

SJR STATE COLLEGE - ST. AUGUSTINE CAMPUS MAP  
NO SCALE

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BID NUMBER: BID-SJR-05-2019

# RENOVATION WITH ADDITION TO BUILDING V, ST. AUGUSTINE CAMPUS

FOR



## ST. JOHNS RIVER STATE COLLEGE

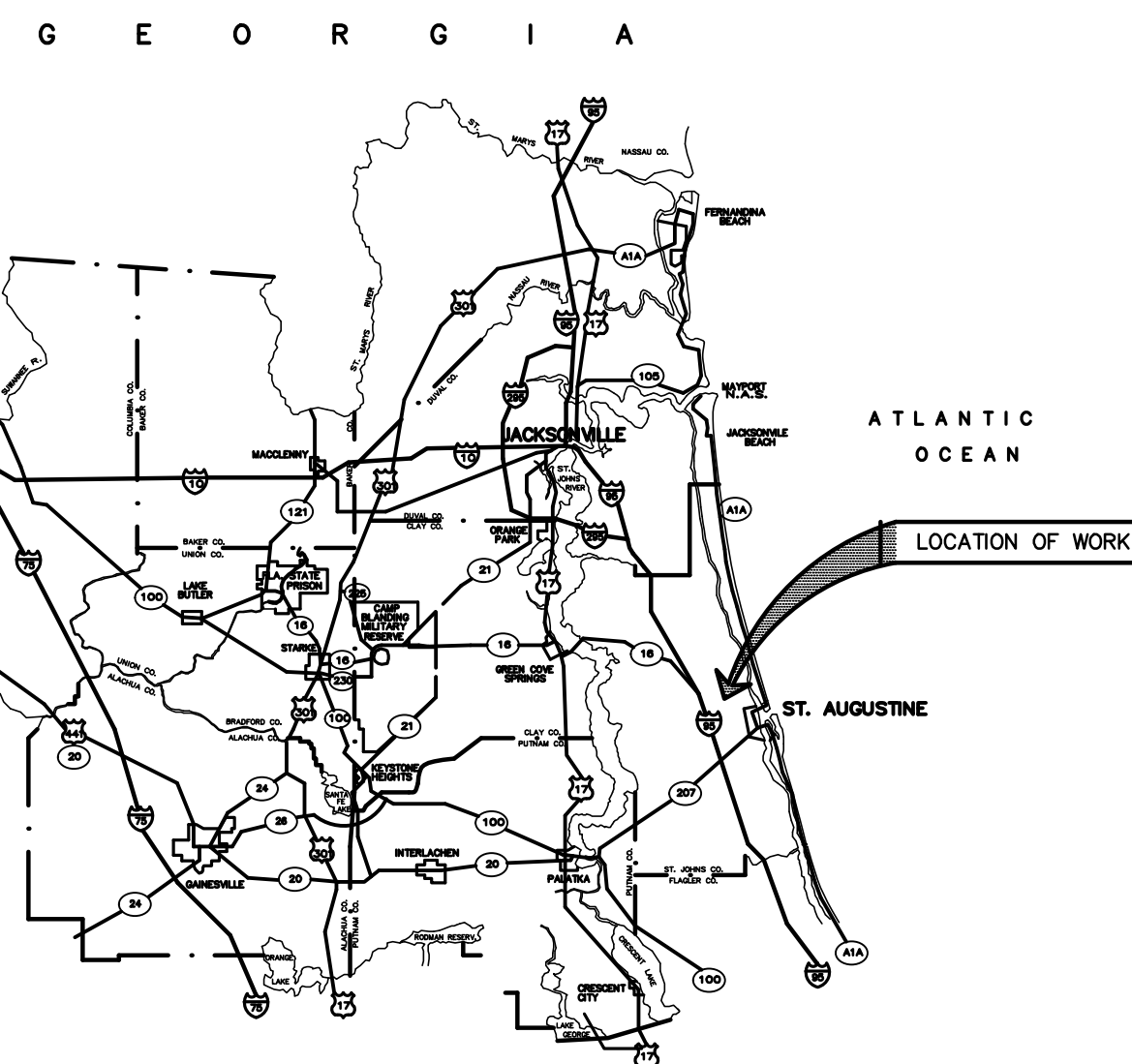
CONSTRUCTION DOCUMENTS  
BID PHASE  
JANUARY 22, 2020

AKEL □ LOGAN □ SHAFER  
ARCHITECTS AND PLANNERS  
704 Rosselle Street / Jacksonville, Florida 32204  
Telephone (904) 356-2654 / Fax (904) 356-4010

ALS FILE NO. 1809

TO THE BEST OF THE ARCHITECT OF  
RECORD'S KNOWLEDGE, THESE DRAWINGS  
AND THE ASSOCIATED PROJECT MANUAL  
ARE COMPLETE AND COMPLY WITH THE  
FLORIDA BUILDING CODE AND THE FLORIDA  
FIRE PREVENTION CODE.

Melody S. Bishop, Architect of Record



VICINITY MAP - NORTHEAST FLORIDA  
NO SCALE

### COLLEGE ADMINISTRATION

JOE H. PICKENS, J.D. PRESIDENT

MELISSA C. MILLER, J.D. SENIOR VICE PRESIDENT/  
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NOTES (APPLY TO THIS SHEET ONLY)

- 1 SHOULD ANY PORTION OF EXIST BLDG BE OCCUPIED DURING CONST OF ADDITION, PROVIDE TEMP EXIT ACCESS AT NW DOOR.
- 2 NEW STOREFRONT EXIT DOOR TO BE PROVIDED, REPLACING EXISTING STOREFRONT UNIT.
- 3 RENOVATED BLDG V: PROVIDE SIGN, GRAB BARS, & ACCESSORIES IN NEW ADA ACCESSIBLE TOILET STALL PER ENLARGED PLANS, A401.
- 4 PROVIDE 2 HR FIRE AREA SEPARATION WALL OF UL # CONSTRUCTION INCL. ALL MATERIALS (GYP. BD. TYPE AND # OF LAYERS, SEALANT, FIRESTOP, ETC.). DIAGONAL VERTICAL JOG TO ALIGN 2HR WALL ADJACENT TO RIDGE BEAM & ADJACENT JOIST.

GENERAL NOTE REGARDING ALL DOORS THAT ARE RELOCATED OR NEW HARDWARE: VERIFY EXISTING LEVER HANDLE LOCKS ARE IN GOOD WORKING ORDER AND REMAIN IN COMPLIANCE, INCLUDING LOCK MECHANISM AT ALL DOORS INCL EXITS (and not require: tight grasping, pinching, or twisting of the wrist, or more than 5 pounds of force (lbf) to operate).

PROJECT

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ST. AUGUSTINE CAMPUS

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STATE COLLEGE

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SHEET TITLE

LIFE SAFETY PLAN  
ADDITION W/ RENO (BASE)

SHEET NUMBER

LS101

**NOTE TO REVIEWER**  
TO THE BEST OF THE ARCHITECT OF RECORD'S KNOWLEDGE THE ADDITION WITH MINOR RENOVATION DESIGN COMPLIES WITH THE 6TH EDITION FLORIDA FIRE PROTECTION CODE.

**KEY LIFE LEGEND**

- EXIT EXIT DISCHARGE.  
SEE CODE SUMMARY FOR BUILDING EXITING
- EXIT LIGHT: SEE E001 INDICATING "EXIT LIGHT, ARROWS AS INDICATED, SHADING DENOTES FACE OF [# OF FACES]
  - F.E. FIRE EXTINGUISHER WITH CABINET &/OR WALL BRACKET
  - F FIRE ALARM PULL STATION; EXIST OR NEW, SEE ELECTRICAL
  - \* TRAVEL DISTANCE TO EXITS FROM VARIOUS POINTS
- NOTE: EXIST HOOD HAS FP SYSTEM; NO OTHER SYSTEMS

**KEY LIFE SAFETY NOTES**

- 1 PROVIDE TACTILE EXIT SIGN COMPLYING W/ FBC 1011.4 & NFPA 101 7.10.1.3, & SHALL HAVE RAISED LETTERS & BRAILLE CHARACTERS.
- 2 EXISTING WALL MOUNTED FIRE EXTINGUISHER & 1 K CLASS IN CAFE' (by Managing Vendor for Owner).
- 3 FIRE EXTINGUISHER & CABINET, 20# 6A:80BC.
- 4 FIRE EXTINGUISHER 20# 6A:80BC & K CLASS, W/ WALL BRACKETS.
- 5 EXIT SIGNS: EXIST IN RENO, NEW IN ADDITION; SEE ELEC DWS.
- 6 FIRE EXTINGUISHER W BRACKET: EXISTING IN RENO, NEW IN ADDITION
- 7 EXISTING FIRE EXTINGUISHER & K CLASS, W/ WALL BRACKETS

**CODE SUMMARY**

DESIGNED BY: FLA FIRE PROTECTION CODE, 6th Edition (2017)  
FLA BUILDING CODE, 6th Edition (2017)

OCCUPANCY CLASSIFICATION: ASSEMBLY:  
NFPA: 101 6.1.1.2: COLLEGES, 50 PERSONS & OVER.  
FBC: 303.4: ASSEMBLY GROUP A-3/453.5.1.

BUILDING CONSTRUCTION TYPE:  
453.8.3.1; NFPA 101 8.2.1 (A.8.2.1.2): TYPE II(000), NS

SF FOR TYPE II (FBC TABLE 506.2):  
ACTUAL NSFG = 6,880 SF ALLOWABLE SF = 9,500 SF PER FLOOR  
EXISTING BLDG v = 5,375 SF ADDITION = 3,605 SF  
TOTAL = 8,980 SF  
\*Fire Area = 11,895 SF\* 12,000 SF per FBC903.2.1.3 Grp A-3

FIRE SEPARATION AREA  
MECHANICAL/DATA = 360 SF  
\*Fire Area = 360 SF

ALLOWABLE AREA DETERMINATION PER 506.2 SINGLE OCCUPANCY, 1-STORY  
Aa = At \* (NS x I) = 9500 + (9500 x 32%) = 12,540  
Aa = Allowable Area (sf) = 9500 + (3040) = 12,540

At = Tabular allowable area factor per Table 506.2 = 9500  
NS = Tabular allowable area factor for Non-Sprinkle Bldg = 9500  
I = \*Area factor increase due to frontage (%), per 506.3 = 32%  
(See Below)

\*Allowable Frontage Determination Per 506.3:  
If = (F/P - 25)/W/30 = (57 - 25 x 1) / 321 / 560 - 25 = 32 / 30 = 1.07  
F = Bldg Perimeter fronting on Public Way or Open Space = 321'  
P = Perimeter of entire Building = 560'  
W = Width of Public Way (use 30' even if greater than 30') = 30'

HT ACTUAL: 1 STORY ALLOWABLE: 2 STORIES (504.3)  
21' HT/EXIST, 19'-6"/ADDITION 40'-0" HEIGHT

INTERIOR WALL & CEILING FIN REQ'S 39.3.3.2 (&A.10.2.2):  
CLASS A OR B IN EXIT OR EXIT ACCESS CORRIDOR; A, B, OR C IN ALL OTHER AREAS.  
ALL EXISTING OR NEW FINISHES ALUM, STEEL, OR GYP BD, CLASS A.

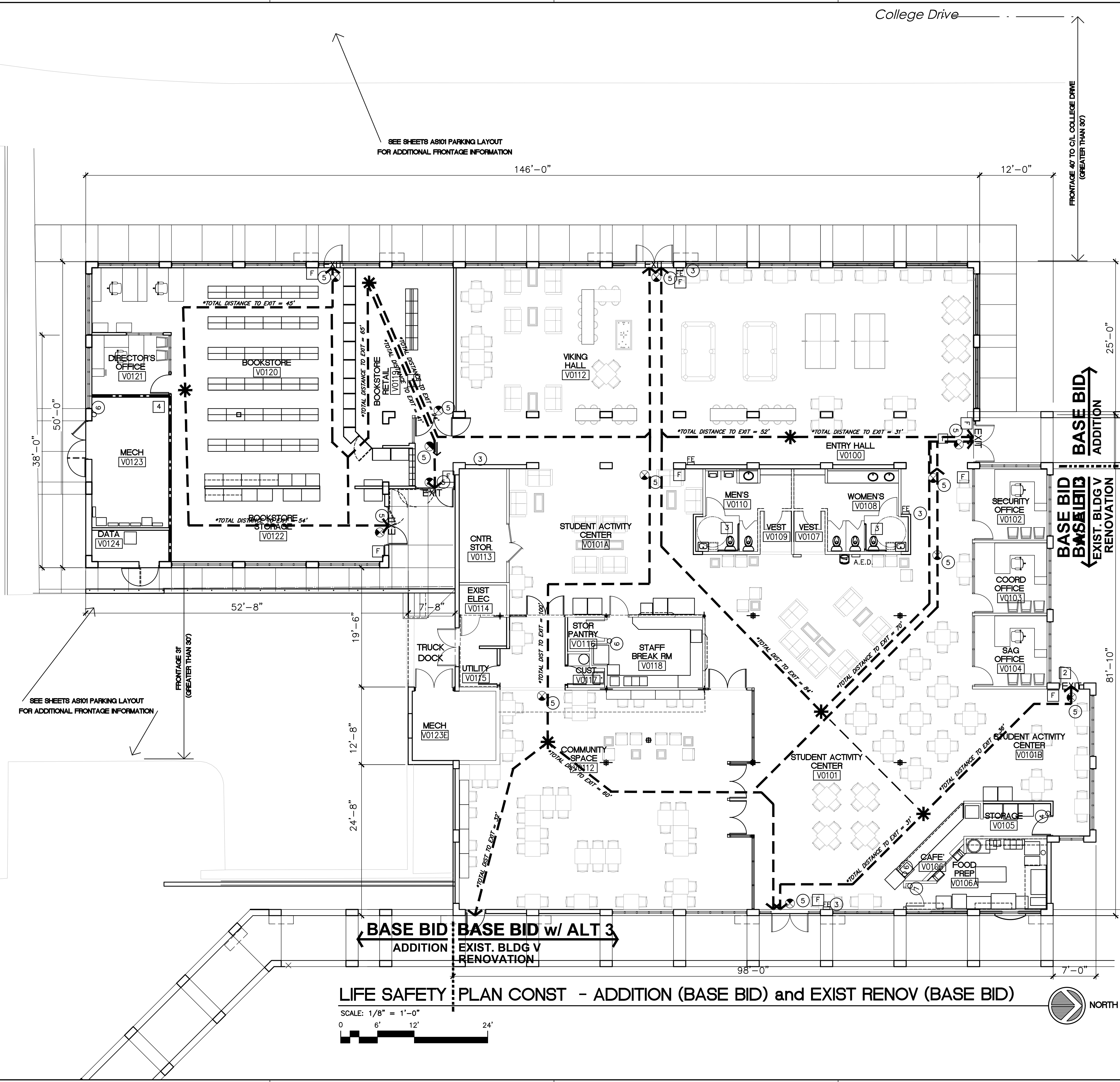
EXITING/MEANS OF EGRESS  
DEAD END CORRIDOR LIMIT (UNSPK): 20 FT (FFPC TABLE A.7.6);  
20 FT (FBC 1018.4); ACTUAL: NONE  
MAXIMUM COMMON PATH OF TRAVEL LIMIT: 75' (FBC); 75' (FFPC A.7.6)  
EXIT ACCESS TRAVEL DIST. LIMITS: 200'(1017.2 FBC); 200'/150'BUSINESS (FFPC A.7.6); 88' ACTUAL. MIN EXIT CORRIDOR WIDTH: 44"

OCCUPANT LOAD (FFPC TABLE 7.3.1.2; FBC TABLE 1004.1.2):  
ASSEMBLY, LESS CONCENTRATED: FFPC & FBC 15 NSF/PERSON  
Cafe' Seating Area = 964nsf/15 = 65  
Kitchen (Sim) = 365sf/100 = 4  
MERCANTILE USE (Bookstore Sim to):  
Sales Area, Street Flr(Sim) = 425sf/30 = 15  
Storage/Receiving (NonPub) = 1,830gsf/300gsf = 6  
BUSINESS USE:  
Concentrated (Sim) = 5,400sf/50 = 108  
Storage = 315gsf/300 = 1  
Remaining Business: = 2,596gsf/100 = 26  
11,895sf Persons = 225

MEANS OF EGRESS:  
REQ'D EGRESS INCHES: 225 x .2 = 45" FOR COMPONENT(S);  
PROVIDED:  
4 3' (-2") PAIR = 34" x 2 x 4 LOCATIONS = 272"  
2 3' (-2") SINGLE = 34" x 1 x 2 LOCATIONS = 68"  
Providing: 340"

PLUMBING FIXTURES, FBC-PLUMBING, CHPTR 4, TABLE 403.1:  
WATER CLOSETS, LAV'S  
if Assembly A3: 1 WC/125 Male, 1 WC/65 Female, 1 Lav/200  
225Persons/2=113 M, 113 F  
113 M/125=1; 113 F/65=1.7 say 2 WC; 225Persons/200=1.3say 2 if Business  
225Persons; 1WC/25 first 50 and 1 WC/50 after; 225Persons=50  
50 P/ 25 = 2, plus 175Persons / 50 = 4WC (Same as Assembly)  
PROVIDING: MEN'S, 2 WC, 2 Urinals; WOMEN'S 3 WC  
MEN'S, 2 Lav's; WOMEN'S 3 Lav's

DRINKING FOUNTAINS  
if Assembly A3, 1DF/500; if Business 1DF/ 100  
PROVIDING: 1 Lo, w/ bottle re-fill; Cafe' provides drinking water.  
410.4 SUBSTITUTION: "WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQ'D..."



D  
C  
B  
A

D  
C  
B  
A

1

2

3

4

5

1

2

3

4

5





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NOTES

- TEMPORARY CONST FENCE & ACCESS GATE(S): 6' CHAIN LINK W/BLACK WIND SCREEN; LIMITS AS REQ'D BY CONTRACTOR FOR SECURED CONSTRUCTION OF ADDITION & RENO OF BLDG V.
- PAVING (INCLUDING STRIPPING, SURFACE, ASPHALT, CONCRETE, SUBBASE, ETC.) STRUCTURALLY IMPACTED AS A RESULT OF THE WORK OF THIS PROJECT ACTIVITY, SHALL BE REPLACED, AND/OR REPAIRED TO MATCH THE DESIGNATED SAMPLE. PRIOR TO START OF CONSTRUCTION, AN AREA SHALL BE IDENTIFIED TO SERVE AS SAMPLE, SUCH AS SE CORNER OF THE PARKING LOT. IT IS THE PROJECT INTENT THAT IF CARE PROVIDED, NO PAVING WORK REQUIRED.
- ELECTRICAL DRAWINGS INDICATE EXIST. LIGHT (& POLE & BASE) TO BE SALVAGED/TURN OVER TO COLLEGE; CONTRACTOR OPTION FOR LIGHT TO REMAIN & BE PROTECTED.
- ELECTRICAL DRAWINGS INDICATE EXIST. LIGHT TO REMAIN; CONTRACTOR OPTION FOR LIGHT TO BE SALVAGED & TURNED OVER TO COLLEGE IF IT SIMPLIFIES CONSTRUCTION. SEE ELECTRICAL & CIVIL.
- EXISTING LIGHT TO BE SALVAGED & TURNED OVER TO COLLEGE. SEE ELECTRICAL & CIVIL.
- STRIPPING FOR ADA ACCESSIBLE PARKING & ASSOCIATED RELOCATION, FIRE LANE, NO PARKING, ETC. TO BE PROVIDED BY OWNER.

PROJECT

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**RENOVATION WITH  
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FOR



**ST. JOHNS RIVER  
STATE COLLEGE**

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DRAWN BY:	ALS	
CHECKED BY:	MSB	

