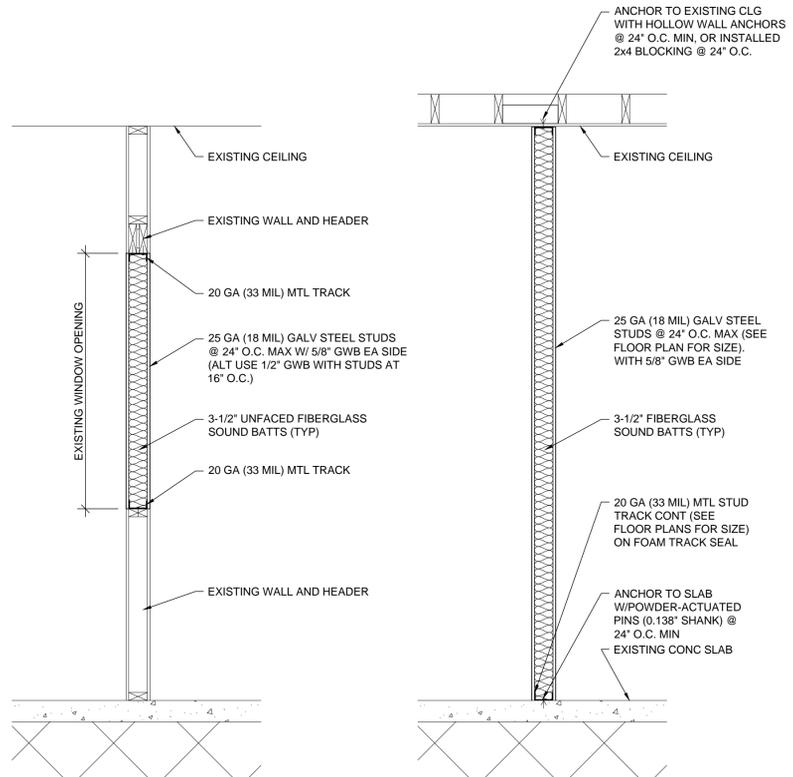
JOB NO. 191003
 DATE 5-9-2020
 DRAWN BY BOB
 CHECKED BY BOB

A7.1

THIS DRAWING IS INTENDED TO BE PRINTED AT 1/4" = 1'-0"