BID DOCUMENTS PHASE

SHEET TITLE

**ARCHITECTURAL  
SITE PLAN**

SHEET NUMBER

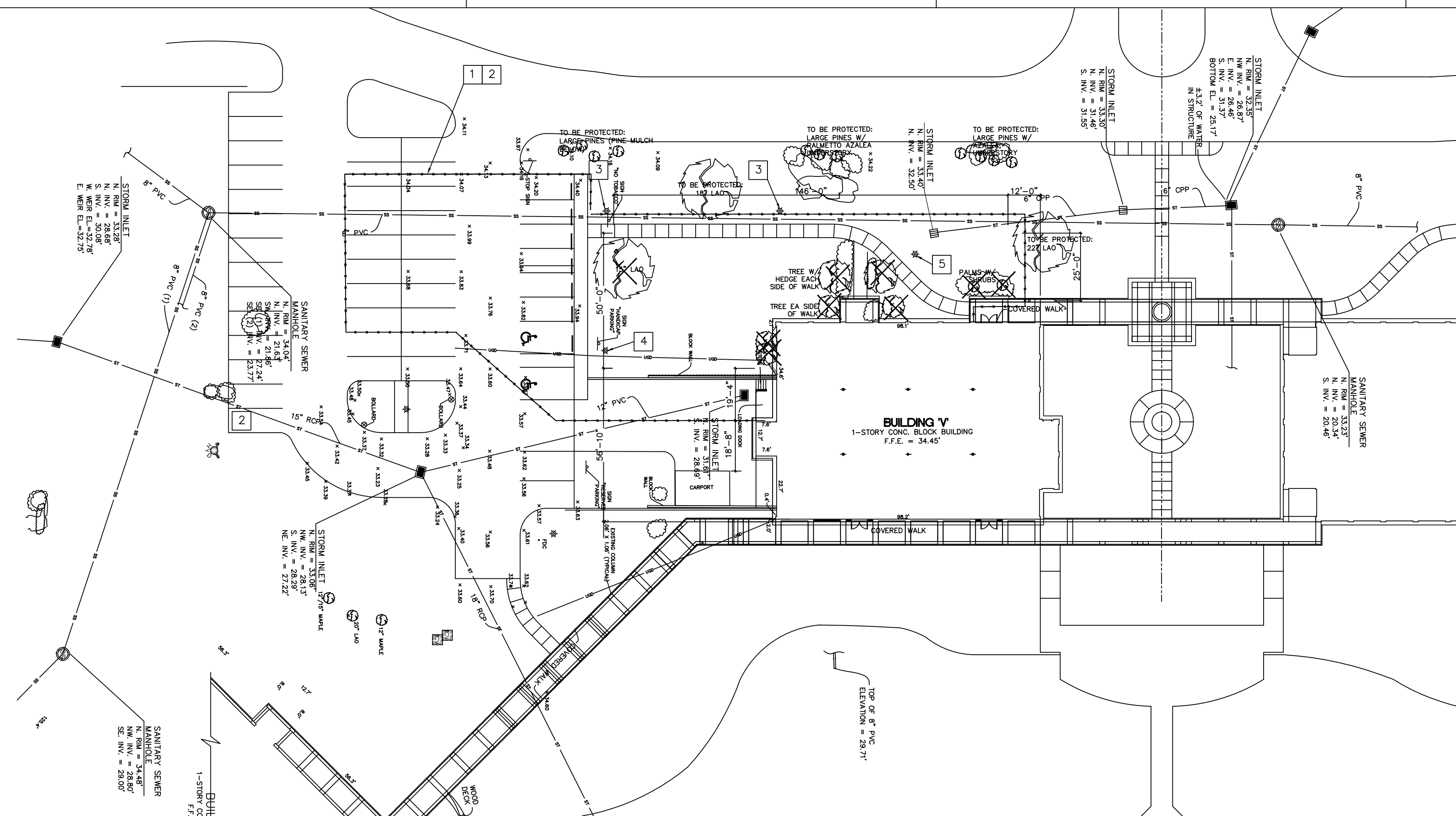
**AS101**

### ARCHITECTURAL SYMBOLS - ABBREVIATIONS LEGEND:

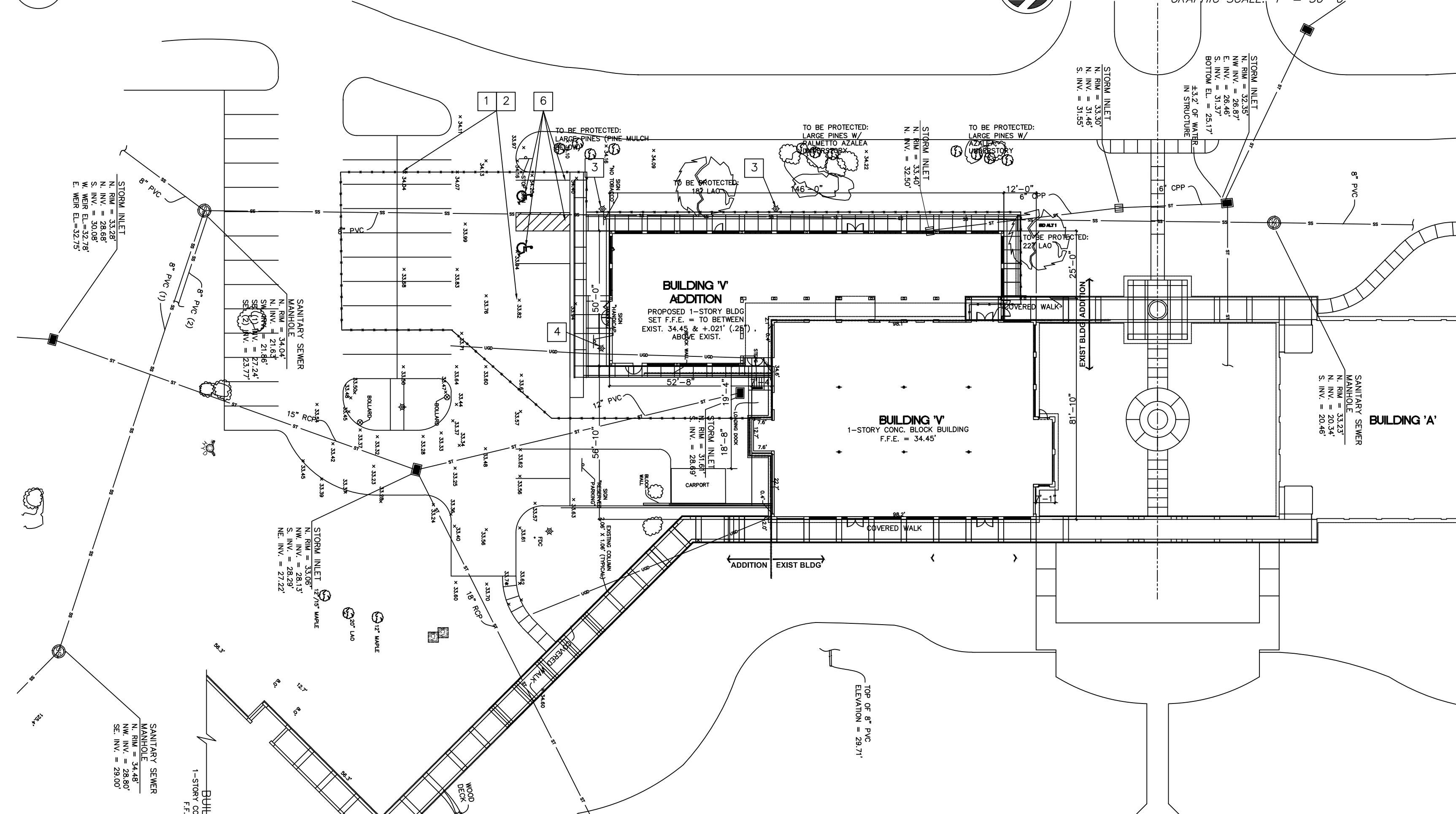
	EXISTING CONSTRUCTION TO REMAIN (U.N.O.)	A/E	ARCHITECT/ENGINEER
	EXISTING CONSTRUCTION TO BE REMOVED.	ACoust.	ACOUSTICAL
	AT CONTRACTOR'S OPTION: EXISTING CONSTRUCTION THAT MAY REMAIN AND BE INCORPORATED INTO NEW CONSTRUCTION.	ALUM.	ALUMINUM
	NEW METAL STUD/GYPSUM BOARD PARTITION	APPROX.	APPROXIMATE
	PARTITION TYPE	B.O.	BY OWNER
	EXISTING ROOM/SPACE NUMBER	CMU	CONCRETE MASONRY UNIT
	NEW ROOM/SPACE NUMBER	CONC.	CONCRETE
	DEMOLITION KEYNOTE REFERENCE	CONT.	CONTINUOUS
	CONSTRUCTION KEYNOTE REFERENCE	CJ	CONTROL JOINT
	WINDOW TYPE NUMBER INDICATES FLOOR	C.U.	CONDENSING UNIT
	DOOR TYPE	D	DEEP/DEPTH
	DOOR FRAME TYPE	EACH	EACH
	TOP NUMBER INDICATES SECTION OR ELEVATION IDENTIFICATION SECTION OR ELEVATION REFERENCE BOTTOM NUMBER INDICATES SHEET NUMBER WHICH SECTION OR ELEVATION IS SHOWN	EIFS	EXT INSUL AND FINISH SYSTEM
	TOP NUMBER INDICATES DETAIL IDENTIFICATION DETAIL REFERENCE BOTTOM NUMBER INDICATES SHEET NUMBER WHICH DETAIL IS SHOWN	ELECT.	ELECTRICAL
	FIRST NUMBER INDICATES DETAIL NUMBER DETAIL REFERENCE SECOND NUMBER INDICATES SHEET NUMBER WHICH DETAIL IS SHOWN	ELEV.	ELEVATION
	EXIT LIGHT. SHADED AREA INDICATES NUMBER OF FACES. ARROW DENOTES DIRECTIONAL ARROW OF EXIT LIGHT	EQ.	EQUAL
	FIRE EXTINGUISHER CABINET SEE DETAILS XX/AXXX	EQUIP.	EQUIPMENT
	FIRE ALARM PULL STATION	EW	ELECTRIC WATER COOLER
	FIRE ALARM STROBE LIGHT	EXIST	EXISTING
	FIRE ALARM HORN & STROBE LIGHT	EXT	EXTERIOR
		FIN	FINISH
		GALV.	GALVANIZED
		G.W.B.	GYPSUM BOARD
		H	HIGH/HEIGHT
		HORIZ.	HORIZONTAL
		HVAC	HEATING, VENTILATION AND AIR CONDITIONING
		INSUL	INSULATION
		LVT	LUXURY VINYL TILE
		MAX.	MAXIMUM
		MIN.	MINIMUM
		N.I.C.	NOT IN CONTRACT NUMBER
		NO.	NUMBER
		O.C.	ON CENTER
		OPP.	OPPOSITE
		P.S.F.	POUNDS PER SQUARE FOOT
		R.O.	ROUGH OPENING
		SIM.	SIMILAR
		S.F.	SQUARE FEET
		STOR.	STORAGE
		TYP.	TYPICAL
		U.N.O.	UNLESS NOTED OTHERWISE
		V.C.T.	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		W	WIDE/WIDTH
		W/	WITH
		CL	CENTER LINE
		±	PLUS OR MINUS
		#	NUMBER

### GENERAL NOTES APPLY TO ALL DRAWINGS:

- THE DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING CONDITIONS. DIMENSIONS, SIZES, QUANTITIES AND LOCATIONS OF EXISTING WALLS, STRUCTURAL ELEMENTS AND EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO ACQUAINT HIMSELF WITH THE CONDITIONS AFFECTING HIS WORK.
- COORDINATION: THE MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DRAWINGS/SPECIFICATIONS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS/SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE ALL THE INFORMATION ON THE DRAWINGS BEFORE FABRICATION AND/OR INSTALLATION OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS.
- FIELD VERIFICATION: PRIOR TO SCHEDULING OF WORK AND COMMENCING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY OMISSIONS OF EQUIPMENT OR MATERIALS ON DRAWINGS.
- LEGEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. UNIVERSITY STANDARD SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS, EXCEPT WHERE OTHERWISE STATED.
- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, OR CENTERLINE OF STEEL UNLESS NOTED AS "FINISH", IN WHICH CASE THEY ARE CRITICAL DIMENSIONS TO HOLD TO FACE OF FINISHED WALL SURFACE.
- FRAMING: CONTRACTOR SHALL PROVIDE ALL REQUIRED BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT AS NECESSARY FOR EQUIPMENT, AND ALL OTHER ITEMS REQUIRING THE SAME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH MANUFACTURER(S) AND INSTALLER(S) AND REVIEW SHOP DRAWINGS FOR BACKING, UTILITIES CONNECTION, ETC.
- ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES IMPACTED BY THE WORK THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS.
- PATCH, REPAIR OR REPLACE AS REQUIRED, ALL MATERIALS, FINISHES & LANDSCAPING DAMAGED DURING THE WORK. SEE NOTE [2].
- WHERE ELECTRICAL AND TECHNOLOGY FIXTURES AND EQUIPMENT IS REMOVED, RELOCATED OR MODIFIED, THE CONTRACTOR SHALL RESTORE CONTINUITY TO THE AFFECTED SYSTEMS.



**A1 ARCHITECTURAL SITE PLAN - EXISTING/START OF CONSTRUCTION**  
SCALE: 1" = 30'-0"



**A1 ARCHITECTURAL SITE PLAN - BLDG V ADDITION CONSTRUCTED**  
SCALE: 1" = 30'-0"



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NOTES FOR A101. SEE DIMS, NOTES, ETC A102.

- 1 DEMO CMU W/ STUCCO &/OR STOREFRONT SYSTEM, UP TO HEADER & REPAIR WALL. REPAIR/PREPARE FLOOR FOR LVT.
- 2 SALVAGE EXIST DR, FRAME, HRDWR. & REUSE WHERE INDICATED, OR TURN OVER TO COLLEGE.
- 3 TO INCREASE LAV. ACCESSIBILITY, LAV SHIFTS (SEE PLUMB). REMOVE EXIST WALL FOR NEW WALL W/TILE, EXTENDED CEILING, STEPPED OR FLUSH. PREP FLR FOR TILE. SEE A102.
- 4 DEMO WALL UP TO +/- 8' AFF; REPAIR WALL; REPAIR/PREPARE FLOOR FOR LVT.
- 5 DEMO WALL UP TO CEILING & REPAIR CEILING & WALL; REPAIR/PREPARE FLOOR FOR LVT.
- 6 DEMO CARPET, BASE; PREP FLOOR FOR LVT.
- 7 BASE BID: DEMO/SALVAGE EXIST STOREFRONT PAIR OF DOORS (FOR 2 NEW PAIR), PROVIDE LVT TRANS. AT FLOOR & TRANSITION TRIM AT CEILING; SEE REFLECTED CEILING PLAN. SALV. DOORS TO BE REUSED IN ADDITION.
- 8 COORDINATING SLOPE WITH NEW SIDEWALK, INFILL/EXTEND 1 RISE EXIST DOCK STEPS, CONC SLAB WARPED TO ALIGN W/ EXIST & NEW CONC WALK. SEE SECTIONS.
- 9 SALVAGE STOREFRONT DR, FRAME, HRDWR., AND TURN OVER TO COLLEGE. REPAIR/PREPARE FLOOR FOR LVT.

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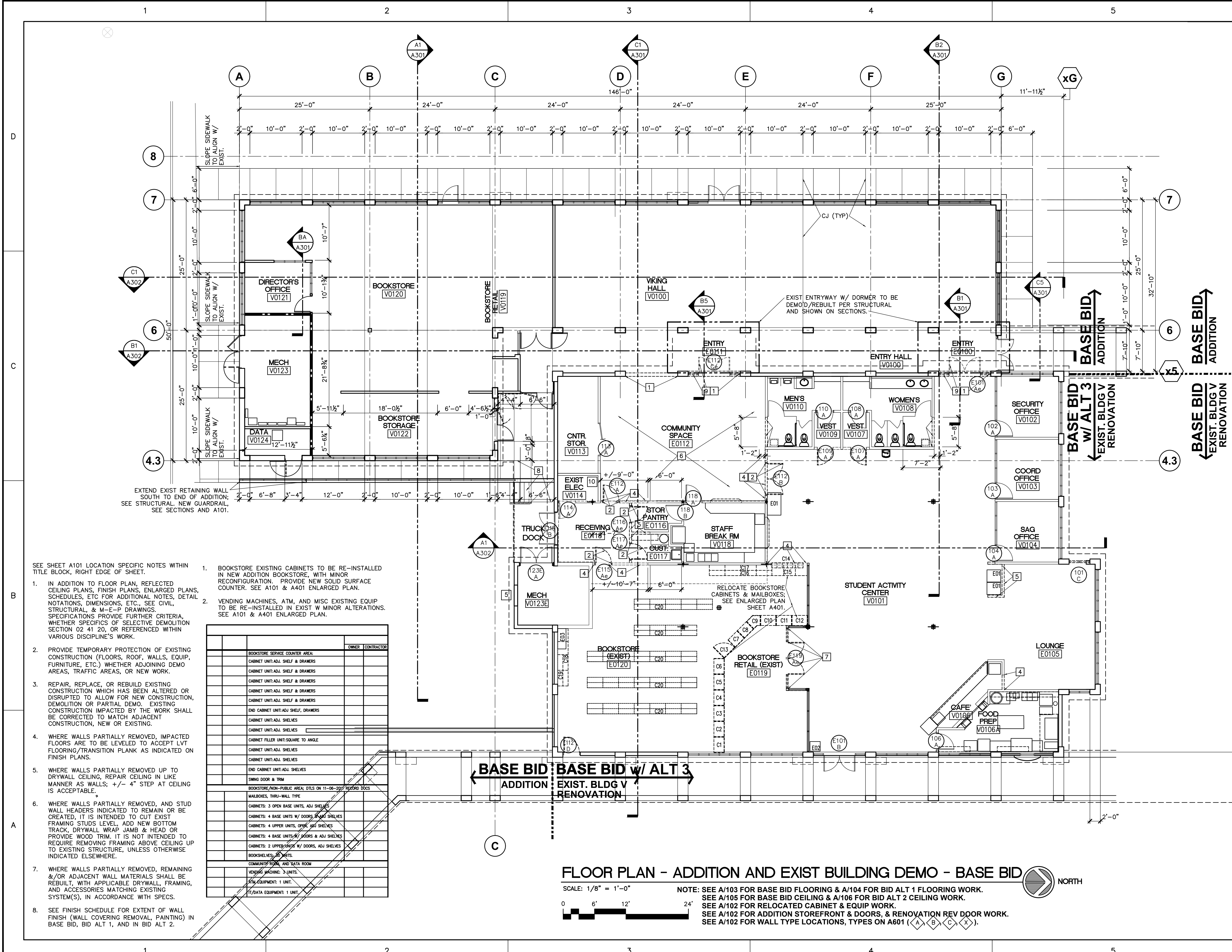
BID DOCUMENTS PHASE

SHEET TITLE

FLOOR PLAN: ADDITION, MINOR DEMO

SHEET NUMBER

A101



- SEE SHEET A101 LOCATION SPECIFIC NOTES WITHIN TITLE BLOCK, RIGHT EDGE OF SHEET.
1. IN ADDITION TO FLOOR PLAN, REFLECTED CEILING PLANS, FINISH PLANS, ENLARGED PLANS, SCHEDULES, ETC FOR ADDITIONAL NOTES, DETAIL NOTATIONS, DIMENSIONS, ETC., SEE CIVIL, STRUCTURAL, & M-E-P DRAWINGS. SPECIFICATIONS PROVIDE FURTHER CRITERIA, WHETHER SPECIFICS OF SELECTIVE DEMOLITION SECTION 02 41 20, OR REFERENCED WITHIN VARIOUS DISCIPLINE'S WORK.
  2. PROVIDE TEMPORARY PROTECTION OF EXISTING CONSTRUCTION (FLOORS, ROOF, WALLS, EQUIP, FURNITURE, ETC.) WHETHER ADJOINING DEMO AREAS, TRAFFIC AREAS, OR NEW WORK.
  3. REPAIR, REPLACE, OR REBUILD EXISTING CONSTRUCTION WHICH HAS BEEN ALTERED OR DISRUPTED TO ALLOW FOR NEW CONSTRUCTION, DEMOLITION OR PARTIAL DEMO. EXISTING CONSTRUCTION IMPACTED BY THE WORK SHALL BE CORRECTED TO MATCH ADJACENT CONSTRUCTION, NEW OR EXISTING.
  4. WHERE WALLS PARTIALLY REMOVED, IMPACTED FLOORS ARE TO BE LEVELED TO ACCEPT LVT FLOORING/TRANSITION PLANK AS INDICATED ON FINISH PLANS.
  5. WHERE WALLS PARTIALLY REMOVED UP TO DRYWALL CEILING, REPAIR CEILING IN LIKE MANNER AS WALLS; +/- 4" STEP AT CEILING IS ACCEPTABLE.
  6. WHERE WALLS PARTIALLY REMOVED, AND STUD WALL HEADERS INDICATED TO REMAIN OR BE CREATED, IT IS INTENDED TO CUT EXIST FRAMING STUDS LEVEL, ADD NEW BOTTOM TRACK, DRYWALL WRAP JAMB & HEAD OR PROVIDE WOOD TRIM. IT IS NOT INTENDED TO REQUIRE REMOVING FRAMING ABOVE CEILING UP TO EXISTING STRUCTURE, UNLESS OTHERWISE INDICATED ELSEWHERE.
  7. WHERE WALLS PARTIALLY REMOVED, REMAINING &/OR ADJACENT WALL MATERIALS SHALL BE REBUILT, WITH APPLICABLE DRYWALL, FRAMING, AND ACCESSORIES MATCHING EXISTING SYSTEM(S), IN ACCORDANCE WITH SPECS.
  8. SEE FINISH SCHEDULE FOR EXTENT OF WALL FINISH (WALL COVERING REMOVAL, PAINTING) IN BASE BID, BID ALT 1, AND IN BID ALT 2.

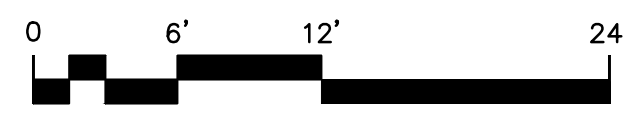
1. BOOKSTORE EXISTING CABINETS TO BE RE-INSTALLED IN NEW ADDITION BOOKSTORE, WITH MINOR RECONFIGURATION. PROVIDE NEW SOLID SURFACE COUNTER. SEE A101 & A401 ENLARGED PLAN.
2. VENDING MACHINES, ATM, AND MISC EXISTING EQUIP TO BE RE-INSTALLED IN EXIST W MINOR ALTERATIONS. SEE A101 & A401 ENLARGED PLAN.

OWNER	CONTRACTOR
BOOKSTORE SERVICE COUNTER AREA	
CABINET UNIT:ADJ. SHELF & DRAWERS	
CABINET UNIT:ADJ. SHELF & DRAWERS	
CABINET UNIT:ADJ. SHELF & DRAWERS	
CABINET UNIT:ADJ. SHELF & DRAWERS	
END CABINET UNIT:ADJ. SHELF, DRAWERS	
CABINET UNIT:ADJ. SHELVES	
CABINET UNIT:ADJ. SHELVES	
END CABINET UNIT:ADJ. SHELVES	
CABINET UNIT:ADJ. SHELVES	
CABINET UNIT:ADJ. SHELVES	
END CABINET UNIT:ADJ. SHELVES	
SWING DOOR & TRIM	
BOOKSTORE/NON-PUBLIC AREA: DTLS ON 11-06-2017 REZORD DOCS	
MAILBOXES, THRU-WALL TYPE	
CABINETS: 3 OPEN BASE UNITS, ADJ SHELVES	
CABINETS: 4 BASE UNITS W/ DOORS & ADJ SHELVES	
CABINETS: 4 UPPER UNITS, OPEN ADJ SHELVES	
CABINETS: 4 BASE UNITS W/ DOORS & ADJ SHELVES	
CABINETS: 2 UPPER/SHRUBS W/ DOORS, ADJ SHELVES	
BOOKSHELVES: 2 UNITS	
COMMUNITY ROOM AND DATA ROOM	
VENDING MACHINE: 3 UNITS	
ATM EQUIPMENT: 1 UNIT	
IT/DATA EQUIPMENT: 1 UNIT	

**FLOOR PLAN - ADDITION AND EXIST BUILDING DEMO - BASE BID**

SCALE: 1/8" = 1'-0"

NOTE: SEE A/103 FOR BASE BID FLOORING & A/104 FOR BID ALT 1 FLOORING WORK.  
SEE A/105 FOR BASE BID CEILING & A/106 FOR BID ALT 2 CEILING WORK.  
SEE A/102 FOR RELOCATED CABINET & EQUIP WORK.  
SEE A/102 FOR ADDITION STOREFRONT & DOORS, & RENOVATION REV DOOR WORK.  
SEE A/102 FOR WALL TYPE LOCATIONS, TYPES ON A601 (A, B, C, X).







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NOTES APPLY TO A102

- 1 PATCH & PAINT TO MATCH WHERE WALL &/OR STOREFRONT REMOVED; PROVIDE LVT TRANS.
- 2 AT FRAME FOR RELOCATED DOOR, CAULK & TOUCH-UP PAINT AS BASE BID, AND AS INDICATED FOR ALL FRAMES BID ALT 1.
- 3 TO INCREASE ACCESSIBILITY, SHIFT LAV (SEE A101 DEMO, A103, A401 & PLUMB); PROVIDE NEW GB WALL, EXTEND GYP BD CEILING, FLUSH OR STEPPED ALIGNING W EXIST TILE.
- 4 FINISH TO MATCH EXIST CEILING & FLOOR WHERE WALL REMOVED; SEE A101, A103, A105.
- 5 NOT USED.
- 6 NOT USED.
- 7 BASE BID: EXIST STOREFRONT TO BE DEMO'D & PROVIDE TRANSITION STRIP AT FLOOR & CEILING, SEE A103 & A105; SEE A5/A501 CONTRACTOR OPTION WITHOUT STOREFRONT FRAME DEMO OTHER THAN GLASS REMOVAL. DOORS MOVED TO ADDITION BOOKSTORE.
- 8 COORDINATING SLOPE WITH NEW SIDEWALK, INFILL/EXTEND 1 RISE EXIST DOCK STEPS, CONC SLAB WARPED TO ALIGN W/ EXIST & NEW CONC WALK. SEE SECTIONS B1/A303.
- 9 CEILING CLOUD ABOVE; SEE A105 & SECTIONS.
- 10 2 HR. AREA SEPARATION WALL; SEE SECTIONS.
- 11 NEW WALL, 1/2" GB EA SIDE 4" STUD TYP., PAINT

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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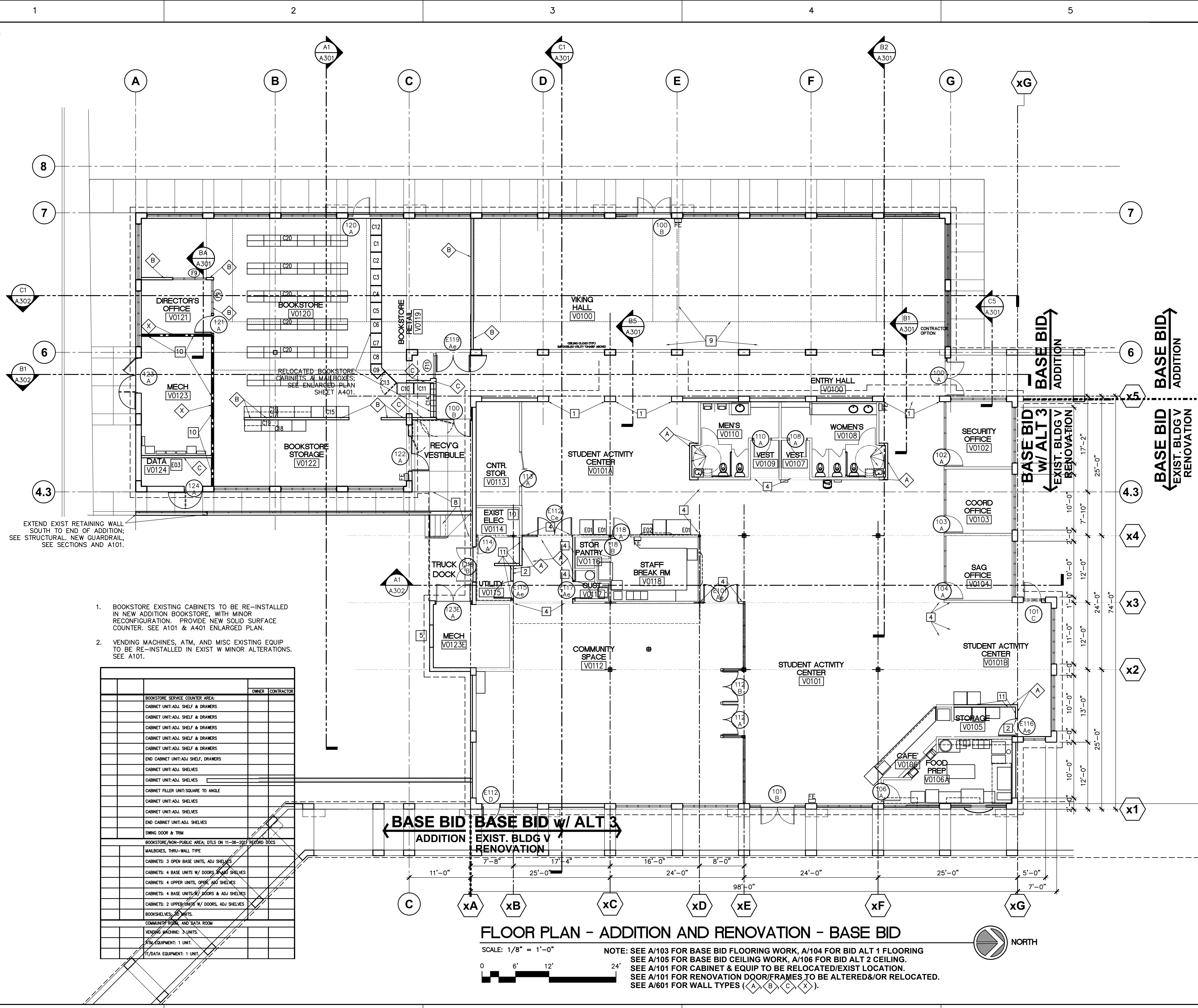
BID DOCUMENTS PHASE

SHEET TITLE

FLOOR PLAN: ADDITION,  
MINOR RENOVATION

SHEET NUMBER

A102



EXTEND EXIST RETAINING WALL SOUTH TO END OF ADDITION; SEE STRUCTURAL NEW GUARDRAIL; SEE SECTIONS AND A101.

1. BOOKSTORE EXISTING CABINETS TO BE RE-INSTALLED IN NEW ADDITION BOOKSTORE, WITH MINOR RECONFIGURATION. PROVIDE NEW SOLID SURFACE COUNTER. SEE A101 & A401 ENLARGED PLAN.
2. VENDING MACHINES, ATM, AND MISC EXISTING EQUIP TO BE RE-INSTALLED IN EXIST W MINOR ALTERATIONS. SEE A101.

	OWNER	CONTRACTOR
BOOKSTORE SERVICE COUNTER AREA		
CABINET UNIT: ADJ. SHELF & DRAWERS		
CABINET UNIT: ADJ. SHELF & DRAWERS		
CABINET UNIT: ADJ. SHELF & DRAWERS		
CABINET UNIT: ADJ. SHELF & DRAWERS		
CABINET UNIT: ADJ. SHELF & DRAWERS		
END CABINET UNIT: ADJ. SHELF, DRAWERS		
CABINET UNIT: ADJ. SHELVES		
CABINET UNIT: ADJ. SHELVES		
CABINET FILLER UNIT: SQUARE TO ANGLE		
CABINET UNIT: ADJ. SHELVES		
CABINET UNIT: ADJ. SHELVES		
END CABINET UNIT: ADJ. SHELVES		
SWING DOOR & TRIM		
BOOKSTORE/NON-PUBLIC AREA: DTLS ON 11-08-2019 RECORD DOCS		
MAILBOXES, THRU-WALL TYPE		
CABINETS: 3 OPEN BASE UNITS, ADJ SHELVES		
CABINETS: 4 BASE UNITS W/ DOORS, ADJ SHELVES		
CABINETS: 4 UPPER UNITS, OPK, ADJ SHELVES		
CABINETS: 4 BASE UNITS W/ DOORS & ADJ SHELVES		
CABINETS: 2 UPPER UNITS W/ DOORS, ADJ SHELVES		
BOOKSHELVES, 60 UNITS		
COMMUNITY ROOM, AND DATA ROOM		
VENDING MACHINE: 3 UNITS		
ATM EQUIPMENT: 1 UNIT		
IT/DATA EQUIPMENT: 1 UNIT		

BASE BID ADDITION  
BASE BID w/ ALT 3  
EXIST. BLDG V RENOVATION

FLOOR PLAN - ADDITION AND RENOVATION - BASE BID

SCALE: 1/8" = 1'-0"



NOTE: SEE A/103 FOR BASE BID FLOORING WORK, A/104 FOR BID ALT 1 FLOORING  
SEE A/105 FOR BASE BID CEILING WORK, A/106 FOR BID ALT 2 CEILING.  
SEE A/101 FOR CABINET & EQUIP TO BE RELOCATED/EXIST LOCATION.  
SEE A/101 FOR RENOVATION DOOR/FRAMES TO BE ALTERED&/OR RELOCATED.  
SEE A/601 FOR WALL TYPES (A, B, C, D, X).





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NOTES (SEE FINISH SCHEDULE FOR ALL OTHER)

- WHERE CMU, STRFRNT, WALL REMOVED, PATCH FLOOR & PROVIDE FULL WALL WIDTH TRANSITION
- EXIST COMMUNITY ROOM: DEMO EXIST CARPET, PREP FLOOR TO RECEIVE NEW LVT AS SHOWN
- EXTENDED STALL: PATCH TILE AT DEMO'D AND PROVIDE NEW IN EXTENSION; SEE A401.

FLOOR FINISH TYPES

- TYPE V1: 18"x18" LUXURY VINYL TILE BANDS (OR FIELD WHERE INDICATED ON PLANS)
- TYPE V2: 18"x18" LUXURY VINYL TILE (FIELD)
- TYPE V3: 4" X 36" LUXURY VINYL PLANK FIELD
- TYPE V4: 3" X 36" LUXURY VINYL PLANK BORDER, FIELD IN BOOKSTORE LOBBY (NOTE V5 BELOW).
- TYPE V5: 3" X 36" LUXURY VINYL PLANK, CHARCOAL INSET AT ACCENT AREA, SEE PLAN.
- TILE T1: PORCELAIN TILE COLOR 1
- TYPE C1: CARPET, FIELD
- TYPE C2: CARPET, WALK-OFF
- TYPE V6: VINYL TRANSITION TO MATCH EXIST.
- TYPE SS: SEE SCHED (EXISTING OR OTHER)

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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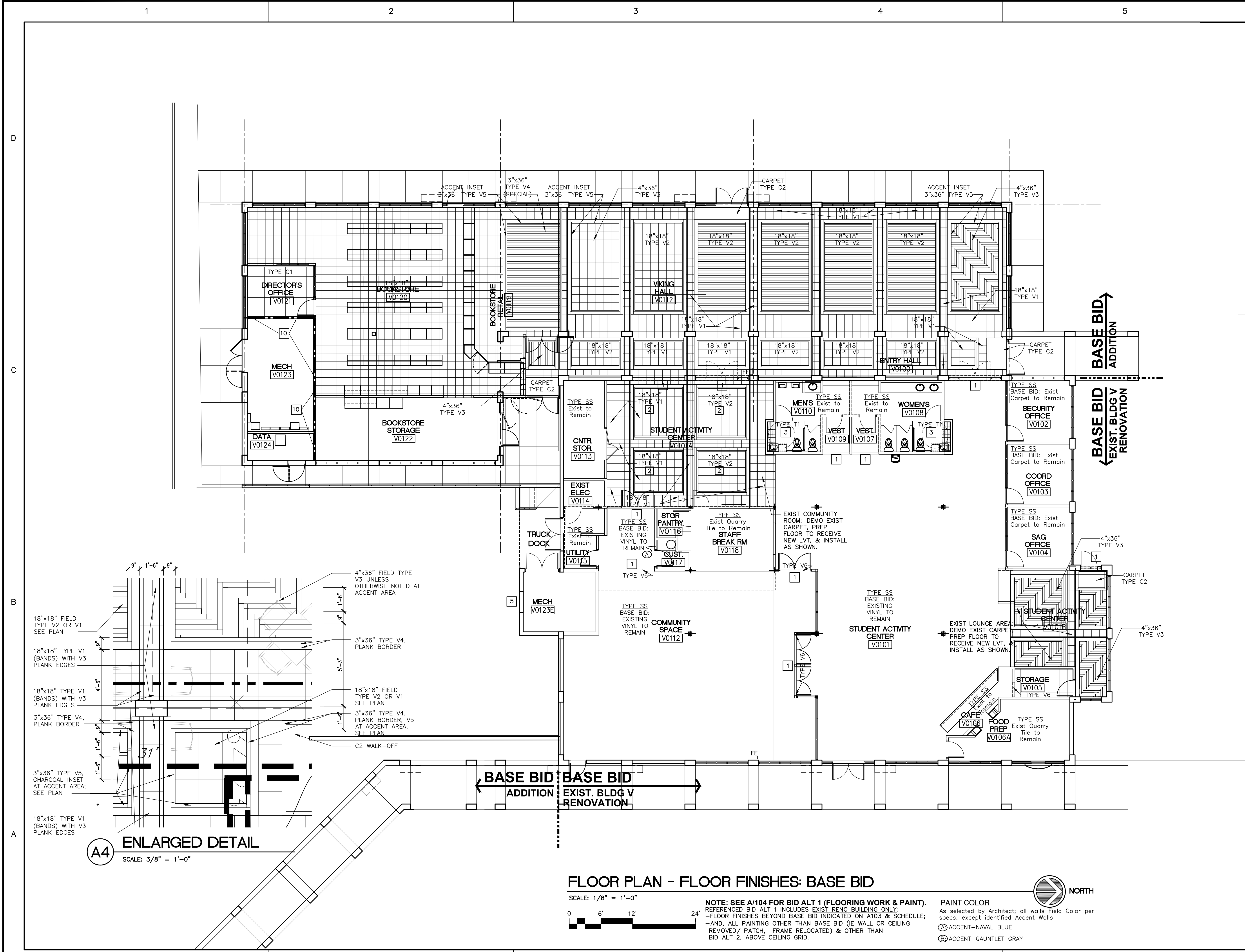
BID DOCUMENTS PHASE

SHEET TITLE

FLOOR PLAN:  
FLOOR FINISHES

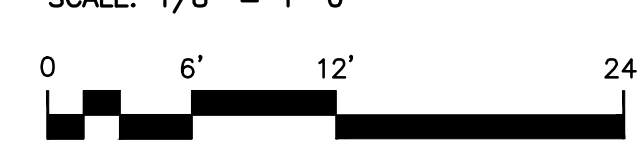
SHEET NUMBER

A103



FLOOR PLAN - FLOOR FINISHES: BASE BID

SCALE: 1/8" = 1'-0"



NOTE: SEE A/104 FOR BID ALT 1 (FLOORING WORK & PAINT).  
REFERENCED BID ALT 1 INCLUDES EXIST RENO BUILDING ONLY:  
-FLOOR FINISHES BEYOND BASE BID INDICATED ON A103 & SCHEDULE;  
-AND, ALL PAINTING OTHER THAN BASE BID (IE WALL OR CEILING  
REMOVED/ PATCH, FRAME RELOCATED) & OTHER THAN  
BID ALT 2, ABOVE CEILING GRID.

PAINT COLOR  
As selected by Architect; all walls Field Color per  
specs, except identified Accent Walls  
Ⓐ ACCENT-NAVAL BLUE  
Ⓑ ACCENT-GAUNTLET GRAY



NORTH





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NOTES (SEE A103/BASE BID, AND A601/FINISH SCHEDULE FOR ALL OTHER)

BID ALT 1 INCLUDES EXIST RENO BUILDING ONLY:  
-FLOOR FINISHES BEYOND BASE BID INDICATED ON A103 AND SCHEDULE;  
-ALL PAINTING, OTHER THAN BASE BID (IE WALL OR CEILING REMOVED/PATCH, FRAME RELOCATED) AND OTHER THAN BID ALT 2, ABOVE CEILING GRID.  
PAINT COLOR As selected by Architect. All walls Field Color per specs, except identified Accent Walls  
Ⓐ ACCENT-NAVAL BLUE

Ⓑ ACCENT-GAUNTLET GRAY  
FLOOR FINISH TYPES INSTALL OVER EXIST VCT  
TYPE V1: 18"x18" LUXURY VINYL TILE BANDS (OR FIELD WHERE INDICATED ON PLANS)  
TYPE V2: 18"x18" LUXURY VINYL TILE (FIELD)  
TYPE V3: 4" X 36" LUXURY VINYL PLANK FIELD  
TYPE V4: 3" X 36" LUXURY VINYL PLANK BORDER, FIELD IN BOOKSTORE LOBBY (NOTE V5 BELOW).  
TYPE V5: 3" X 36" LUXURY VINYL PLANK, CHARCOAL INSET AT ACCENT AREA, SEE PLAN.  
TILE T1: PORCELAIN TILE COLOR 1  
TYPE C1: CARPET, FIELD  
TYPE C2: CARPET, WALK-OFF  
TYPE V6: VINYL TRANSITION TO MATCH EXIST.  
TYPE SS: SEE SCHED (EXISTING OR OTHER)

PROJECT

BID NUMBER: BID-SJR-05-2019  
RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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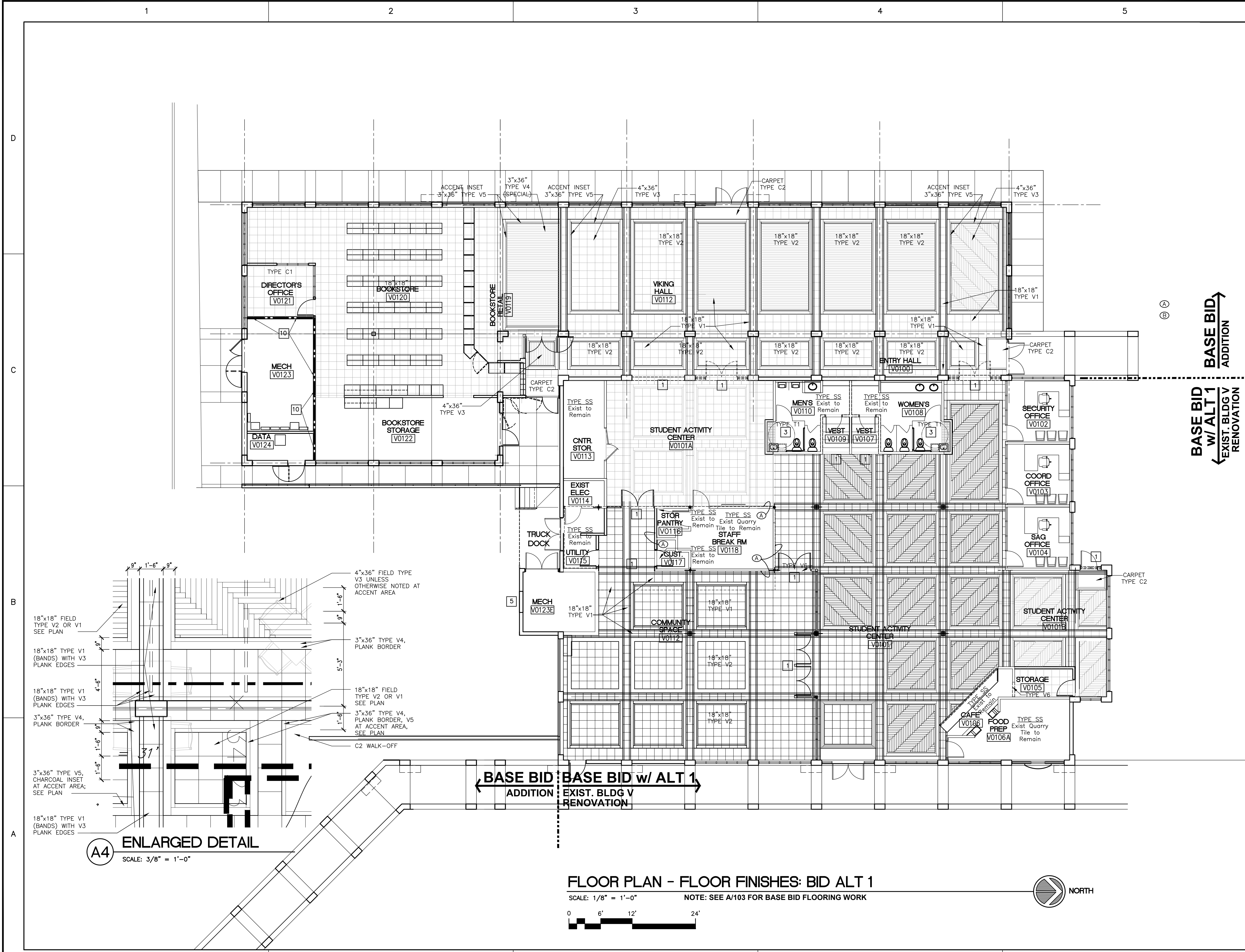
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SHEET TITLE

FLOOR PLAN:  
FLOOR FINISHES-BID ALT 1

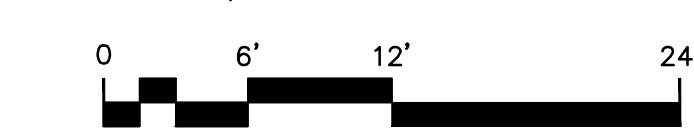
SHEET NUMBER

A104



**A4 ENLARGED DETAIL**  
SCALE: 3/8" = 1'-0"

**FLOOR PLAN - FLOOR FINISHES: BID ALT 1**  
SCALE: 1/8" = 1'-0" NOTE: SEE A103 FOR BASE BID FLOORING WORK





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NOTES (APPLY TO THIS SHEET ONLY)

- SEE REFLECTED CEILING (RCP) LEGEND AT LEFT.  
NOTE: BASE BID EXIST BUILDING CEILING SCOPE OF WORK LIMITED TO REPAIRS ASSOCIATED WITH DEMO'D WALLS, OR NEW WALLS UP TO & STOPPING AT EXIST. CEILING, OR EXTENDED CEILING AS INDICATED IN TWO (2) HC STALLS.  
NOTE: EXAMPLES OF EXISTING TO REMAIN AND BE PROTECTED DURING AND AT THE COMPLETION OF CONSTRUCTION: ALL LIGHT FIXTURES TO REMAIN; EXISTING SIGNS, CAMERAS, SMOKE DETECTORS, AND OTHER DEVICES; ALL DIFFUSERS, RETURN AIR GRILLES, EXHAUST; FANS; ETC.
- EXISTING STEPPED GWB ON MTL FRAME CEILING ACCENT TO REMAIN; PROTECT FOR BASE BID. PAINTED AS A PART OF BID ALT 1.
  - WALL DEMO'D UP TO +/- 8' AFF WITH THE INTENT OF REQUIRING NO CEILING WORK IN THIS LOCATION.
  - EXTENDED STALL: PATCH CEILING AT DEMO'D & PROVIDE/EXTEND GWB CEILING ON MTL FRAMING, FLUSH OR STEPPED ALIGNING W EXIST TILE (SEE A401 ADDITIONAL INFO).
  - WHERE WALL REMOVED, PATCH & FINISH TO MATCH EXIST ADJ. CEILING; SEE ALSO A101.
  - IN ADDITION: EXPOSED STRUCTURAL SYS (ROOF DECK, JOISTS, BEAMS, CHANNELS, ETC.) TO BE PAINTED.
  - CEILING CLOUD; SEE SECTIONS FOR DETAILS.
  - EXIST PULL-DOWN STAIR TO MEZZ IN CEILING.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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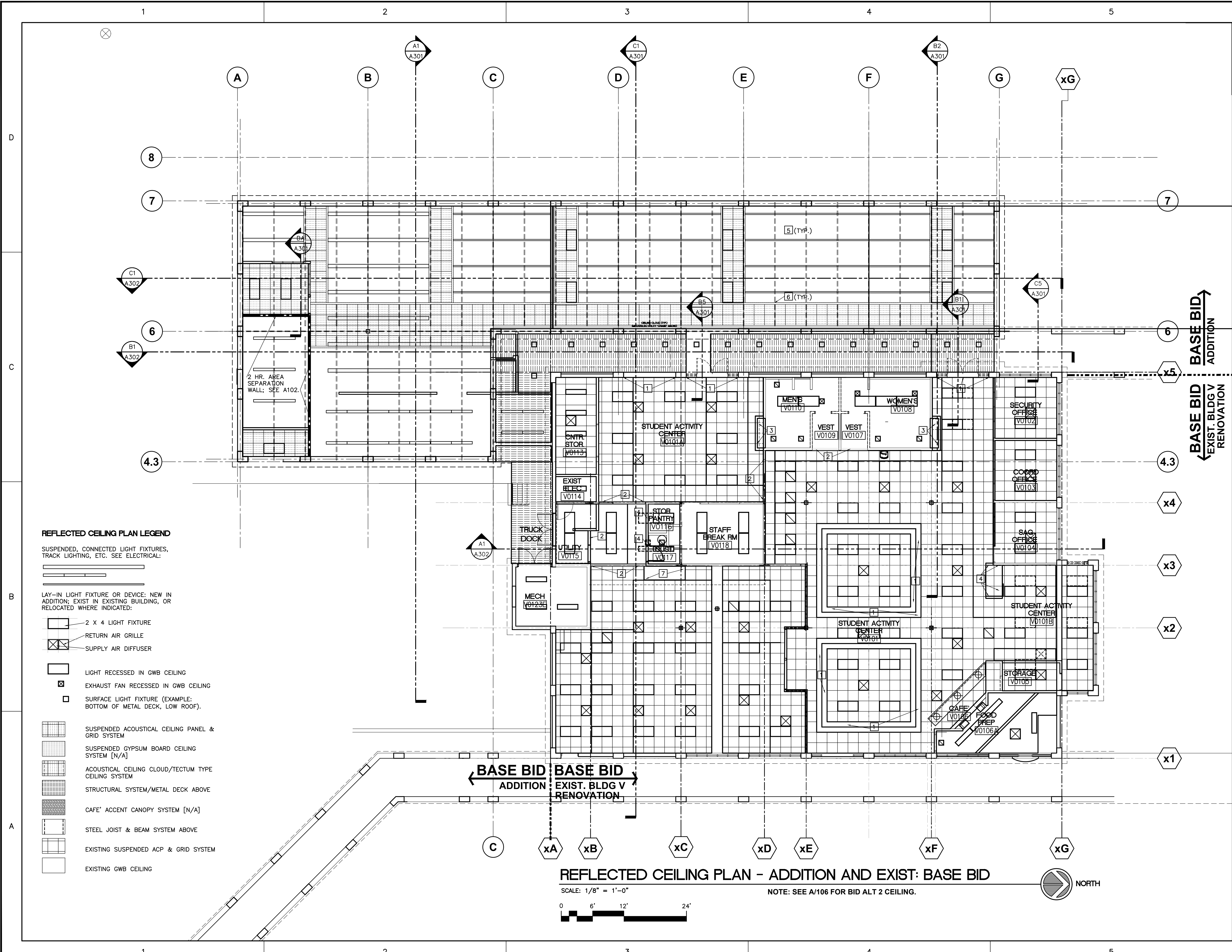
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SHEET TITLE

REFLECTED CEILING PLAN  
ADDITION-RENOVATION

SHEET NUMBER

A105







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NOTES APPLY TO THIS SHEET ONLY; BID ALT 2 IS ONLY WITHIN OR ON EXTERIOR PERIMETER OF EXISTING BLDG

BID ALT 2/EXISTING BUILDING: BESIDES MINIMALIST CHARACTER, ALT 2 ALSO FACILITATES MISC ELEC & MECH AS INDICATED BELOW. SEE A105 FOR BASE BID CEILING AREA WORK. EXISTING SUSPENDED ACOUSTICAL CEILING PANEL & GRID SYSTEM WITHIN HATCHED DEMARCATION AREA:  
 ▣ SALVAGE PANELS FOR REUSE UNLESS STAINED & TURN-OVER TO COLLAGE/  
 ▣ AREA ABOVE THE GRID: PAINT EXPOSED STRUCTURE, DUCTS, EQUIPMENT, PIPE, CONDUIT, ETC., VISIBLE FROM STANDING POSITION FROM WITHIN 6" HORIZONTALLY OF DEMARCATION.