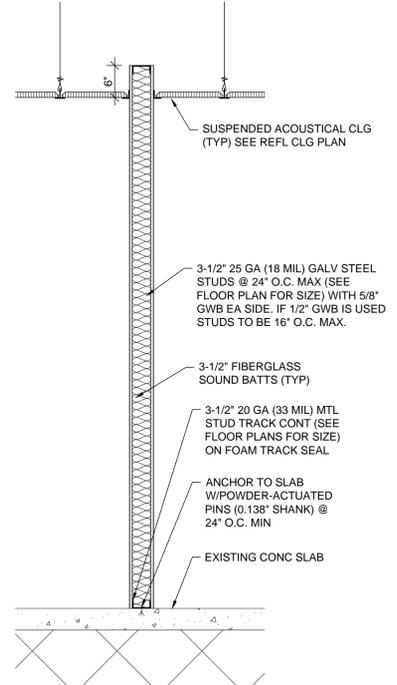


6 RECESSED TROFFER
1-1/2" = 1'-0"

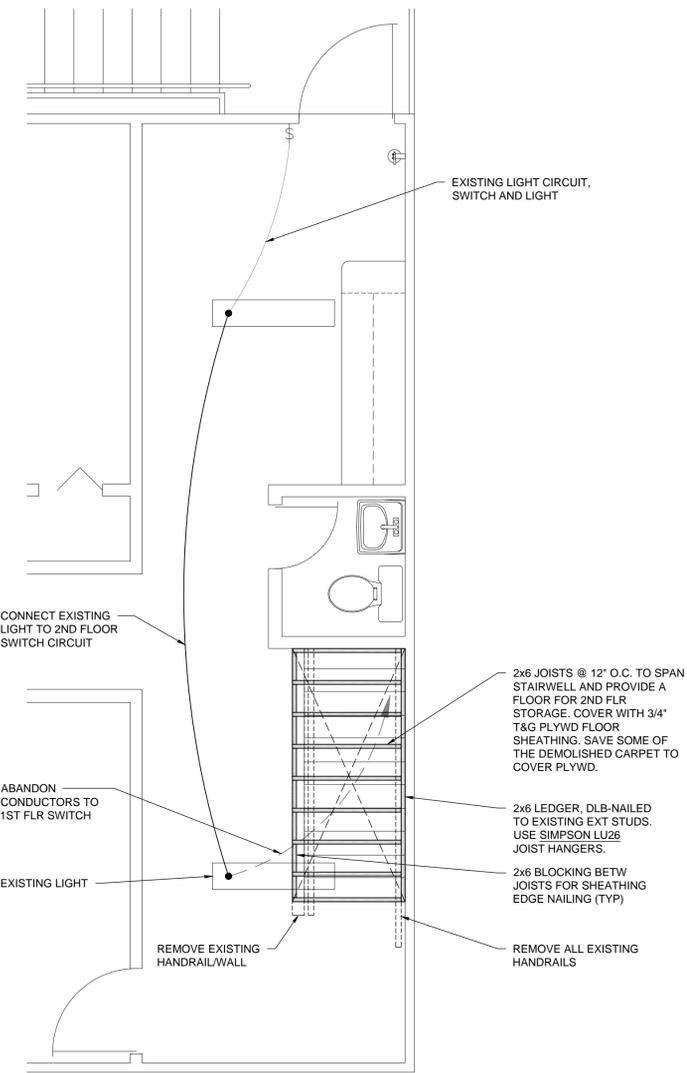


3 WALL SECTION
3/4" = 1'-0"

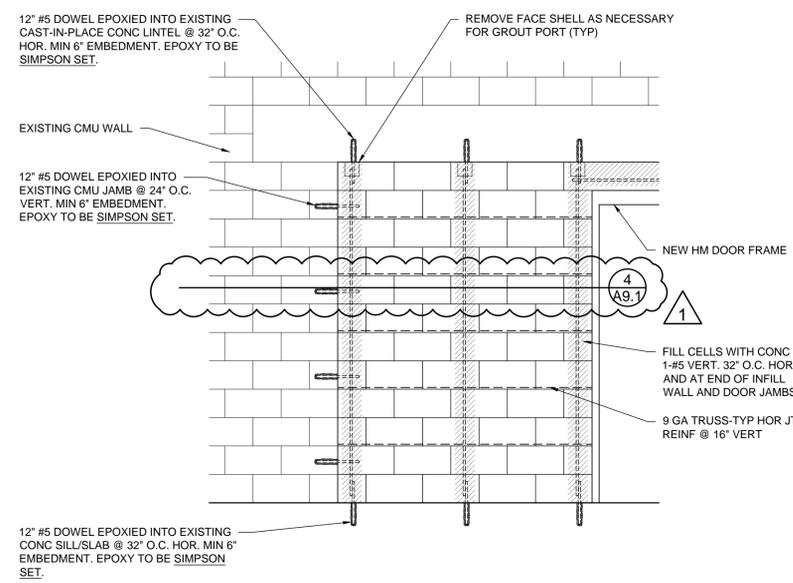
2 WALL SECTION
3/4" = 1'-0"



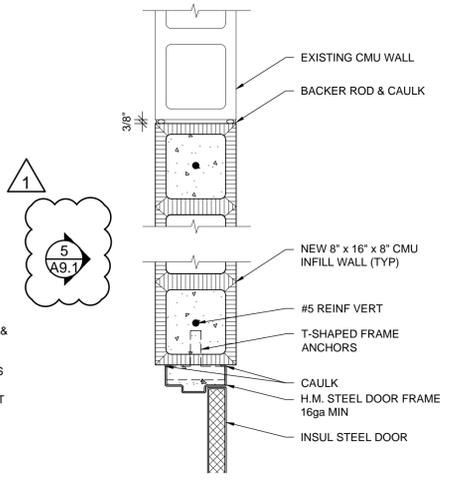
1 WALL SECTION
3/4" = 1'-0"



7 PARTIAL SECOND FLOOR PLAN
3/8" = 1'-0"



5 CMU INFILL WALL ELEVATION
1/2" = 1'-0"



4 CMU WALL INFILL
1-1/2" = 1'-0"

DISTRICT OFFICE RENOVATION/REMODELING:

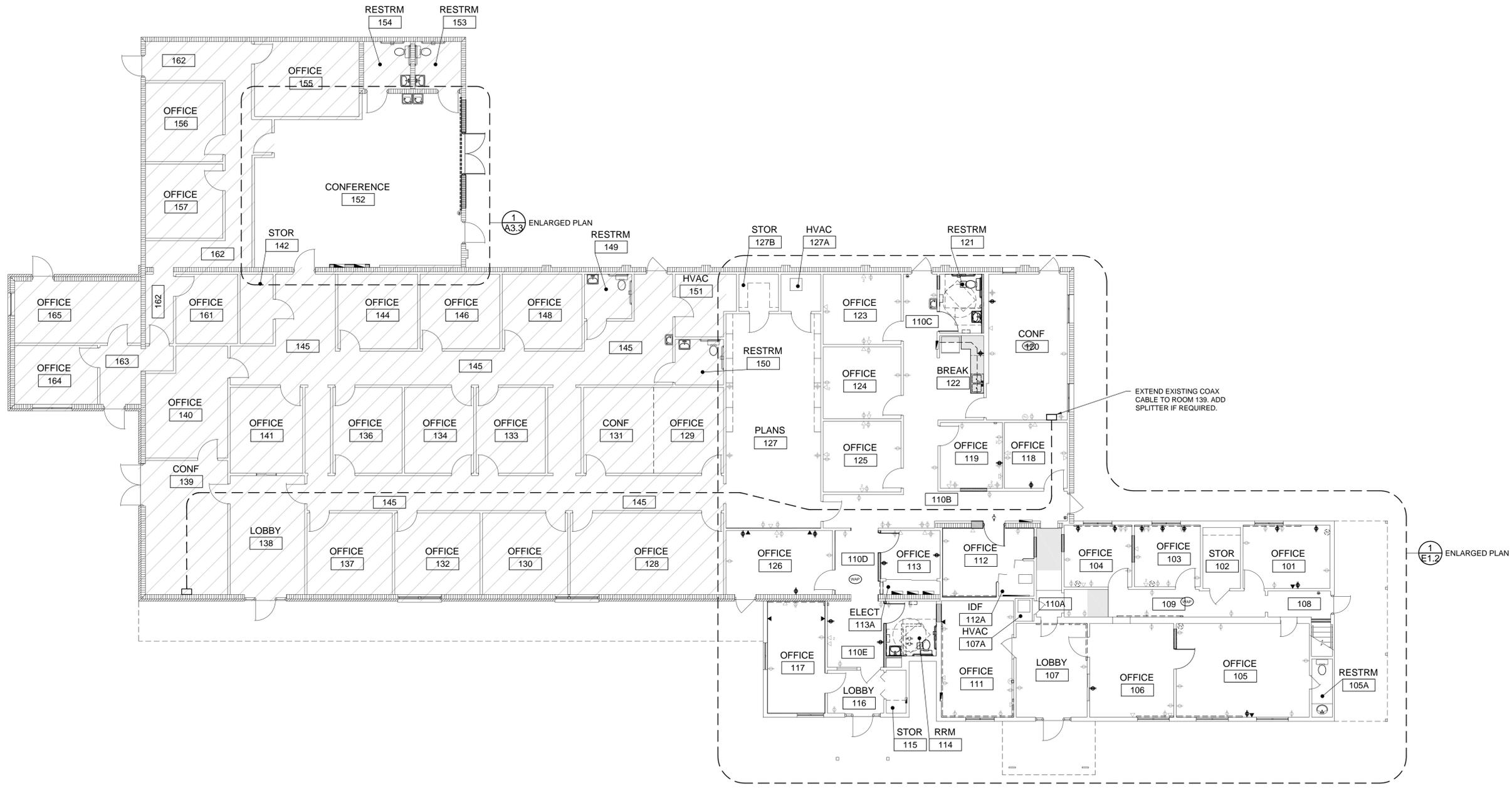
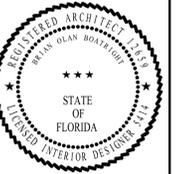
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO	DATE	COMMENT
1	5-15-20	ADD 1

JOB NO. 191003
DATE 5-9-2020
DRAWN BY BOB
CHECKED BY BOB

A9.1



EXTEND EXISTING COAX CABLE TO ROOM 139. ADD SPLITTER IF REQUIRED.