▣ ALL LIGHT FIXTURES TO REMAIN, & BE PROTECTED DURING ABOVE THE GRID PAINTING PROCESS.  
 ▣ SUSPEND FROM STRUCTURE ABOVE, EXISTING: SIGNS, CAMERA'S, SMOKE DETECTORS, & OTHER DEVICES; ALL TO BE PROTECTED DURING ABOVE THE GRID PAINTING PROCESS.  
 ▣ ALL DIFFUSER AND RETURN AIR GRILLES TO REMAIN, AND BE PROTECTED DURING ABOVE THE GRID PAINTING PROCESS.

▣ VARIOUS ELECTRICAL WORK A PART OF BID ALT 2, SHOWN ON ELECTRICAL AS BEING BID ALT 2.  
 ▣ HVAC WORK A PART OF BID ALT 2, SHOWN ON MECHANICAL SHEETS AS BEING BID ALT 2.

PROJECT

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RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

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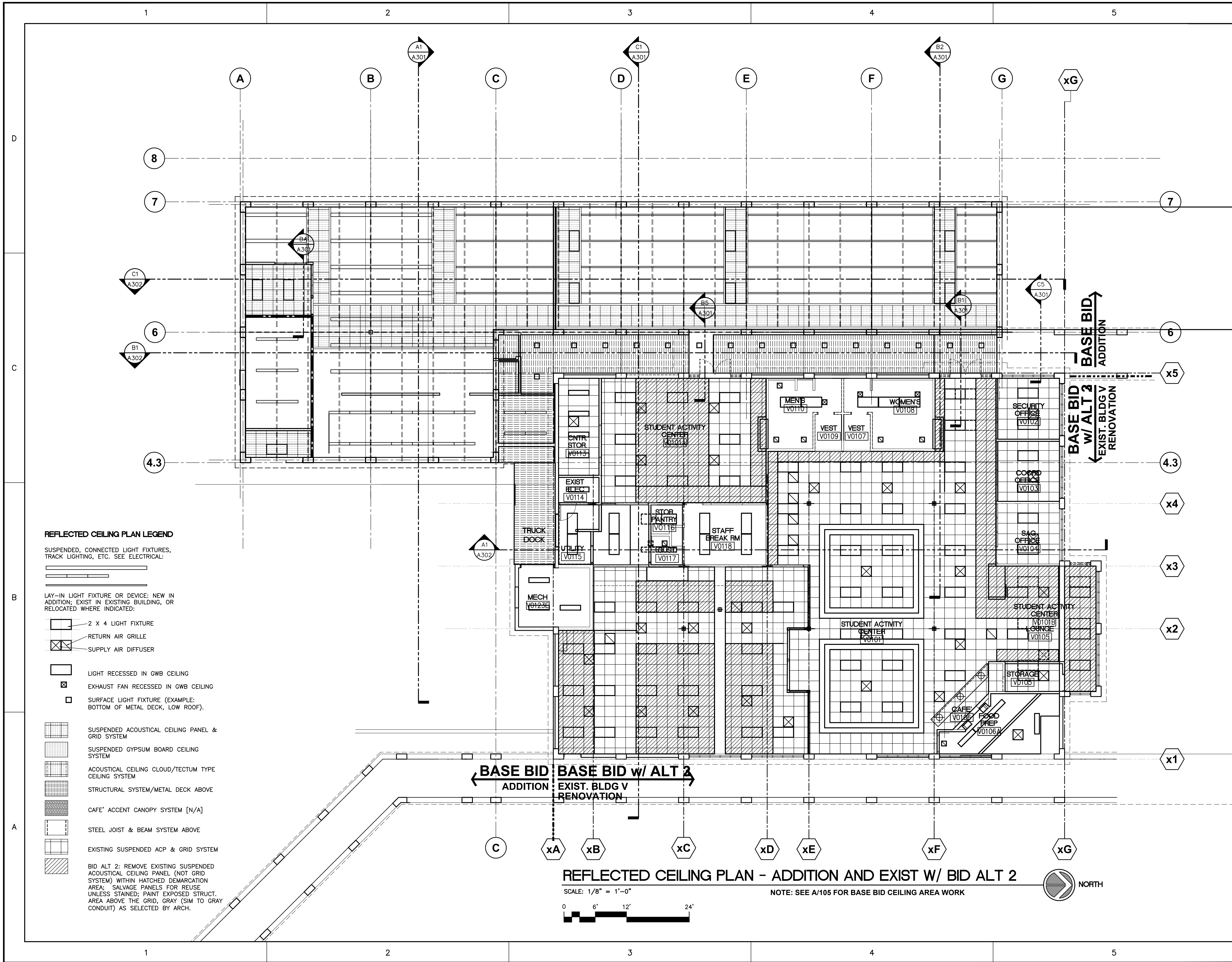
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SHEET TITLE

REFLECTED CEILING PLAN  
ADDITION-RENO W ALT 2

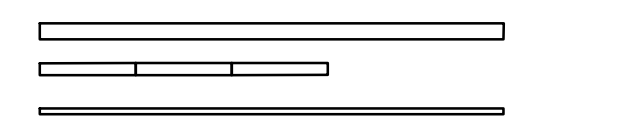
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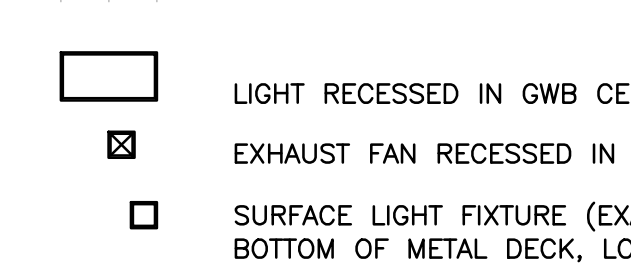
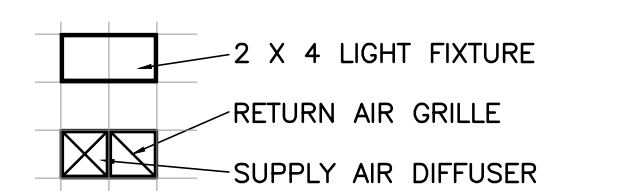


**REFLECTED CEILING PLAN LEGEND**

SUSPENDED, CONNECTED LIGHT FIXTURES, TRACK LIGHTING, ETC. SEE ELECTRICAL:



LAY-IN LIGHT FIXTURE OR DEVICE: NEW IN ADDITION; EXIST IN EXISTING BUILDING, OR RELOCATED WHERE INDICATED:



SUSPENDED ACOUSTICAL CEILING PANEL & GRID SYSTEM

SUSPENDED GYPSUM BOARD CEILING SYSTEM

ACOUSTICAL CEILING CLOUD/TECTUM TYPE CEILING SYSTEM

STRUCTURAL SYSTEM/METAL DECK ABOVE

CAFE' ACCENT CANOPY SYSTEM [N/A]

STEEL JOIST & BEAM SYSTEM ABOVE

EXISTING SUSPENDED ACP & GRID SYSTEM

BID ALT 2: REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING PANEL (NOT GRID SYSTEM) WITHIN HATCHED DEMARCATION AREA; SALVAGE PANELS FOR REUSE UNLESS STAINED; PAINT EXPOSED STRUCT. AREA ABOVE THE GRID, GRAY (SIM TO GRAY CONDUIT) AS SELECTED BY ARCH.

**REFLECTED CEILING PLAN - ADDITION AND EXIST W/ BID ALT 2**

SCALE: 1/8" = 1'-0"

NOTE: SEE A/105 FOR BASE BID CEILING AREA WORK





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NOTES (APPLY TO THIS SHEET ONLY)

- 1 LOW ROOF: MODIFIED BITUMEN SYSTEM; SEE A305 ROOF DETAILS.
- 2 NOT USED.
- 3 REMOVE ENTRY TO THE EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE SECTIONS.
- 4 STRUCTURE STEPS UP TO ALLOW TOP OF LOW ROOF TO ALIGN, WITH NO INSULATION REQ'D OVER TRUCK DOCK EXCEPT AS MAY BE REQUIRED TO ACHIEVE SLOPE.
- 5 NO WORK AT EXISTING LOW SLOPE ROOF, AS WELL AS TILE ROOF, EXCEPT TO THE MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, AND ON STRUCTURAL DRAWINGS.
- 6 EXISTING GUTTER AND DOWNSPOUT TO SALVAGED & RELOCATED; CONTRACTOR OPTION TO PROVIDE NEW OF EQUAL QUALITY, AND SIMILAR PROFILE.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH ADDITION TO BUILDING V ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER STATE COLLEGE

MARK DATE DESCRIPTION

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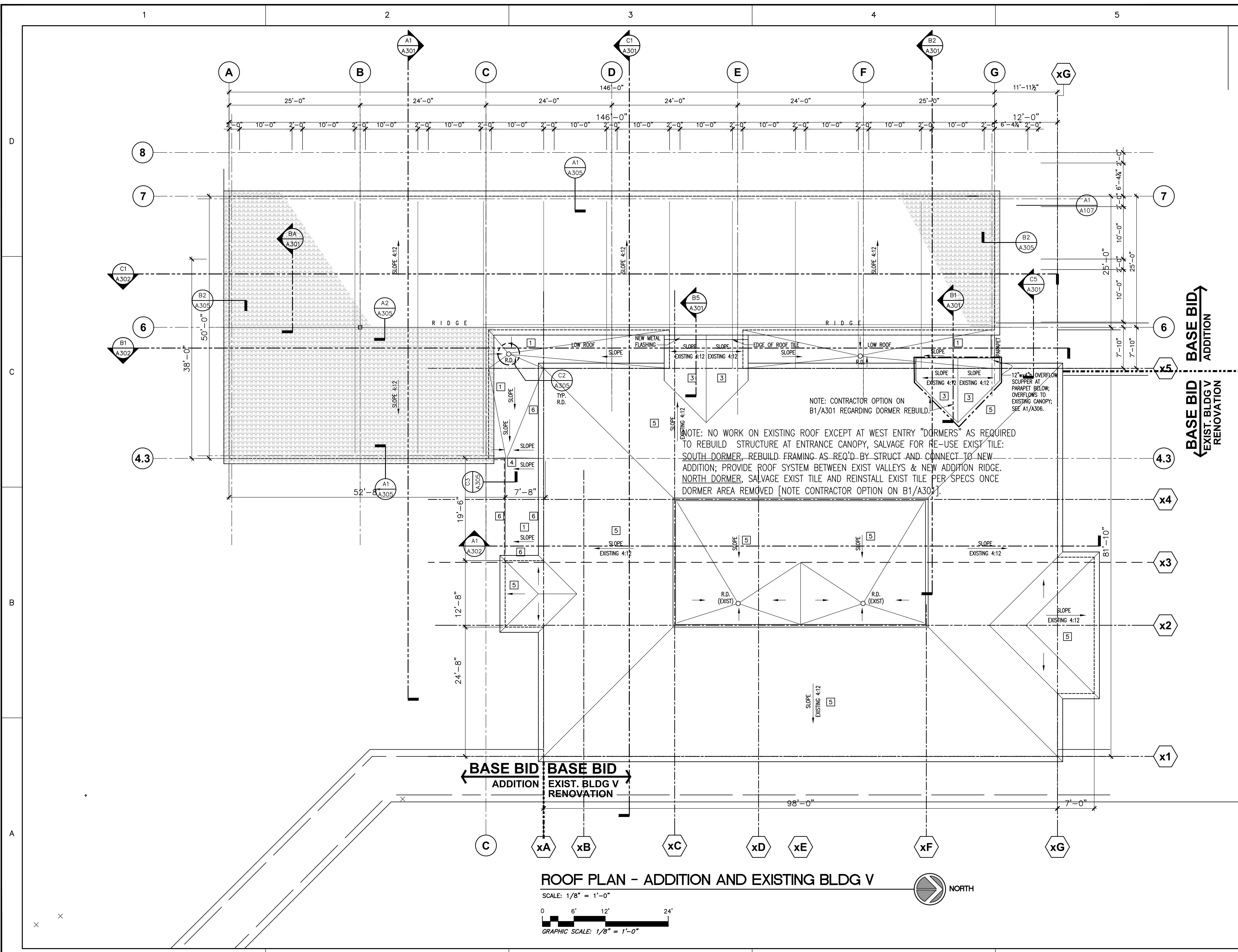
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A107

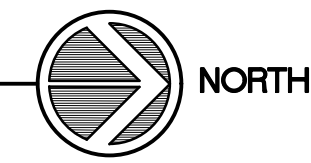


BASE BID ADDITION  
BASE BID EXIST. BLDG V RENOVATION

BASE BID ADDITION  
BASE BID EXIST. BLDG V RENOVATION

ROOF PLAN - ADDITION AND EXISTING BLDG V

SCALE: 1/8" = 1'-0"  
GRAPHIC SCALE: 1/8" = 1'-0"







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CONSULTANTS

NOTES (APPLY TO THIS SHEET ONLY)

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASED OPENING.
- 2 ALL WORK AT CASED OPENING & STOREFRONT REPLACEMENT REQUIRES REPAIR OF EXISTING DRYWALL AND/OR EFS, TO MATCH EXISTING, TRIMMED, PAINTED.
- 3 EXTEND SOUTH EXISTING STAIR FUNCTION BY IN-FILLING; SEE SECTIONS & PLAN.
- 4 REMOVE ENTRY & DORMER TO THE EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE SECTIONS FOR DETAILS & INFO.
- 5 REBUILD ENTRY/DORMERS (TO EXTENT REQ'D TO REBUILD PER STRUCT DWGS/CONNECTING ADDITION); SEE ELEVATION NOTES & SECTIONS.
- 6 NO WORK AT EXIST TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 6, ON PLAN, ON SECTIONS, & ON STRUCT DWGS.
- 7 EXISTING GUTTER TO BE REMOVED; MAY BE SALVAGED FOR REUSE. SEE A202.
- 8 SALVAGE EXIST. MEDALLIONS FOR REINSTALL. ON ADDITION PER A202.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

MARK	DATE	DESCRIPTION
ISSUE:	JAN 22, 2020	
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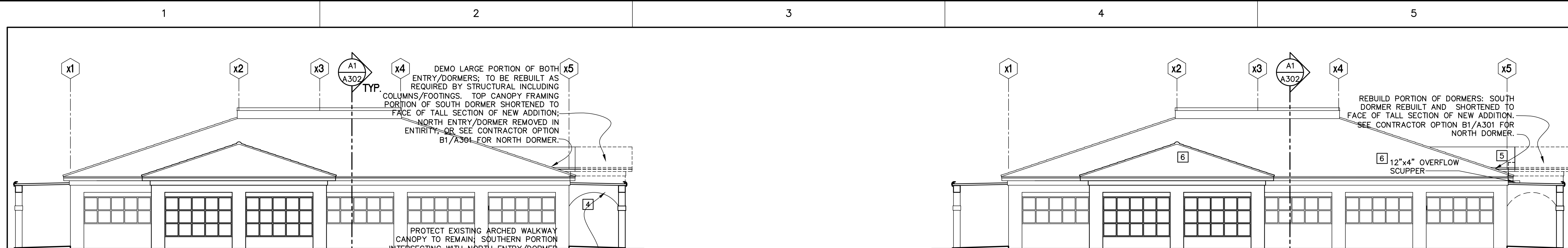
BID DOCUMENTS PHASE

SHEET TITLE

DEMO AND NEW WORK AT  
EXTERIOR ELEVATIONS  
EXISTING BUILDING

SHEET NUMBER

A201

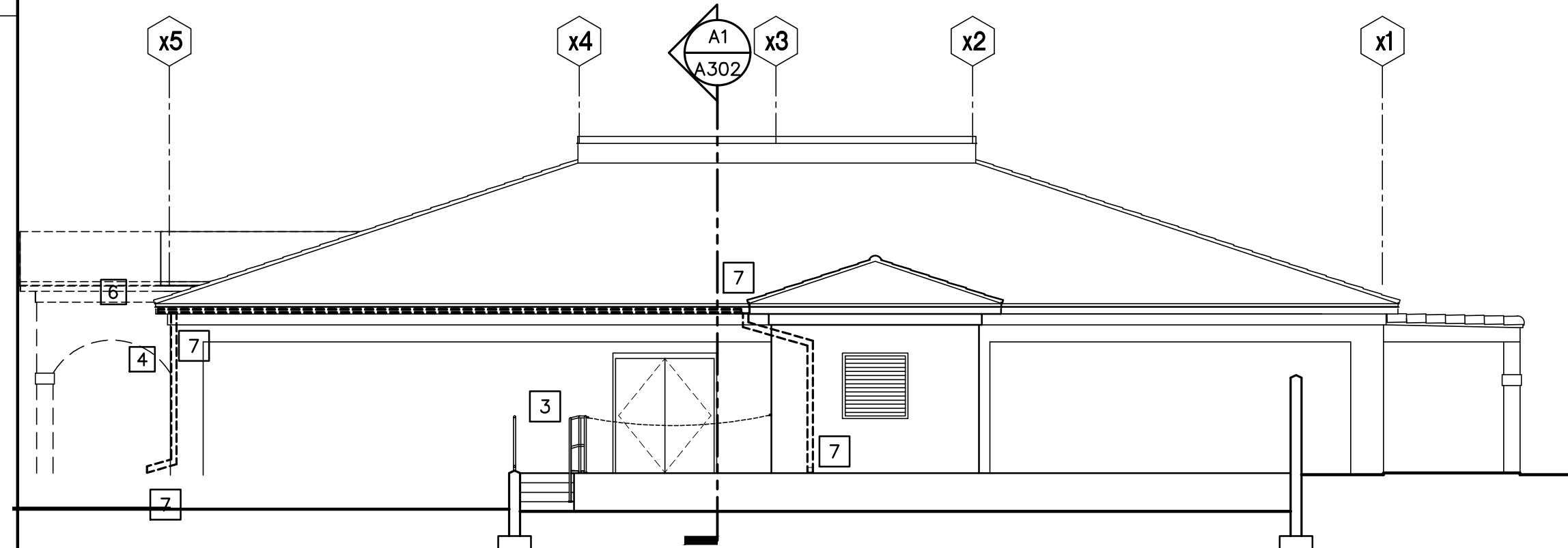


**D3 NORTH ELEVATION DEMOLITION**

SCALE: 1/8" = 1'-0"

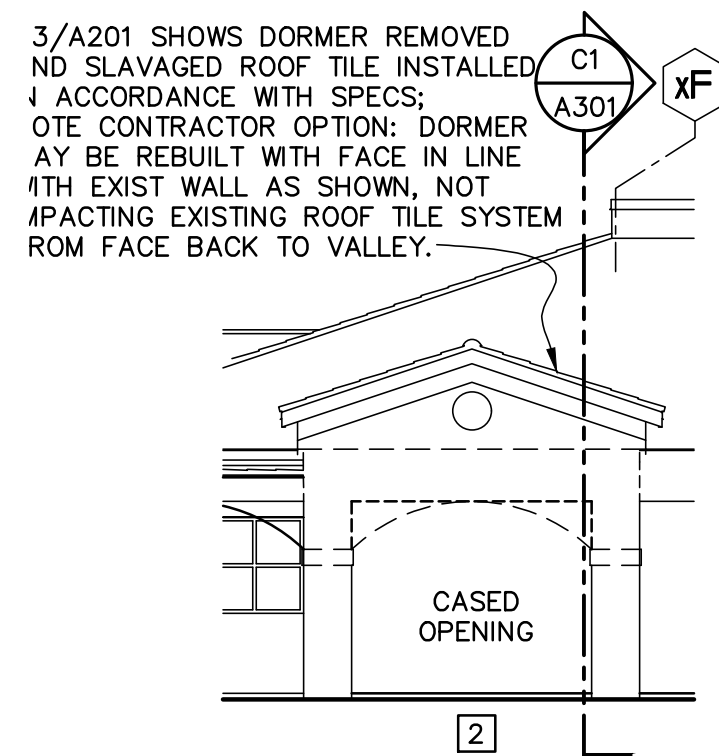
**D3 NORTH ELEVATION: NEW WORK (WEST ENTRIES/ DORMERS)**

SCALE: 1/8" = 1'-0"



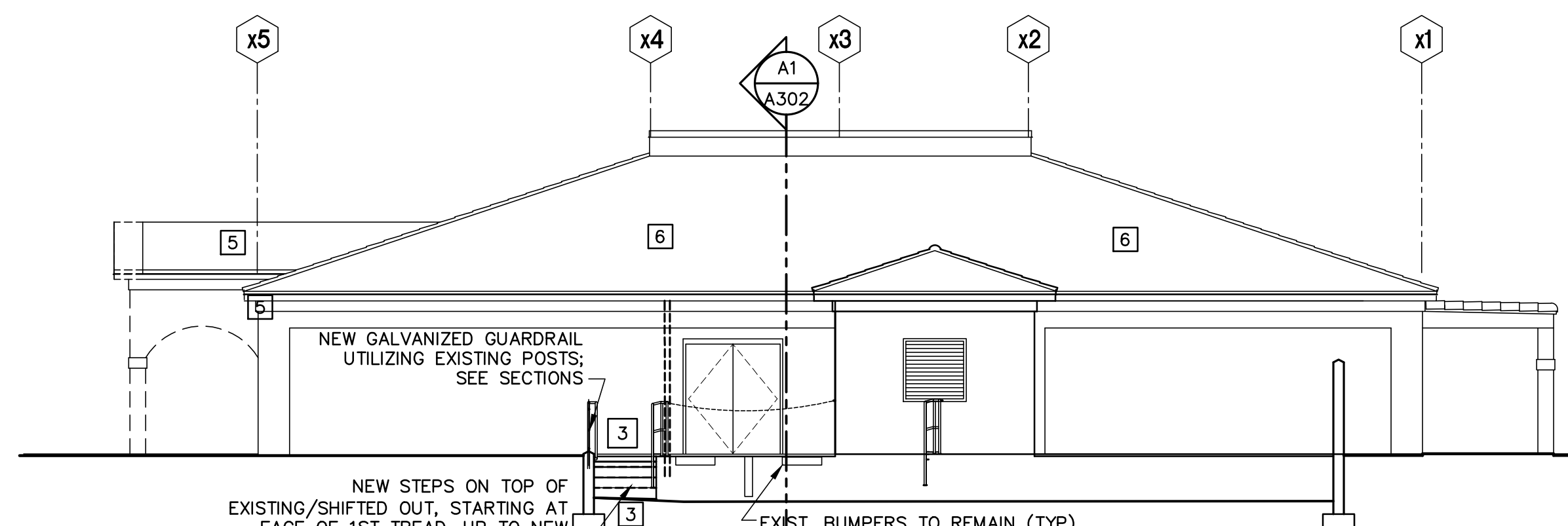
**C3 SOUTH ELEVATION DEMOLITION**

SCALE: 1/8" = 1'-0"



**A3 WEST CONTRACTOR OPTION**

SCALE: 1/8" = 1'-0"



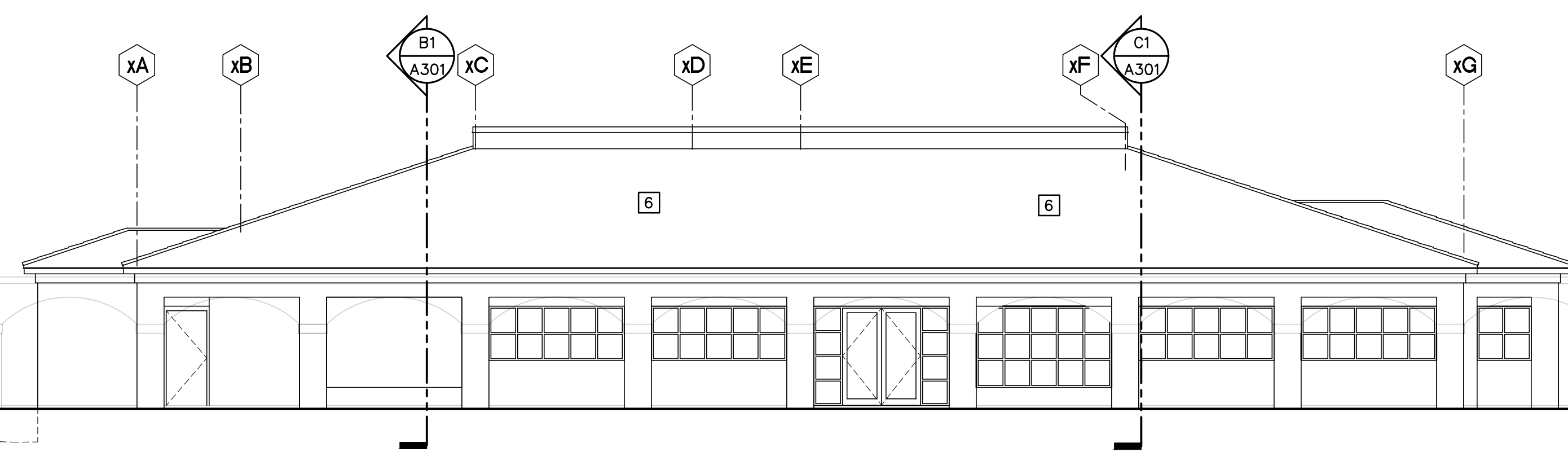
**C3 SOUTH ELEVATION: NEW WORK**

SCALE: 1/8" = 1'-0"



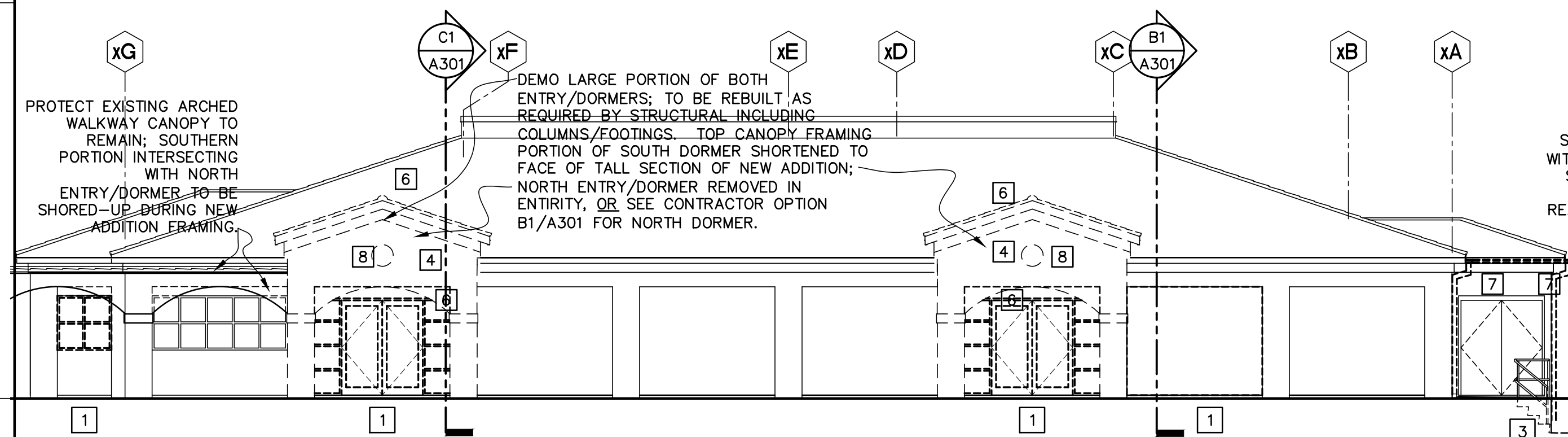
**B3 EAST ELEVATION DEMOLITION (NO WORK)**

SCALE: 1/8" = 1'-0"



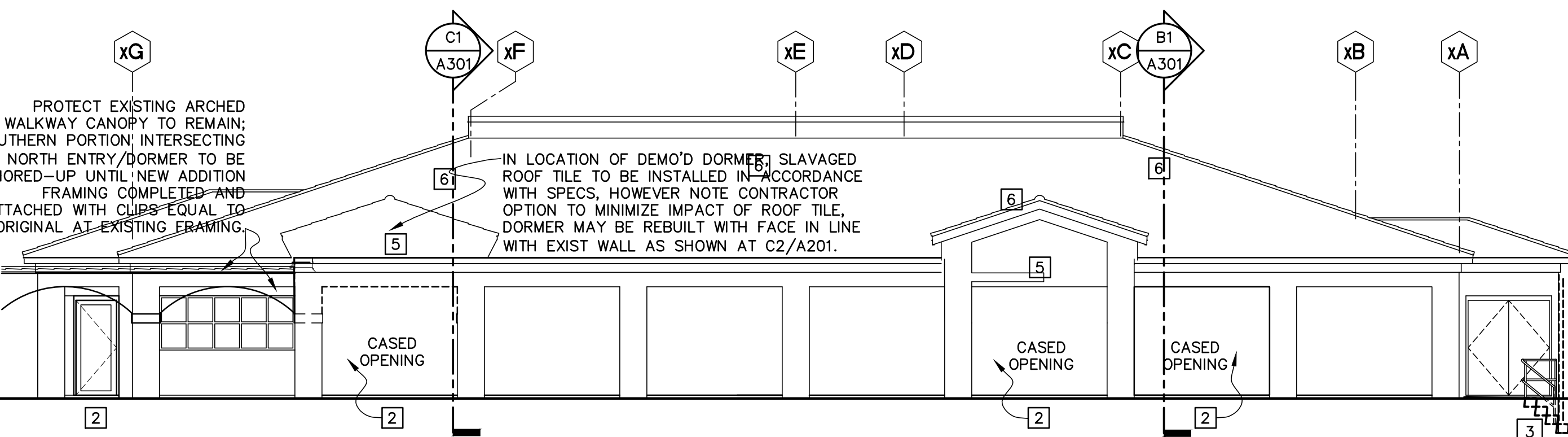
**B3 EAST ELEVATION: NEW WORK (NO WORK)**

SCALE: 1/8" = 1'-0"



**A3 WEST ELEVATION DEMOLITION**

SCALE: 1/8" = 1'-0"



**A3 WEST ELEVATION: NEW WORK**

SCALE: 1/8" = 1'-0"



AKEL LOGAN SHAFER  
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CONSULTANTS

NOTES (APPLY TO THIS SHEET ONLY)

- 1 CONCRETE TILE ROOF SYSTEM MATCHING RECENTLY COMPLETED ADJACENT LIBRARY.
- 2 ALL WORK AT CASED OPENING & STOREFRONT REPLACEMENT REQUIRES REPAIR OF EXISTING DRYWALL AND/OR EFS, TO MATCH EXISTING, TRIMMED, PAINTED.
- 3 EXTEND SOUTH EXISTING STAIR FUNCTION BY INFILLING; SEE SECTIONS AND PLAN.
- 4 STUCCO ON INSUL ON WP SYSTEM PER SECTIONS, DETAILS, AND SPECS.
- 5 ALUMINUM STOREFRONT SYSTEM PER SECTIONS, DETAILS, AND SPECIFICATIONS.
- 6 REMOVE ENTRY TO THE EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE SECTIONS & ROOF PLAN.
- 7 NO WORK AT EXIST. TILE ROOF, EXCEPT TO DEGREE INDICATED ON A201, ROOF PLAN, SECTIONS, & ON STRUCT DRWGS.
- 8 EXIST GUTTER & DS SALVAGED AND REUSED.
- 9 SALVAGE EXIST. MEDALLIONS REINSTALLED ON ADDITION; IF SALVAGE NOT POSSIBLE, PROVIDE MEDALLION EQUAL TO PINEAPPLE GROVE DESIGNS TO BE SELECTED BY ARCH FROM STANDARD DESIGNS.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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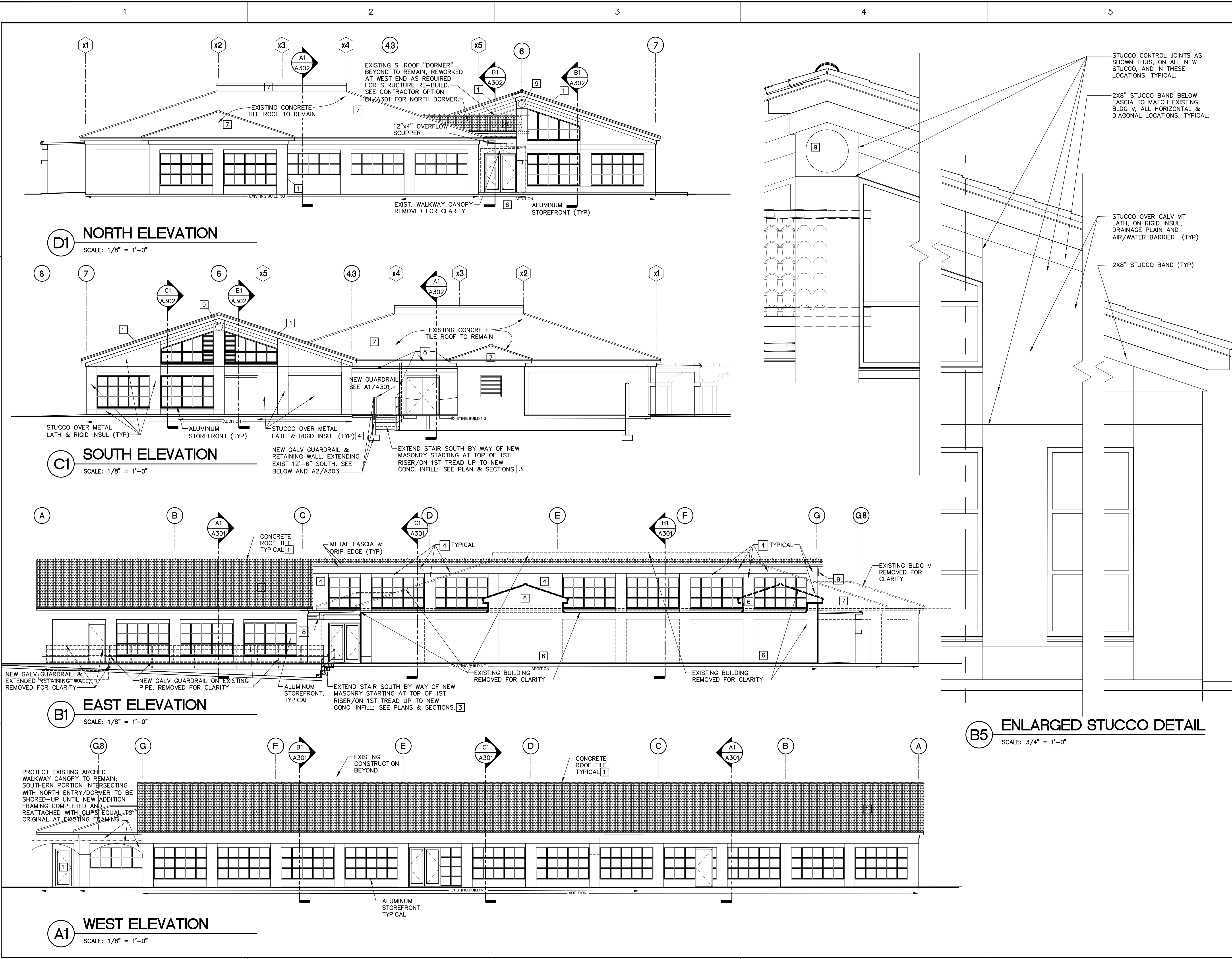
BID DOCUMENTS PHASE

SHEET TITLE

EXTERIOR ELEVATIONS  
AT NEW ADDITION

SHEET NUMBER

A202







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CONSULTANTS

NOTES

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASSED OPENING.
- 2 LOW ROOF PORTION OF ADDITION FLASHES BELOW EXIST ROOF SYSTEM AND BACK TO TALL PORTION OF ADDITION.
- 3 REMOVE EXISTING STAIR FUNCTION BY IN-FILLING; SEE A1/A302 & STRUCTURAL.
- 4 EXIST GYP BD ON CMU WALL &/OR STUD WALL TO REMAIN.
- 5 EXIST DR/FRAME &/OR STOREFRONT TO REMAIN.
- 6 REMOVE ENTRY/DORMER TO EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE DETAILS & ROOF PLAN.
- 7 ALL WORK AT CMU &/OR STOREFRONT REMOVAL REQUIRES REPAIR OF EXISTING EFS/TO MATCH EXISTING, TRIMMED, PAINTED.
- 8 NO WORK AT EXIST. TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, & ON STRUCT DRWGS.
- 9 EXISTING GUTTER TO REMAIN.

PROJECT

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**RENOVATION WITH  
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ST. AUGUSTINE CAMPUS**

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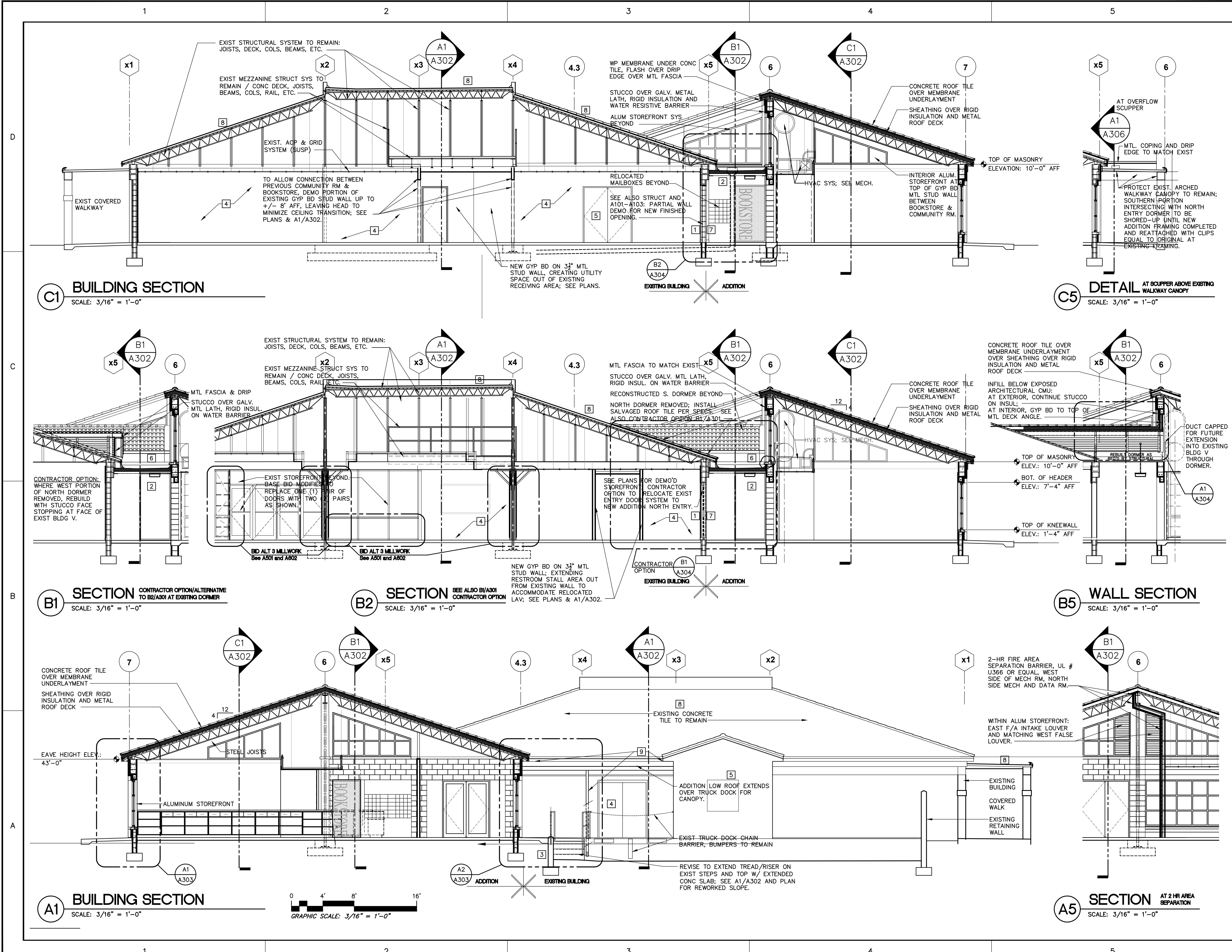
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SHEET TITLE

**BUILDING SECTIONS**

SHEET NUMBER

**A301**





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CONSULTANTS

NOTES (APPLY TO ALL SECTIONS)

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASSED OPENING.
- 2 LOW ROOF PORTION OF ADDITION FLASHES BELOW EXIST ROOF SYSTEM AND BACK TO TALL PORTION OF ADDITION.
- 3 REMOVE EXISTING STAIR FUNCTION BY IN-FILLING; SEE A1/A302 & STRUCTURAL.
- 4 EXIST GYP BD ON CMU WALL &/OR STUD WALL TO REMAIN.
- 5 EXIST DR/FRAME &/OR STOREFRONT TO REMAIN.
- 6 REMOVE ENTRY/DORMER TO EXTENT REQ'D TO REBUILD PER STRUCTURALS; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE DETAILS & ROOF PLAN.
- 7 ALL WORK AT CMU &/OR STOREFRONT REMOVAL REQUIRES REPAIR OF EXISTING EFS/TO MATCH EXISTING, TRIMMED, PAINTED.
- 8 NO WORK AT EXIST. TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, & ON STRUCT DRWGS.
- 9 EXISTING GUTTER TO REMAIN.

PROJECT

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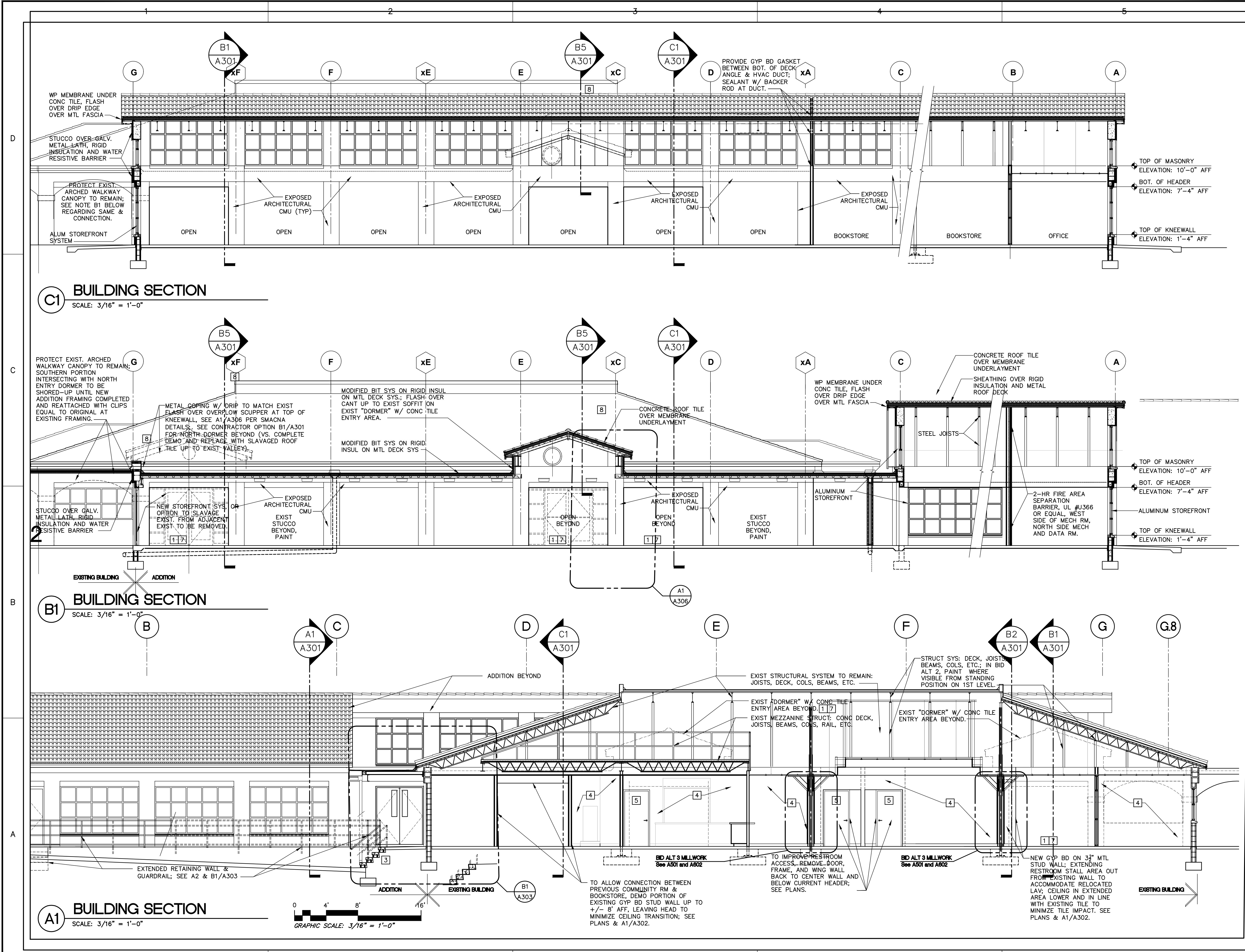
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SHEET TITLE

**BUILDING SECTIONS**

SHEET NUMBER

**A302**



**C1 BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

**B1 BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

**A1 BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 3/16" = 1'-0"





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CONSULTANTS

NOTES (APPLY TO ALL SECTIONS)

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASED OPENING.
- 2 LOW ROOF PORTION OF ADDITION FLASHES BELOW EXIST ROOF SYSTEM AND BACK TO TALL PORTION OF ADDITION.
- 3 REMOVE EXISTING STAIR FUNCTION BY IN-FILLING; SEE A1/A302 & STRUCTURAL.
- 4 EXIST GYP BD ON CMU WALL &/OR STUD WALL TO REMAIN.
- 5 EXIST DR/FRAME &/OR STOREFRONT TO REMAIN.
- 6 REMOVE ENTRY/DORMER TO EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE DETAILS & ROOF PLAN.
- 7 ALL WORK AT CMU &/OR STOREFRONT REMOVAL REQUIRES REPAIR OF EXISTING EFS/TO MATCH EXISTING, TRIMMED, PAINTED.
- 8 NO WORK AT EXIST. TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, & ON STRUCT DRWGS.
- 9 EXISTING GUTTER TO REMAIN.