1 ELECTRICAL POWER PLAN - OVERALL
 1/8" = 1'-0"

DISTRICT OFFICE RENOVATION/REMODELING:

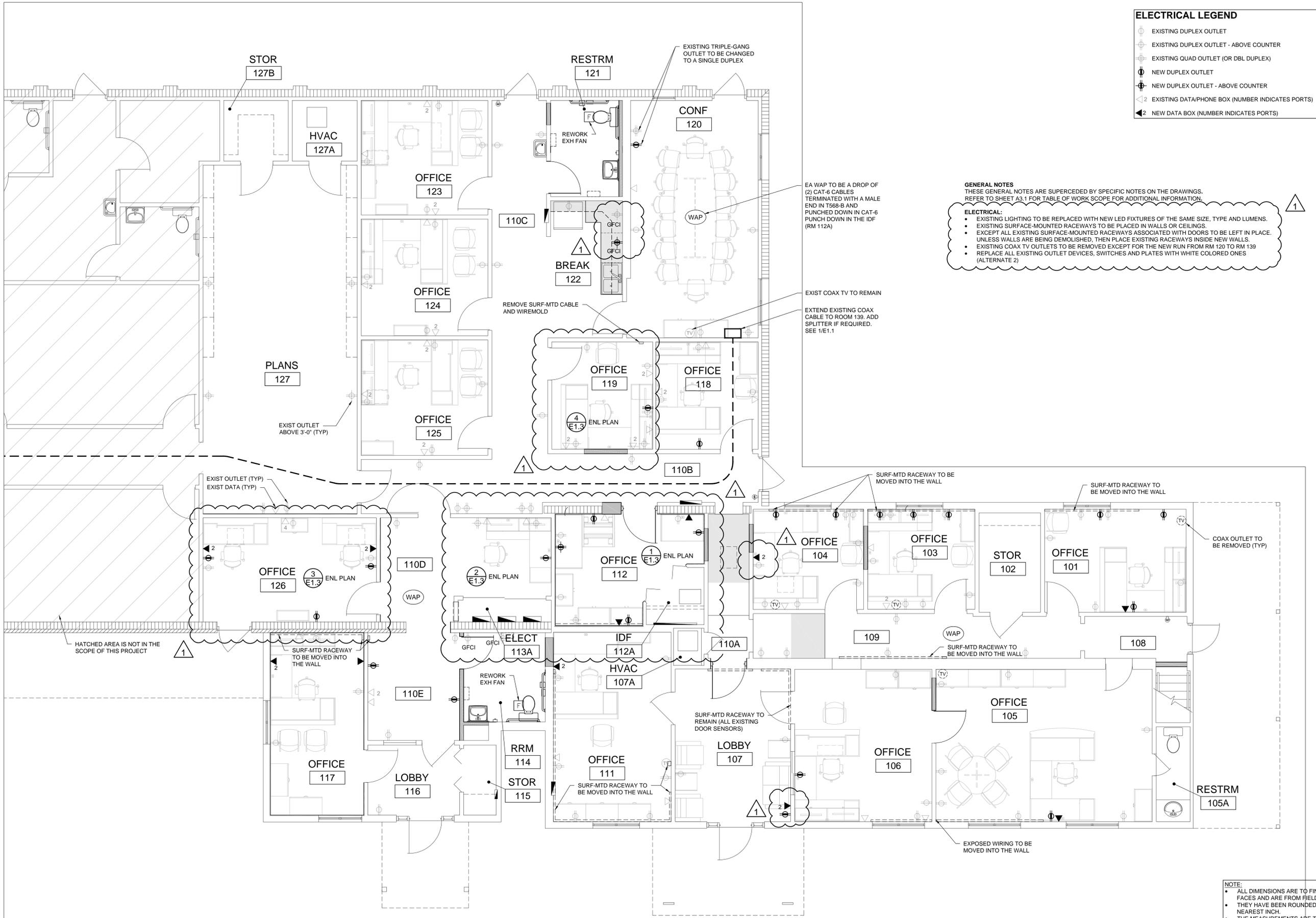
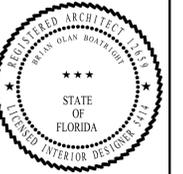
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST., GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO.	DATE	COMMENT

JOB NO. 191003
 DATE 5-9-2020
 DRAWN BY BOB
 CHECKED BY BOB

E1.1



ELECTRICAL LEGEND

- ⊕ EXISTING DUPLEX OUTLET
- ⊕ EXISTING DUPLEX OUTLET - ABOVE COUNTER
- ⊕ EXISTING QUAD OUTLET (OR DBL DUPLEX)
- ⊕ NEW DUPLEX OUTLET
- ⊕ NEW DUPLEX OUTLET - ABOVE COUNTER
- ◁ 2 EXISTING DATA/PHONE BOX (NUMBER INDICATES PORTS)
- ◁ 2 NEW DATA BOX (NUMBER INDICATES PORTS)

GENERAL NOTES
 THESE GENERAL NOTES ARE SUPERCEDED BY SPECIFIC NOTES ON THE DRAWINGS. REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION.

ELECTRICAL:

- EXISTING LIGHTING TO BE REPLACED WITH NEW LED FIXTURES OF THE SAME SIZE, TYPE AND LUMENS.
- EXISTING SURFACE-MOUNTED RACEWAYS TO BE PLACED IN WALLS OR CEILINGS.
- EXCEPT ALL EXISTING SURFACE-MOUNTED RACEWAYS ASSOCIATED WITH DOORS TO BE LEFT IN PLACE. UNLESS WALLS ARE BEING DEMOLISHED, THEN PLACE EXISTING RACEWAYS INSIDE NEW WALLS.
- EXISTING COAX TV OUTLETS TO BE REMOVED EXCEPT FOR THE NEW RUN FROM RM 120 TO RM 139
- REPLACE ALL EXISTING OUTLET DEVICES, SWITCHES AND PLATES WITH WHITE COLORED ONES (ALTERNATE 2)

NOTE:

- ALL DIMENSIONS ARE TO FINISHED FACES AND ARE FROM FIELD SURVEYS. THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
- THE MEASUREMENTS ARE TO BE CONSIDERED AVERAGES AND SHOULD BE FIELD VERIFIED.
- NO WARRANTY IS GIVEN FOR THE ACCURACY OF EXISTING CONDITIONS.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

1 ELECTRICAL POWER PLAN - WEST
 1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

DISTRICT OFFICE RENOVATION/REMODELING:

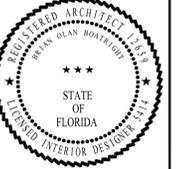
OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS		
NO	DATE	COMMENT
1	5-27-20	ADD 1

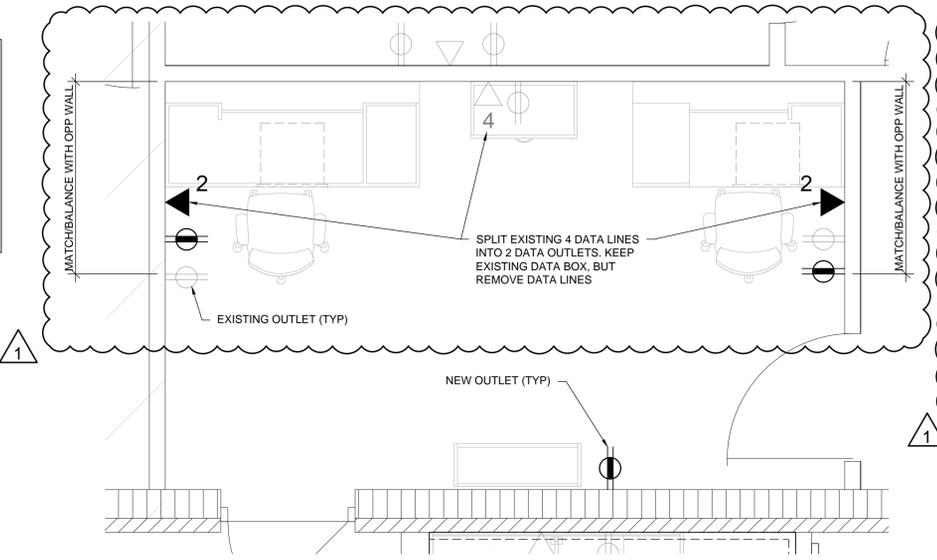
JOB NO. 191003
 DATE 5-9-2020
 DRAWN BY BOB
 CHECKED BY BOB