PROJECT

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RENOVATION WITH  
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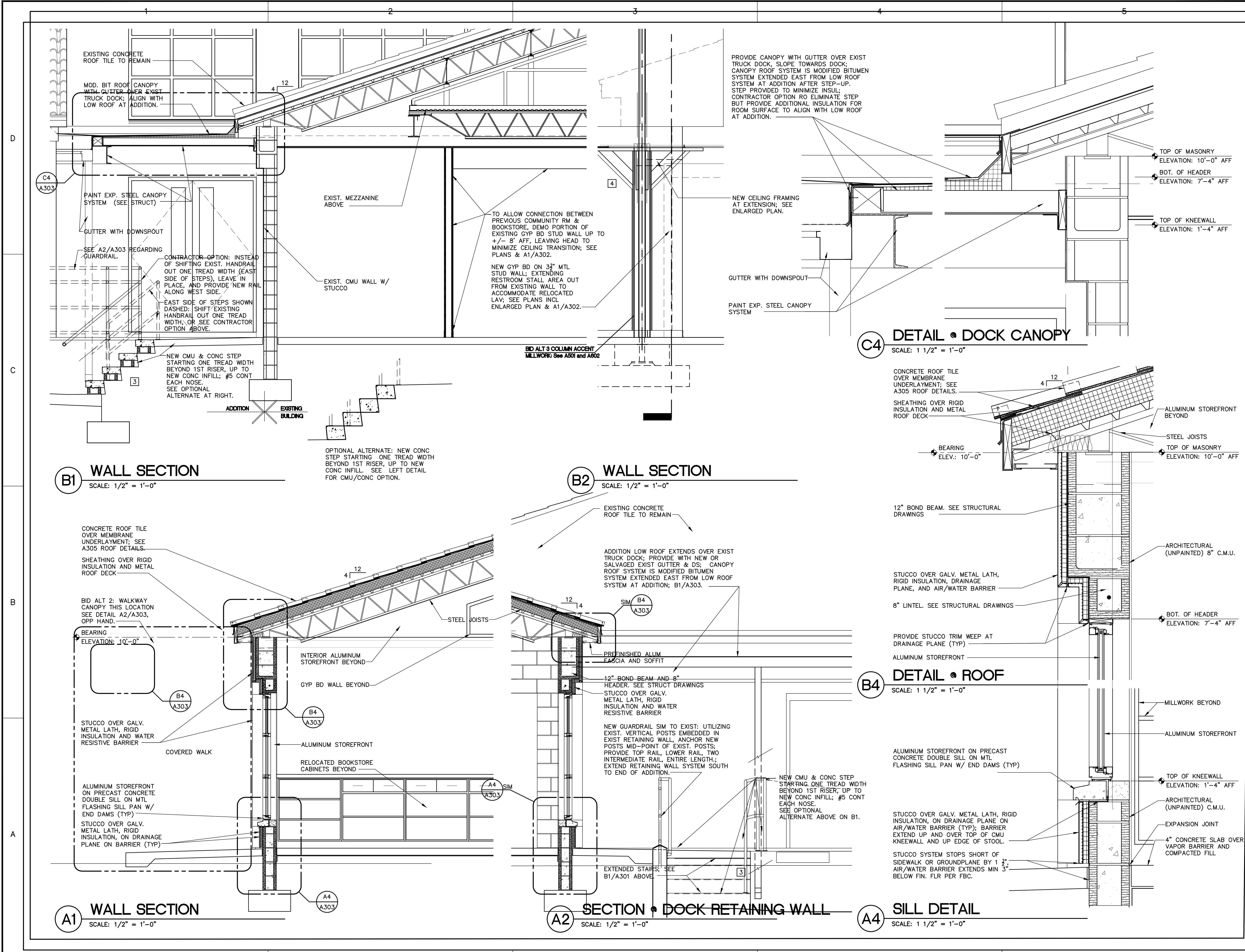
BID DOCUMENTS PHASE

SHEET TITLE

BUILDING SECTIONS,  
WALL SECTIONS AND DETAILS

SHEET NUMBER

A303







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CONSULTANTS

NOTES (APPLY TO ALL SECTIONS)

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASSED OPENING.
- 2 LOW ROOF PORTION OF ADDITION FLASHES BELOW EXIST ROOF SYSTEM AND BACK TO TALL PORTION OF ADDITION.
- 3 REMOVE EXISTING STAIR FUNCTION BY IN-FILLING; SEE A1/A302 & STRUCTURAL.
- 4 EXIST GYP BD ON CMU WALL &/OR STUD WALL TO REMAIN.
- 5 EXIST DR/FRAME &/OR STOREFRONT TO REMAIN.
- 6 REMOVE ENTRY/DORMER TO EXTENT REQ'D TO REBUILD PER STRUCTURALS. IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE DETAILS & ROOF PLAN.
- 7 ALL WORK AT CMU &/OR STOREFRONT REMOVAL REQUIRES REPAIR OF EXISTING EFS/TO MATCH EXISTING, TRIMMED, PAINTED.
- 8 NO WORK AT EXIST. TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, & ON STRUCT DRWGS.
- 9 EXISTING GUTTER TO REMAIN.

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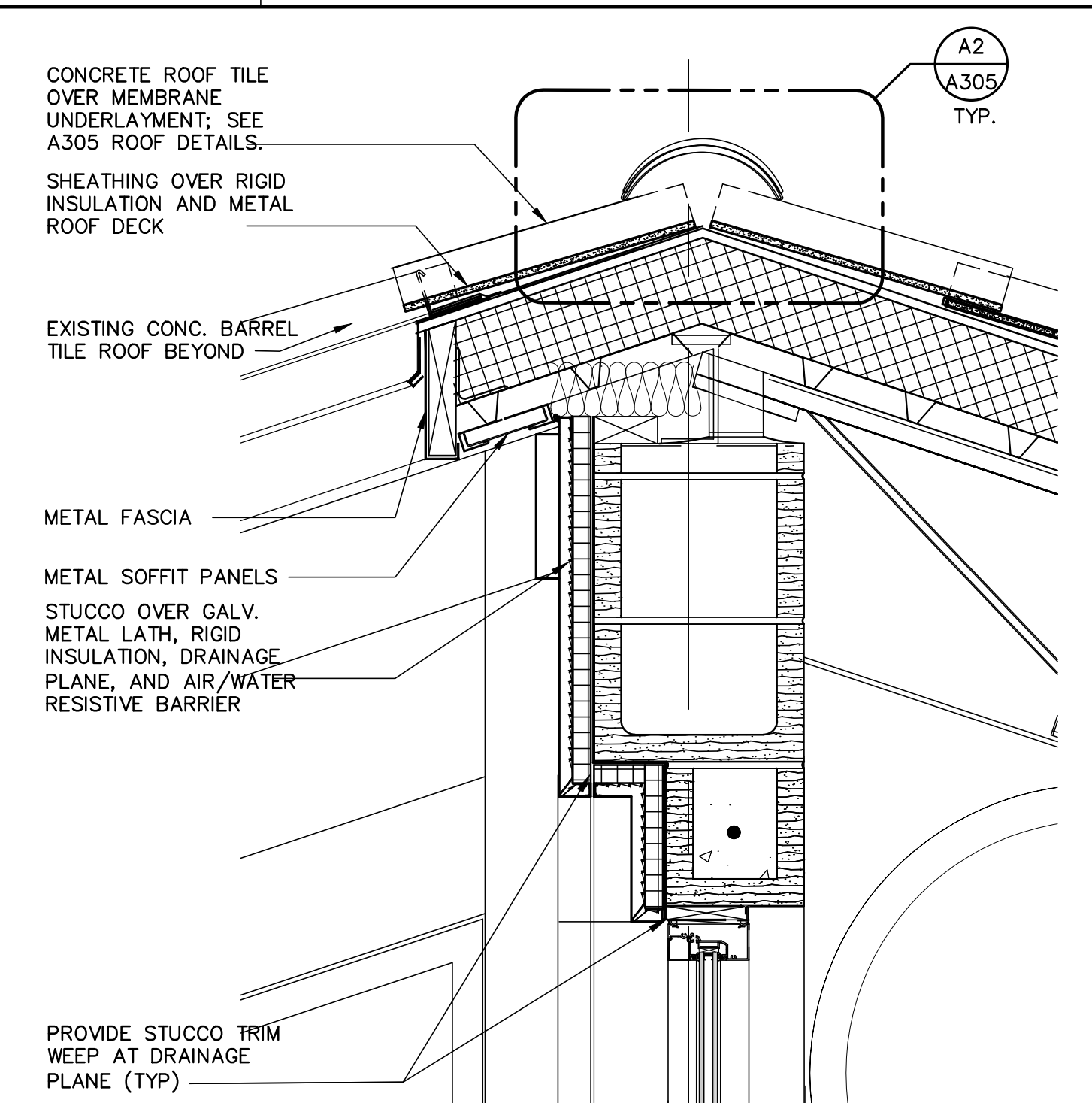
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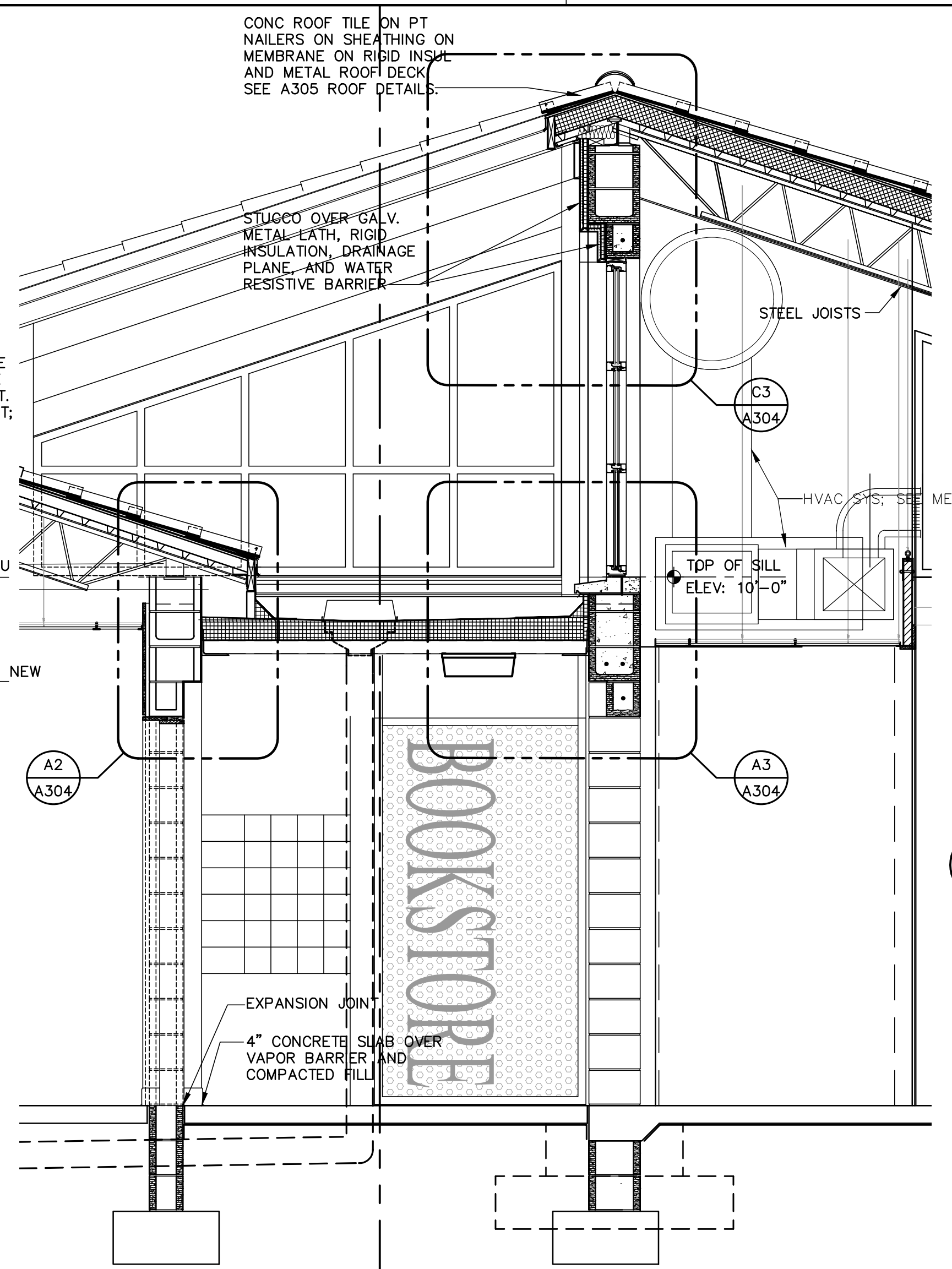
WALL SECTIONS  
AND DETAILS

SHEET NUMBER

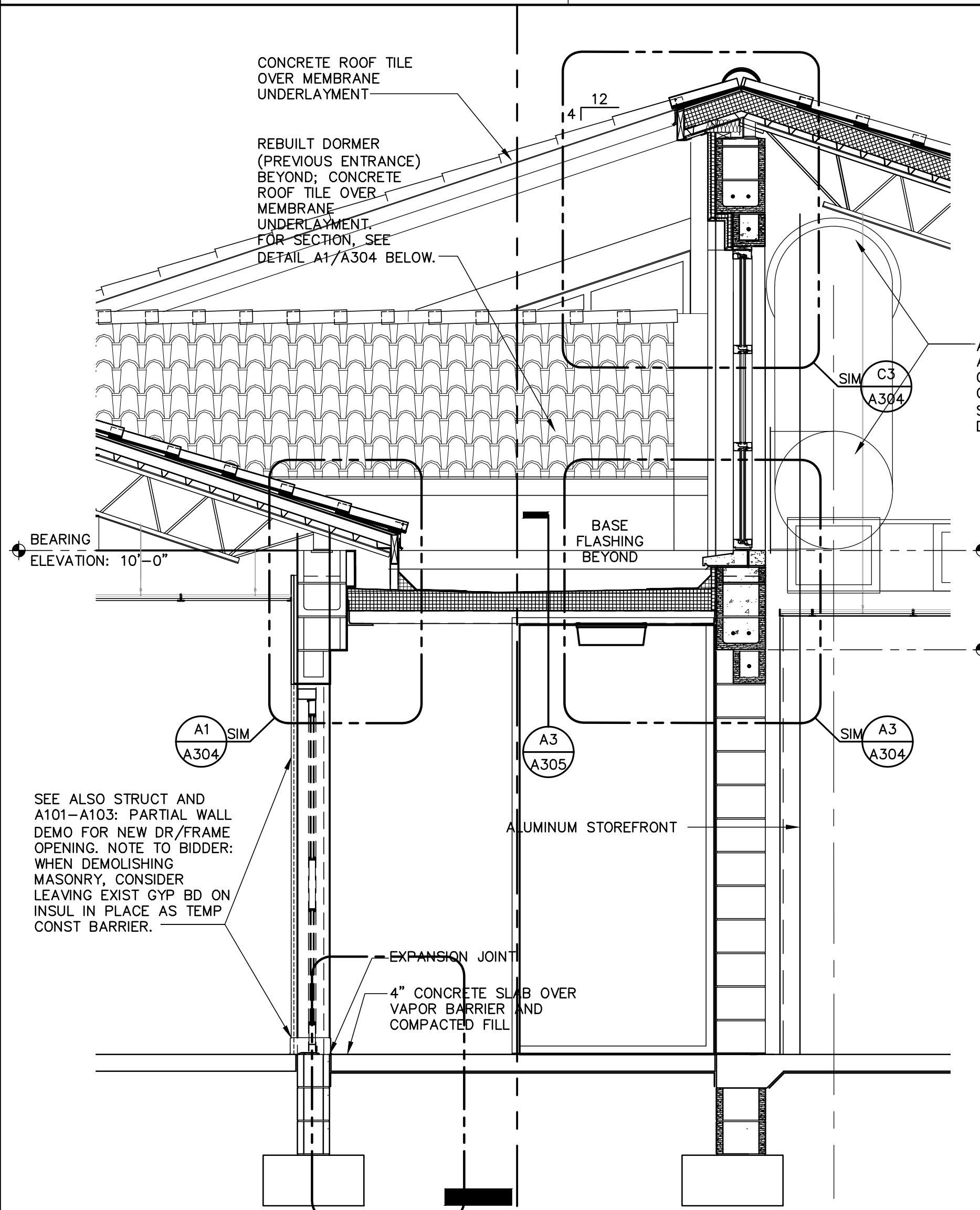
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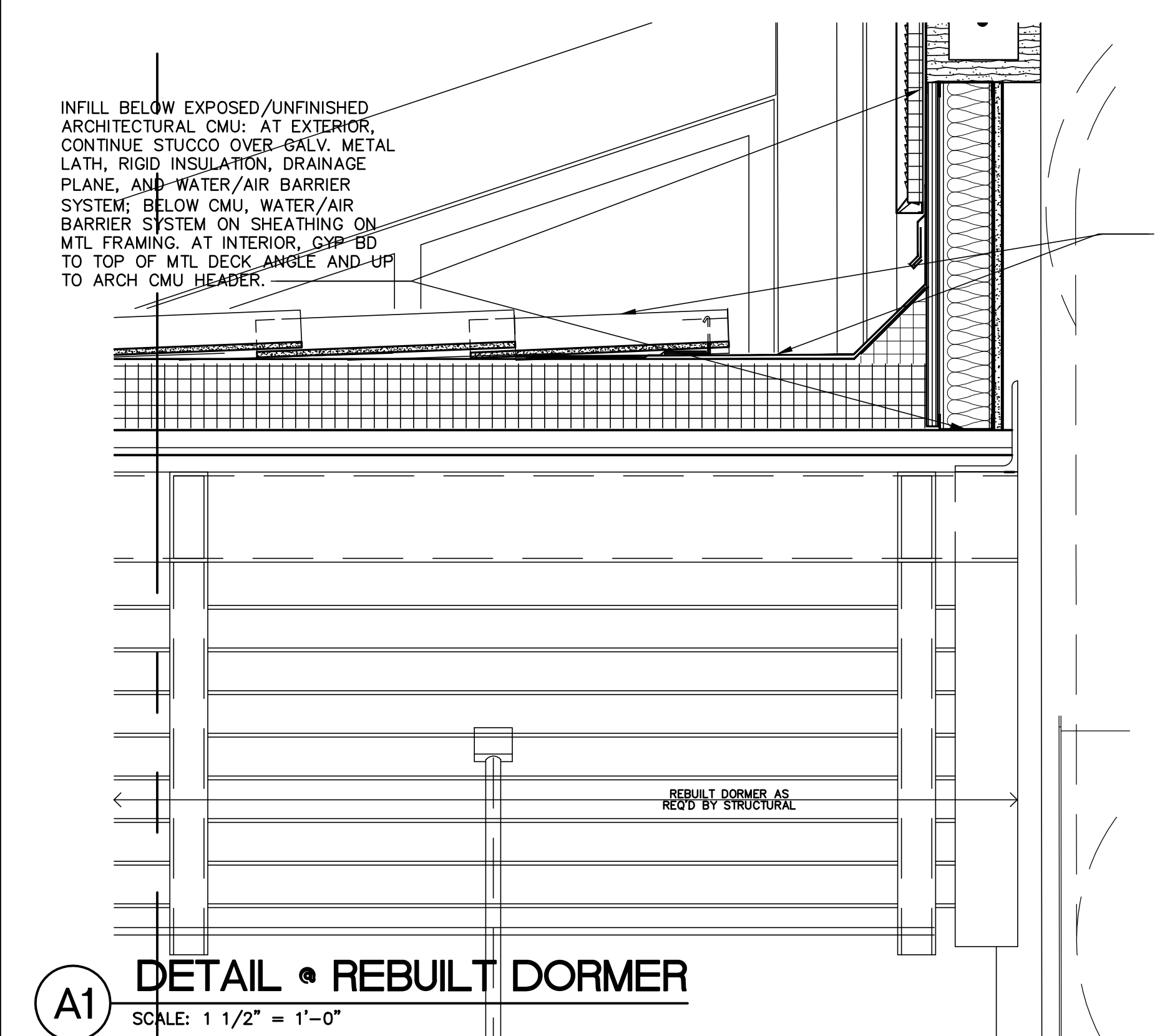
**B3 SILL DETAIL**  
SCALE: 1 1/2" = 1'-0"