E1.2

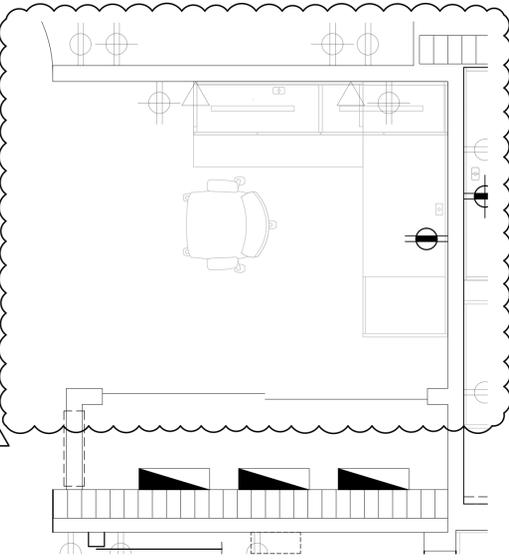


ELECTRICAL LEGEND

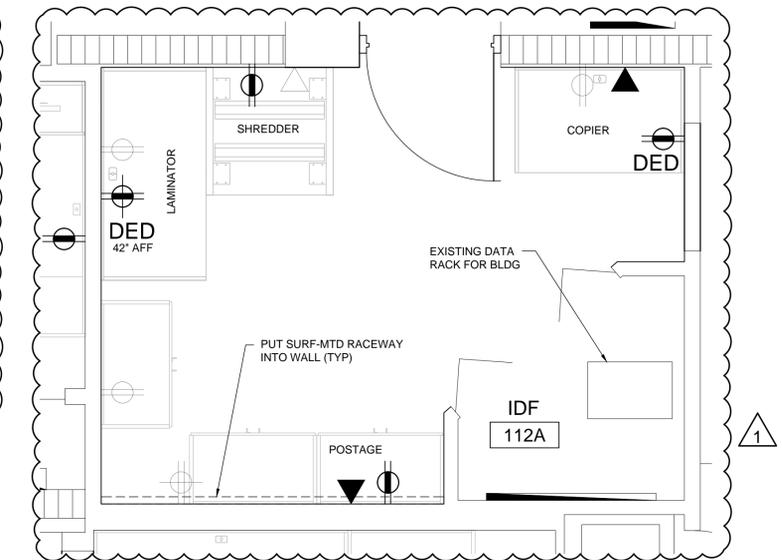
- ⊕ EXISTING DUPLEX OUTLET
- ⊕ EXISTING DUPLEX OUTLET - ABOVE COUNTER
- ⊕ EXISTING QUAD OUTLET (OR DBL DUPLEX)
- ⊕ NEW DUPLEX OUTLET
- ⊕ NEW DUPLEX OUTLET - ABOVE COUNTER
- ◁ 2 EXISTING DATA/PHONE BOX (NUMBER INDICATES PORTS)
- ◁ 2 NEW DATA BOX (NUMBER INDICATES PORTS)



3 ENLARGED PLAN - ROOM 126
1/2" = 1'-0"



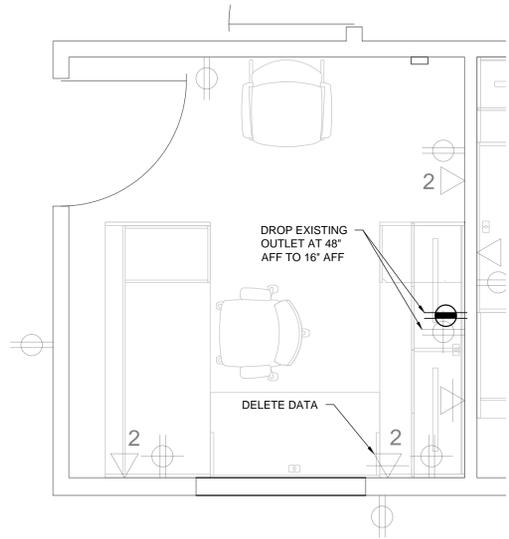
2 ENLARGED PLAN - ROOM 113
1/2" = 1'-0"



1 ENLARGED PLAN - ROOM 112
1/2" = 1'-0"

EQUIPMENT ELECTRICAL REQUIREMENTS (RM 112):

LAMINATOR	36 x 22	13A	NO DATA
POSTAGE	48 x 18	2.5A	DATA
COPIER	48 x 30	12A	DATA
SHREDDER	18 x 18	8A	NO DATA



4 ENLARGED PLAN - ROOM 119
1/2" = 1'-0"

1 ELECTRICAL POWER PLAN - WEST
1/4" = 1'-0"

REFER TO SHEET A3.1 FOR TABLE OF WORK SCOPE FOR ADDITIONAL INFORMATION ON WORK IN THIS AREA.

NOTE:

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- THEY HAVE BEEN ROUNDED TO THE NEAREST INCH.
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DISTRICT OFFICE RENOVATION/REMODELING:

OPERATIONS BUILDING 1 WEST END

925 W. CENTER ST, GREEN COVE SPRINGS, FL 32043

REVISIONS

NO	DATE	COMMENT
1	5-27-20	ADD 1

JOB NO. 191003
DATE 5-9-2020
DRAWN BY BOB
CHECKED BY BOB

E1.3