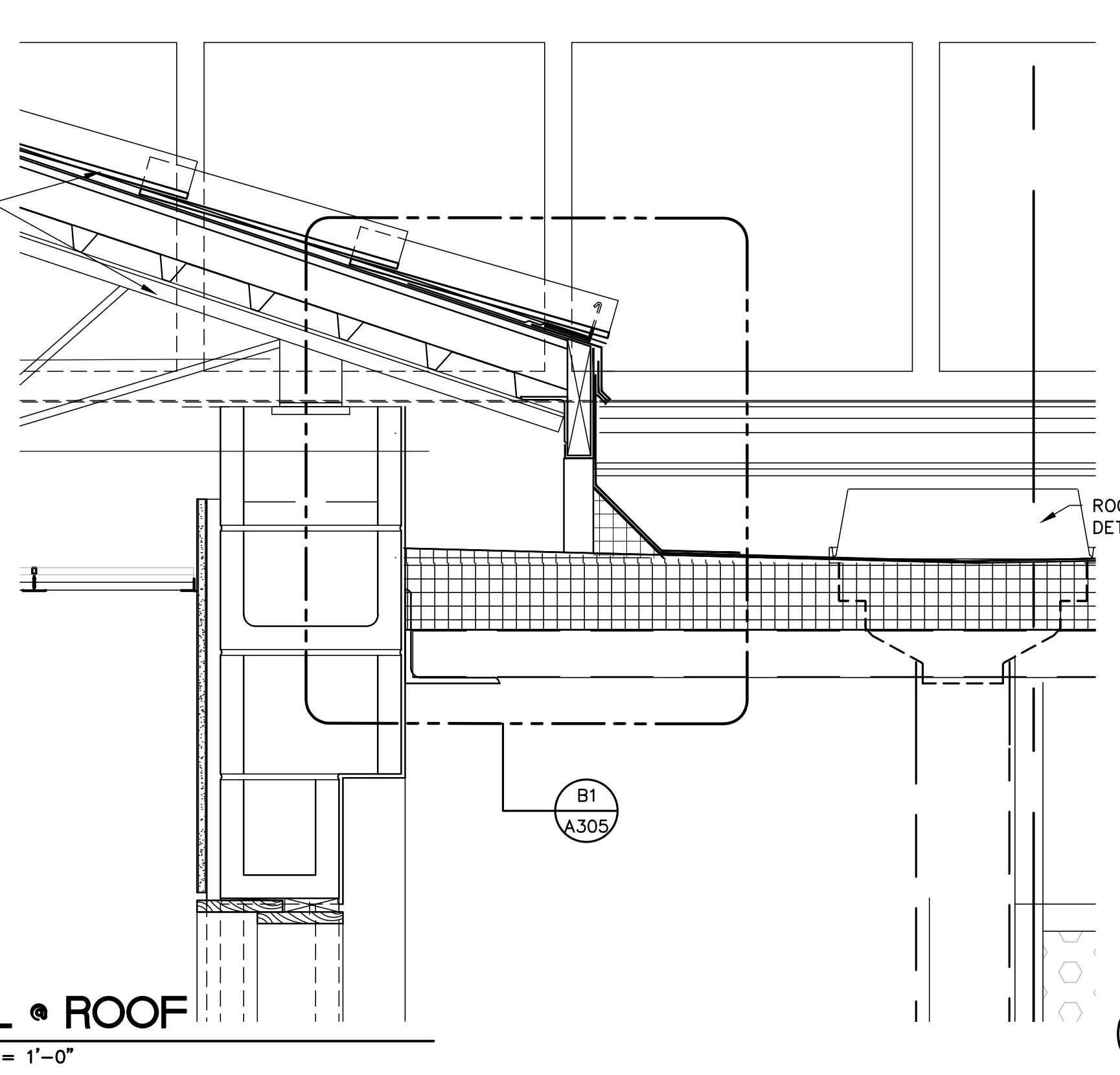
**B2 WALL SECTION**  
SCALE: 1/2" = 1'-0"



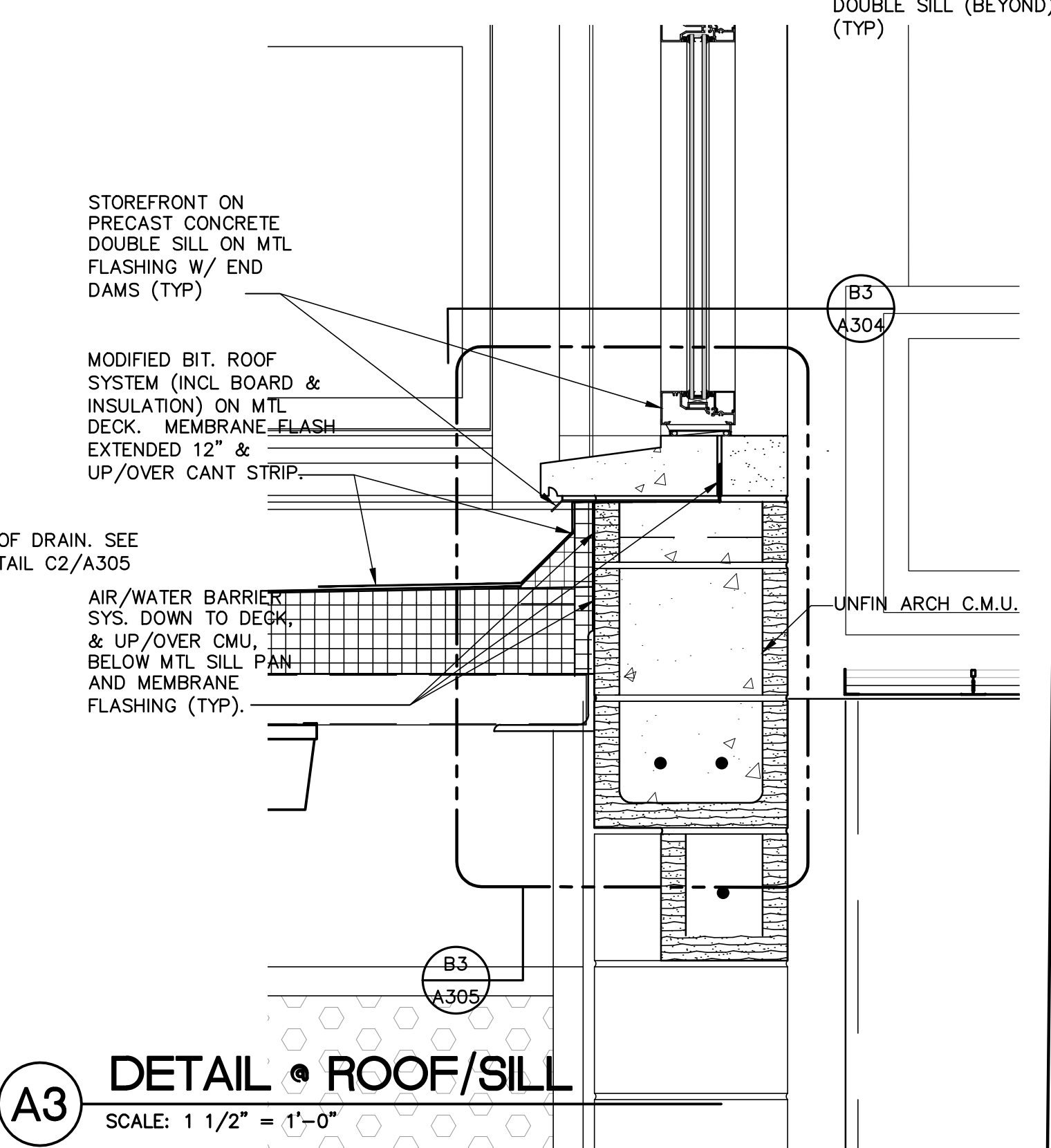
**B1 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**A1 DETAIL REBUILT DORMER**  
SCALE: 1 1/2" = 1'-0"



**A2 DETAIL ROOF**  
SCALE: 1 1/2" = 1'-0"



**A3 DETAIL ROOF/SILL**  
SCALE: 1 1/2" = 1'-0"



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NOTES

NEW CONCRETE ROOF TILE SYSTEM TO MATCH BORAL TILE ROOF SYSTEM RECENTLY UTILIZED TO REBUILD/REPLACE ROOF ON EXISTING LIBRARY; SEE DETAILS ON THIS SHEET AND TECHNICAL SPECIFICATIONS.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH ADDITION TO BUILDING V ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER STATE COLLEGE

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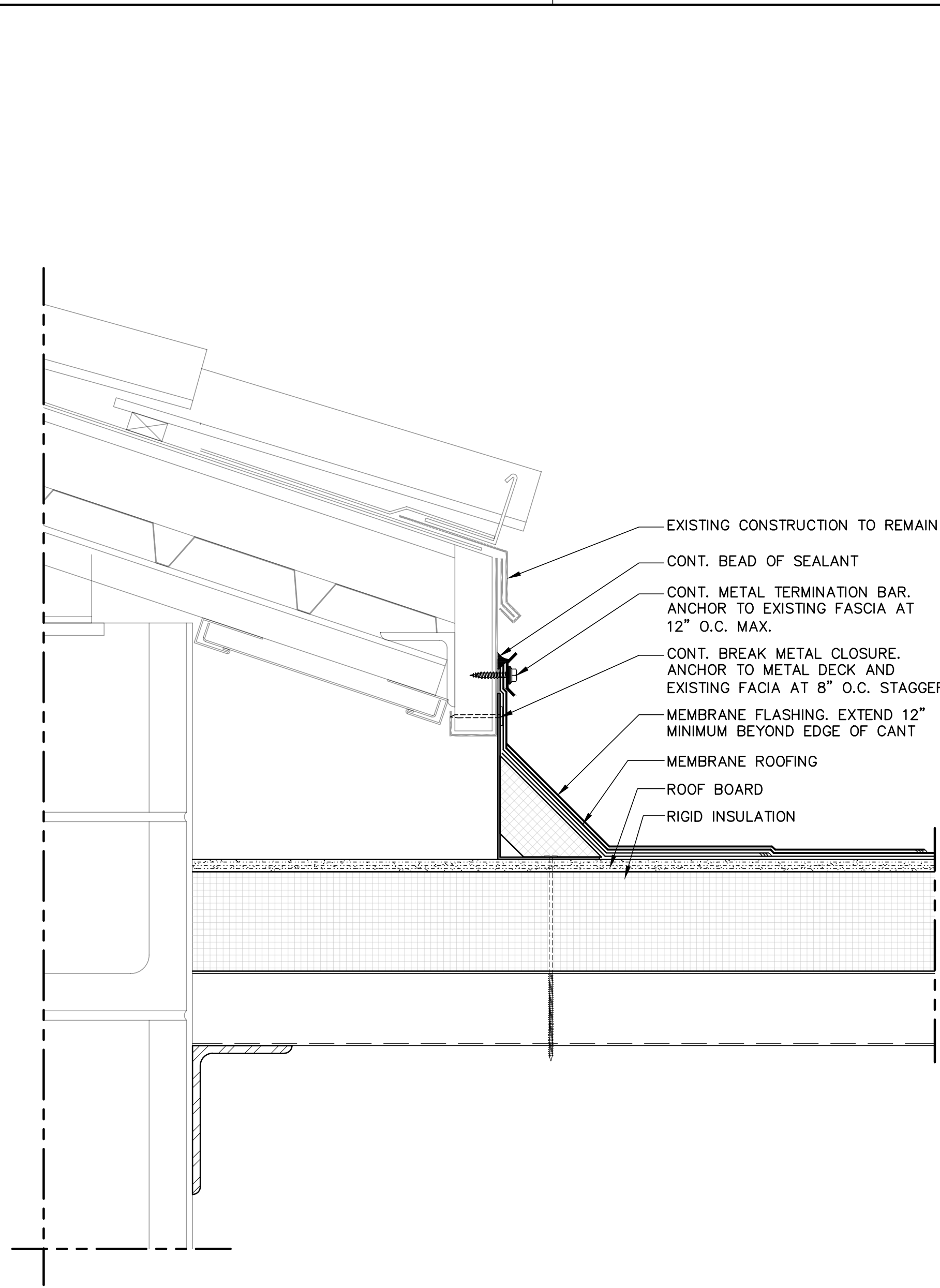
BID DOCUMENTS PHASE

SHEET TITLE

ROOF DETAILS

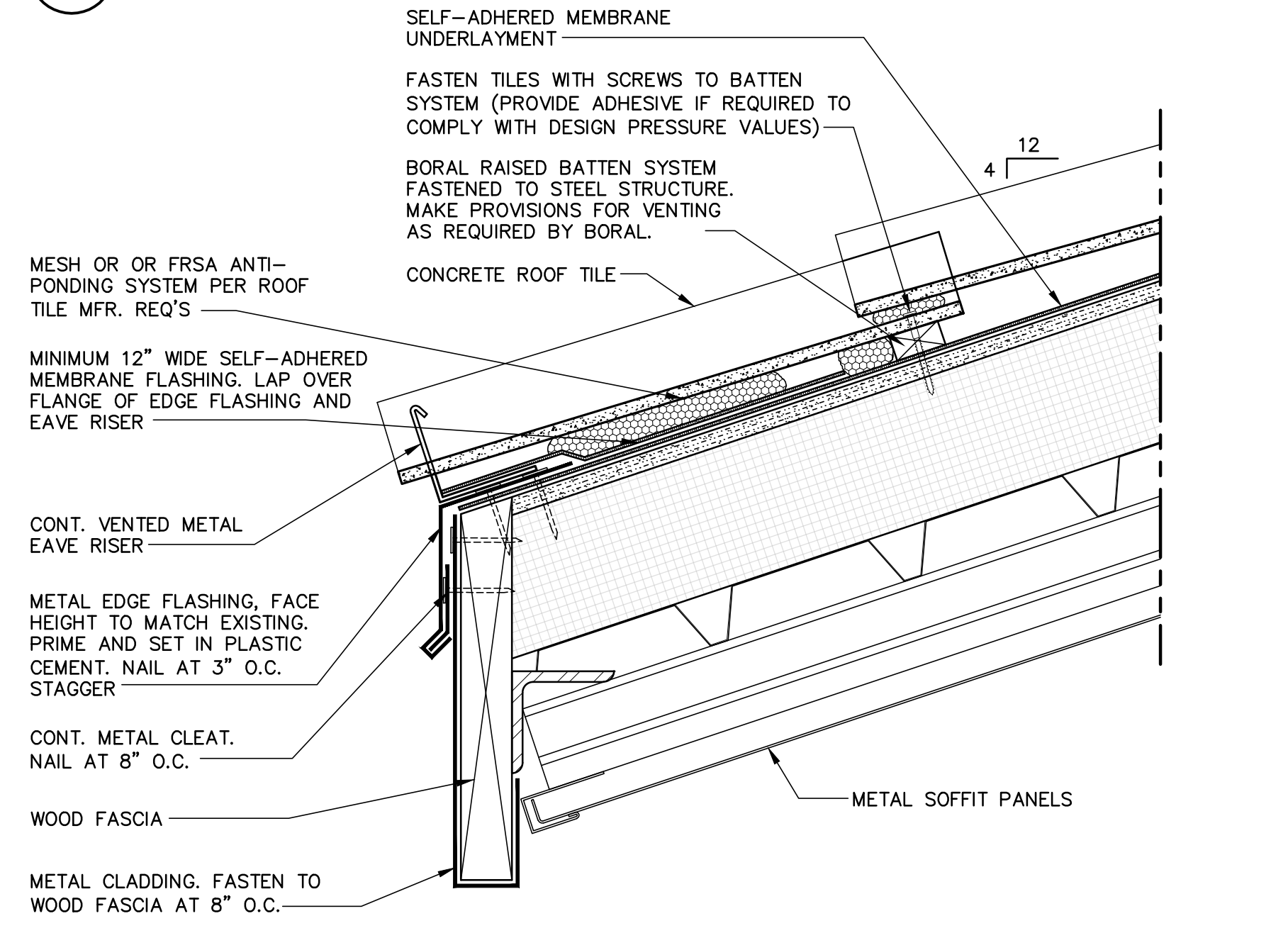
SHEET NUMBER

A305



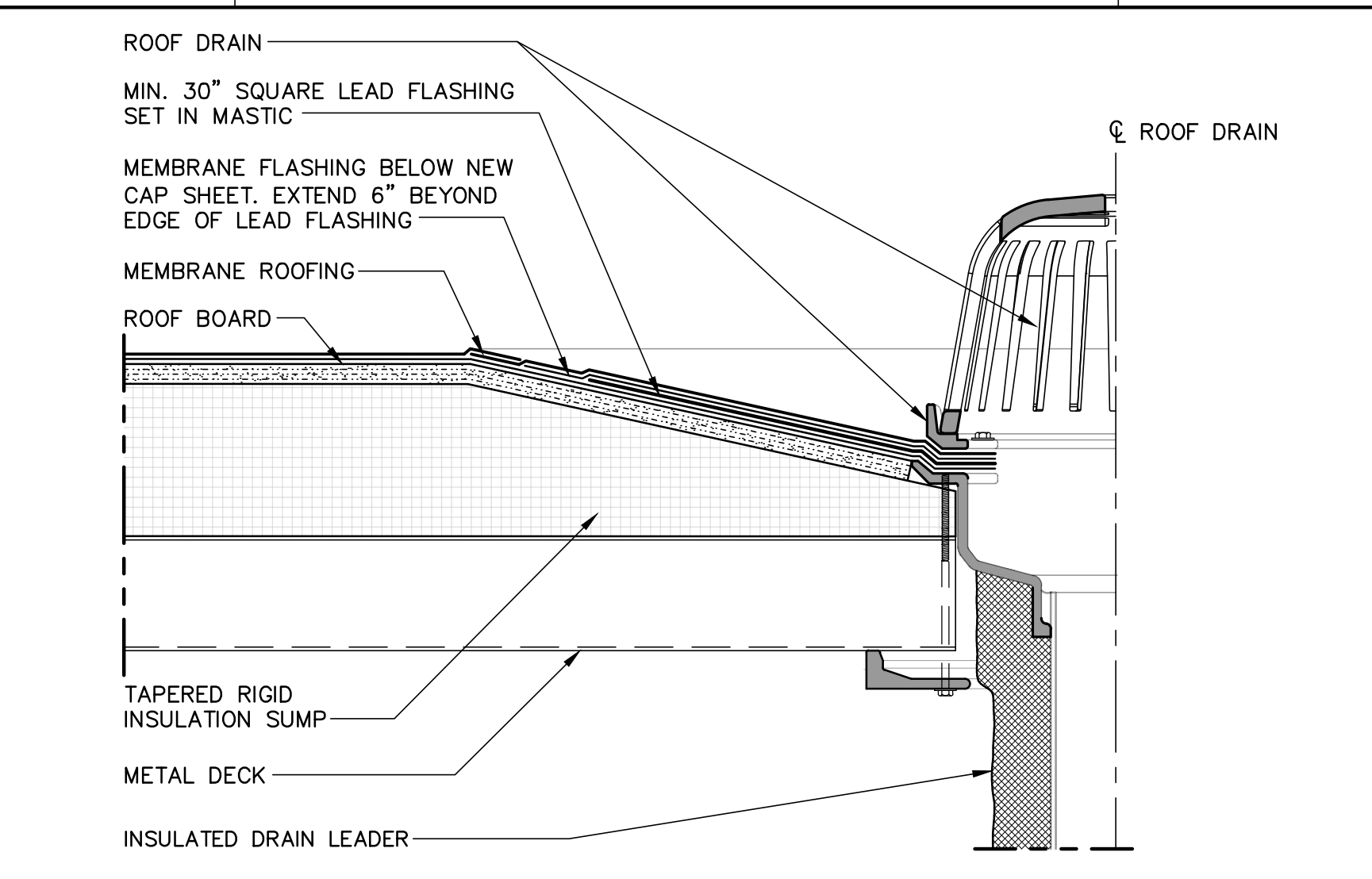
**B1** BASE FLASHING DETAIL

SCALE: 3" = 1'-0"



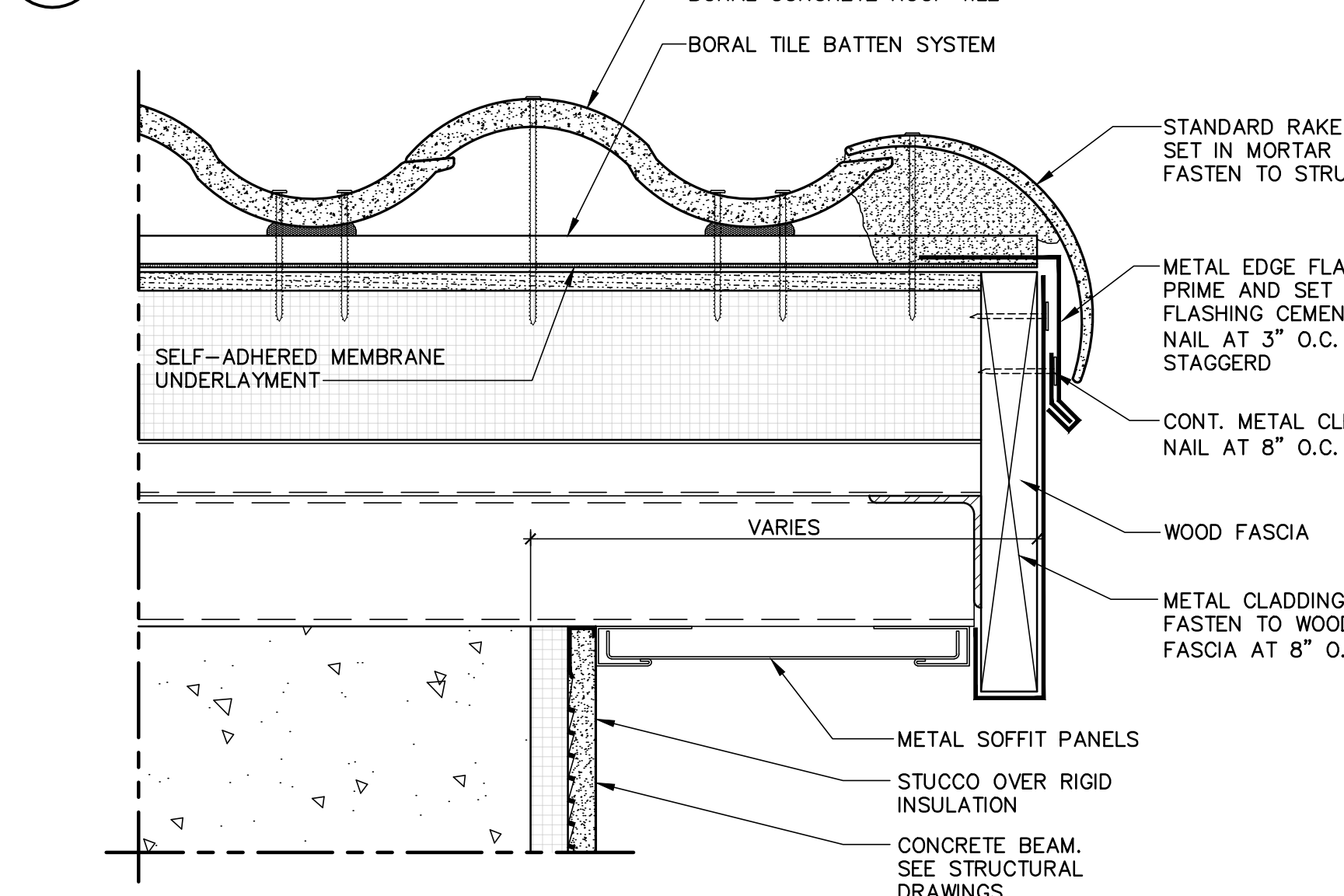
**A1** TYPICAL EAVE DETAIL

SCALE: 3" = 1'-0"



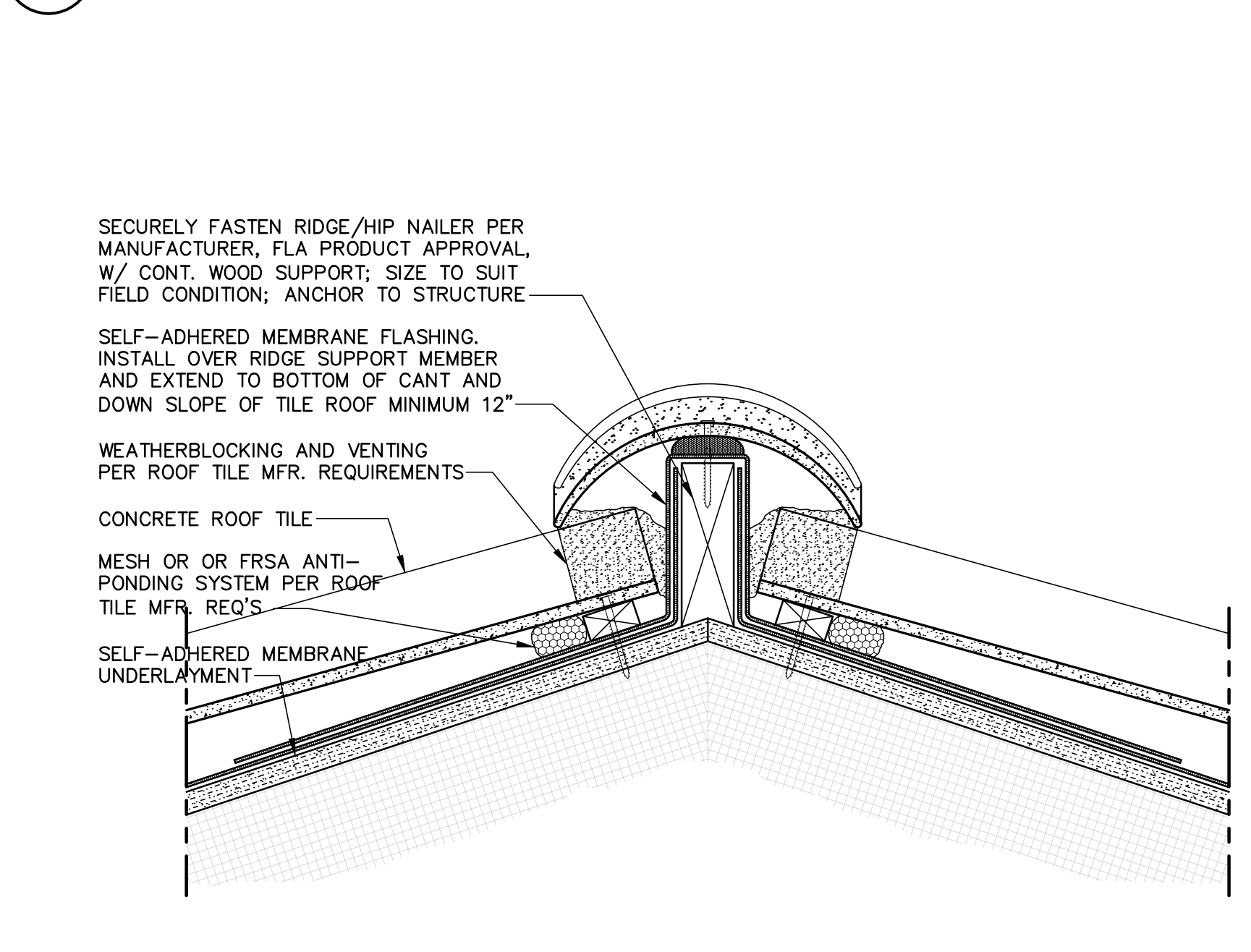
**C2** ROOF DRAIN FLASHING DETAIL

SCALE: 3" = 1'-0"



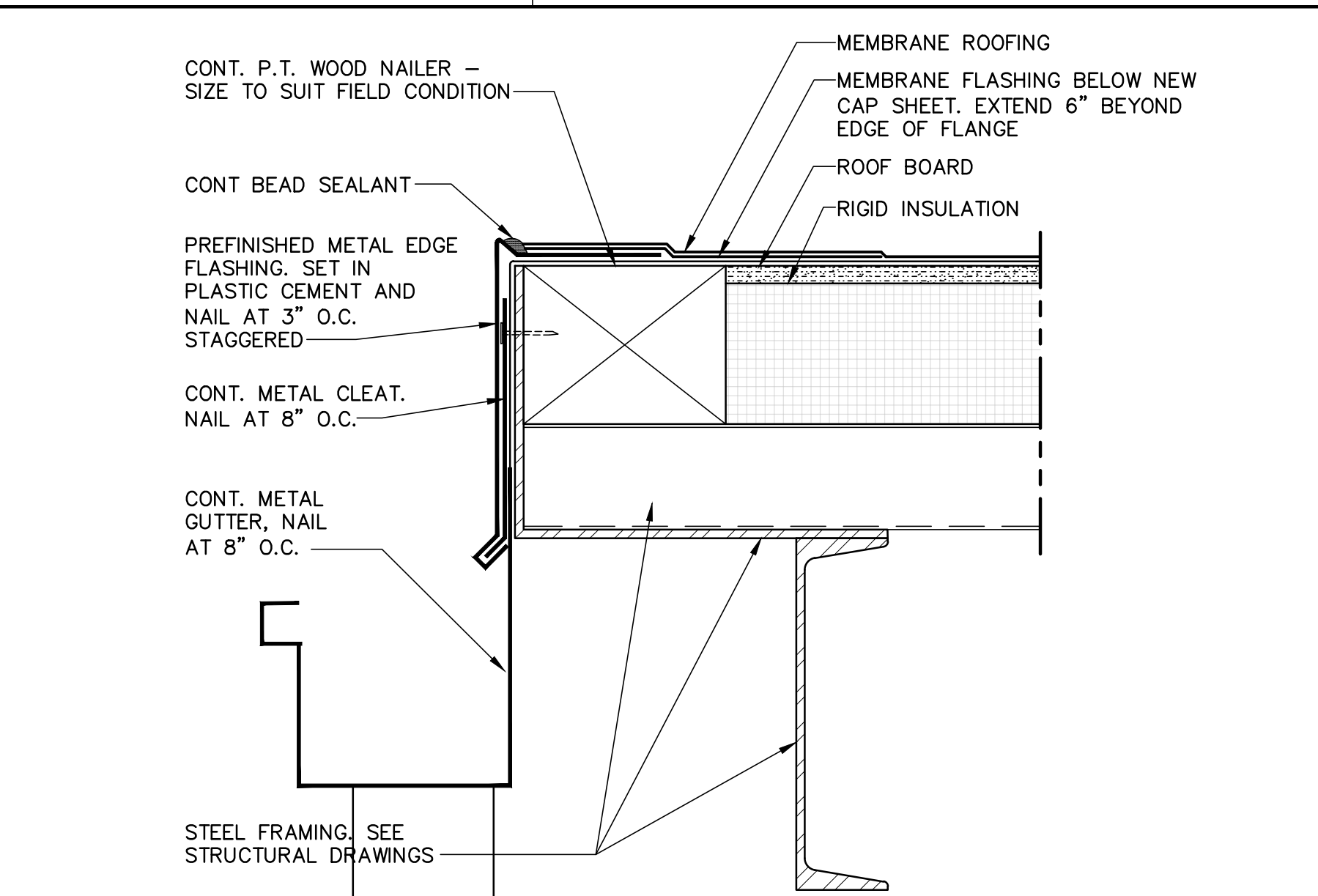
**B2** TYPICAL RAKE DETAIL

SCALE: 3" = 1'-0"



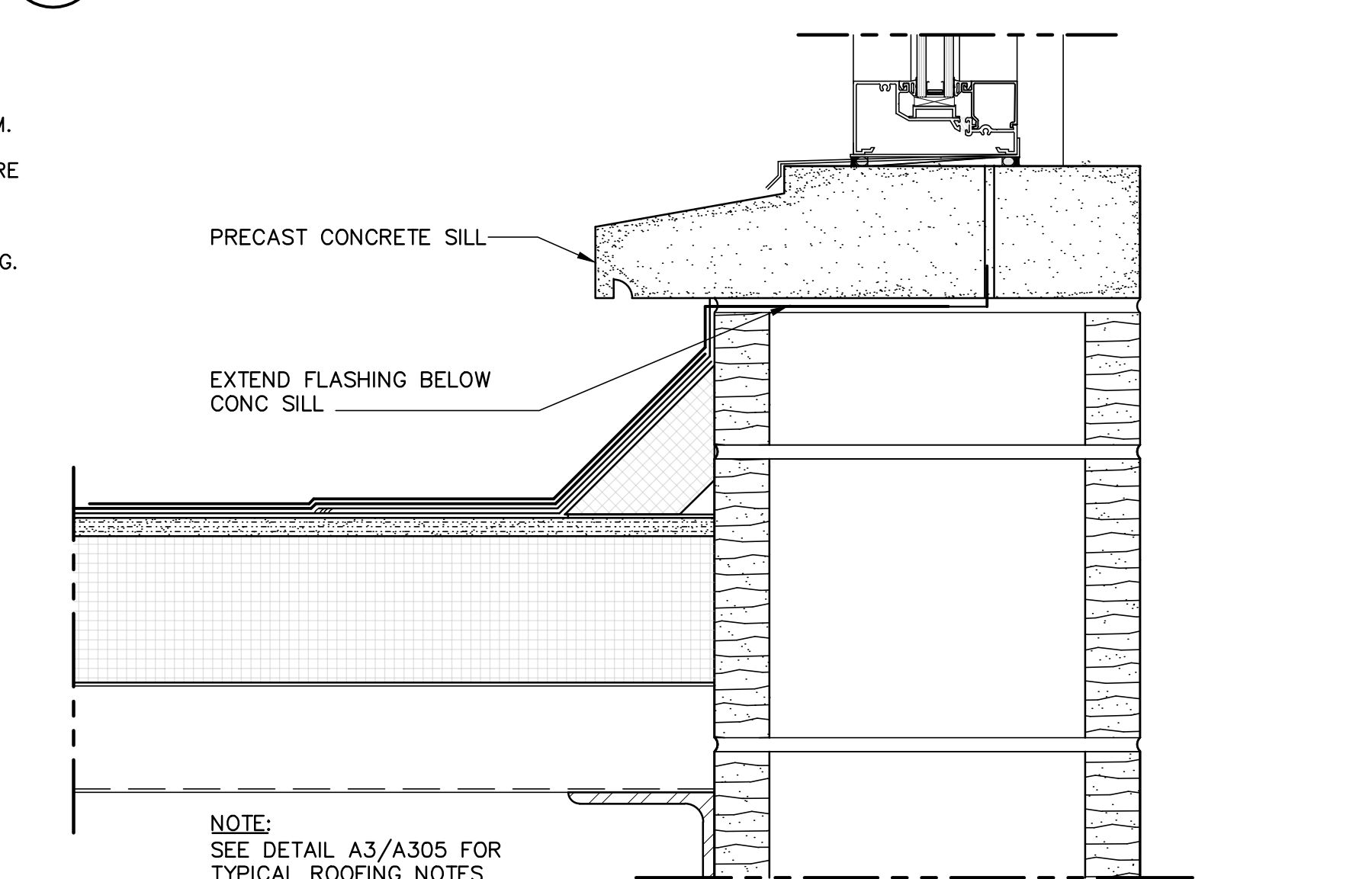
**A2** TYPICAL RIDGE DETAIL

SCALE: 3" = 1'-0"



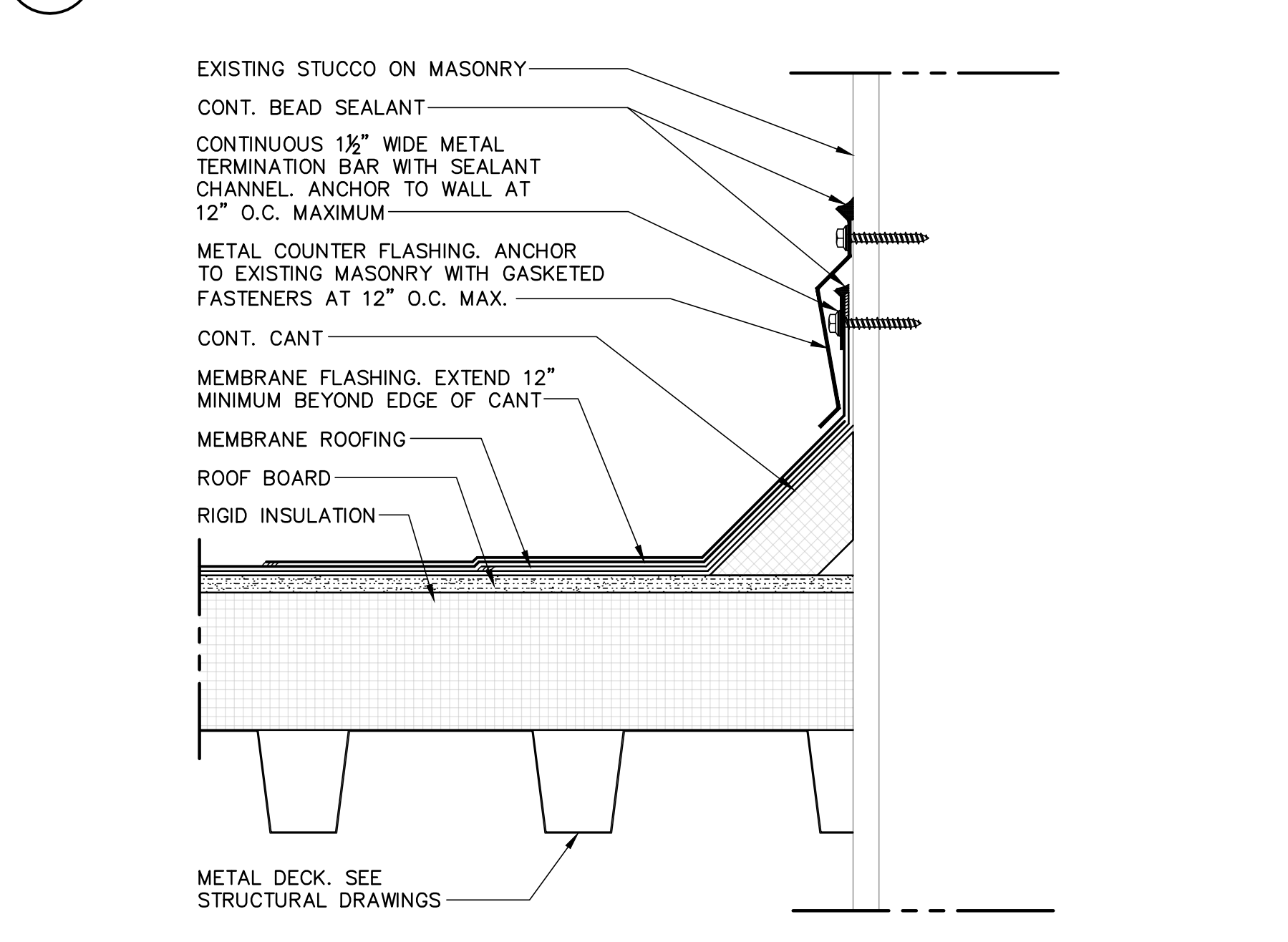
**C3** ROOF EDGE FLASHING DETAIL

SCALE: 3" = 1'-0"



**B3** BASE FLASHING DETAIL

SCALE: 3" = 1'-0"



**A3** BASE FLASHING DETAIL

SCALE: 3" = 1'-0"





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CONSULTANTS

NOTES (APPLY TO ALL SECTIONS)

- 1 REMOVE STOREFRONT OR CMU FOR NEW STOREFRONT OR CASSED OPENING.
- 2 LOW ROOF PORTION OF ADDITION FLASHES BELOW EXIST ROOF SYSTEM AND BACK TO TALL PORTION OF ADDITION.
- 3 REMOVE EXISTING STAIR FUNCTION BY IN-FILLING; SEE A1/A302 & STRUCTURAL.
- 4 EXIST GYP BD ON CMU WALL &/OR STUD WALL TO REMAIN.
- 5 EXIST DR/FRAME &/OR STOREFRONT TO REMAIN.
- 6 REMOVE ENTRY/DORMER TO EXTENT REQ'D TO REBUILD PER STRUCTURAL; IN NO CASE REMOVE EXISTING ROOFING TILE BEYOND VALLEY. SEE DETAILS & ROOF PLAN.
- 7 ALL WORK AT CMU &/OR STOREFRONT REMOVAL REQUIRES REPAIR OF EXISTING EFS/TO MATCH EXISTING, TRIMMED, PAINTED.
- 8 NO WORK AT EXIST. TILE ROOF, EXCEPT TO MINIMAL DEGREE INDICATED IN NOTE 3, ON PLAN, ON SECTIONS, & ON STRUCT DRWS.
- 9 EXISTING GUTTER TO REMAIN.

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
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ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

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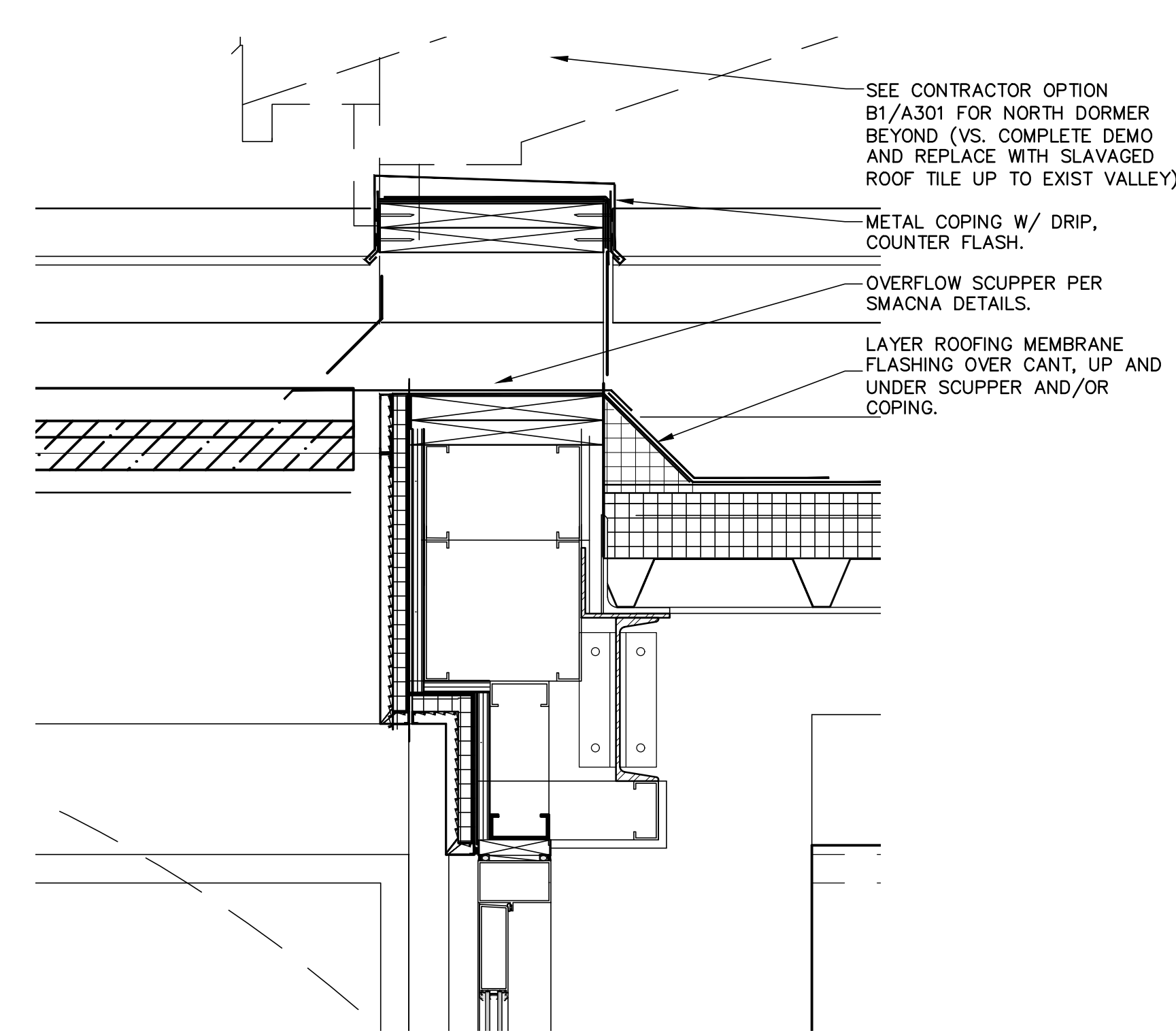
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SHEET TITLE

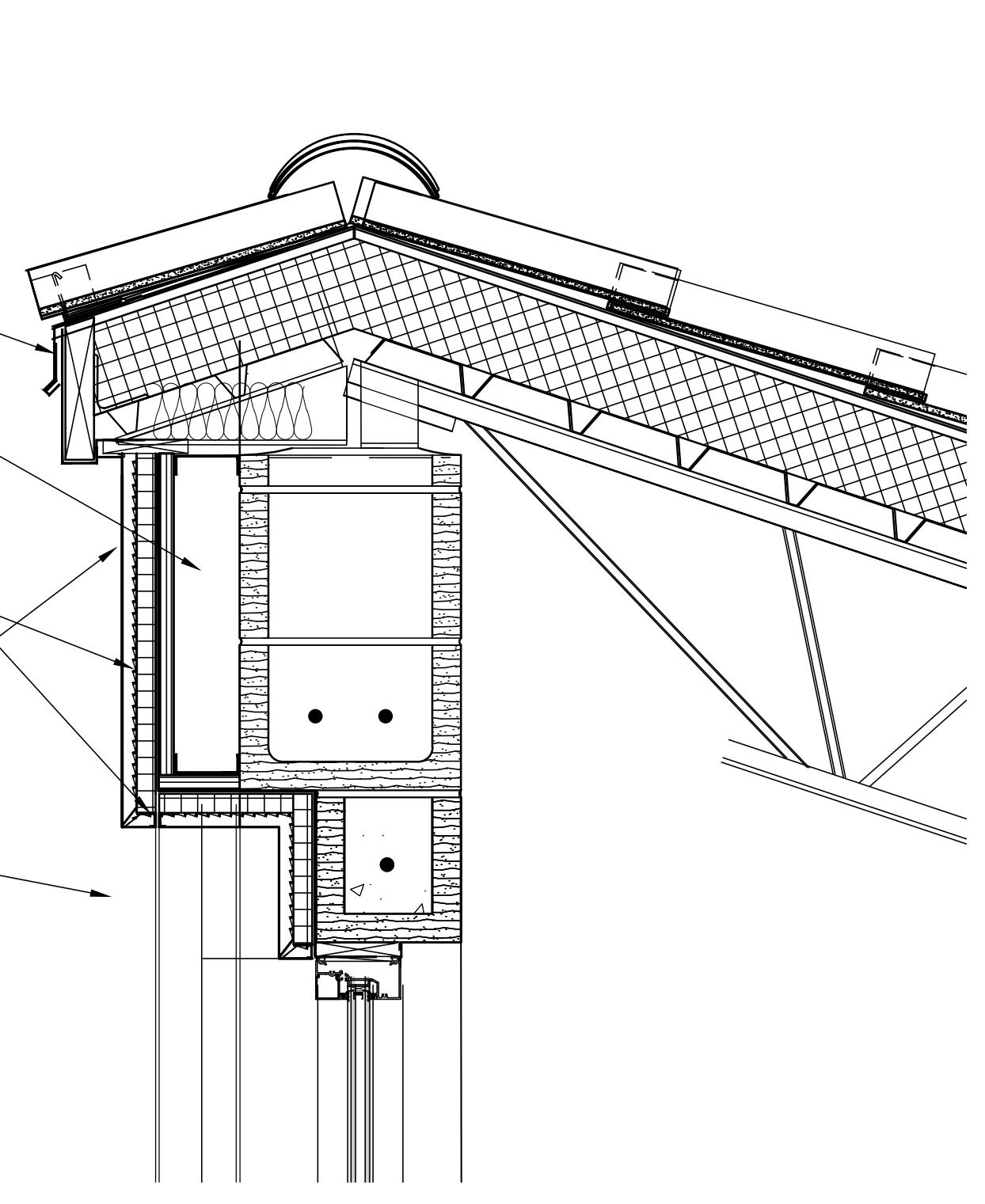
BUILDING SECTIONS,  
WALL SECTIONS AND DETAILS

SHEET NUMBER

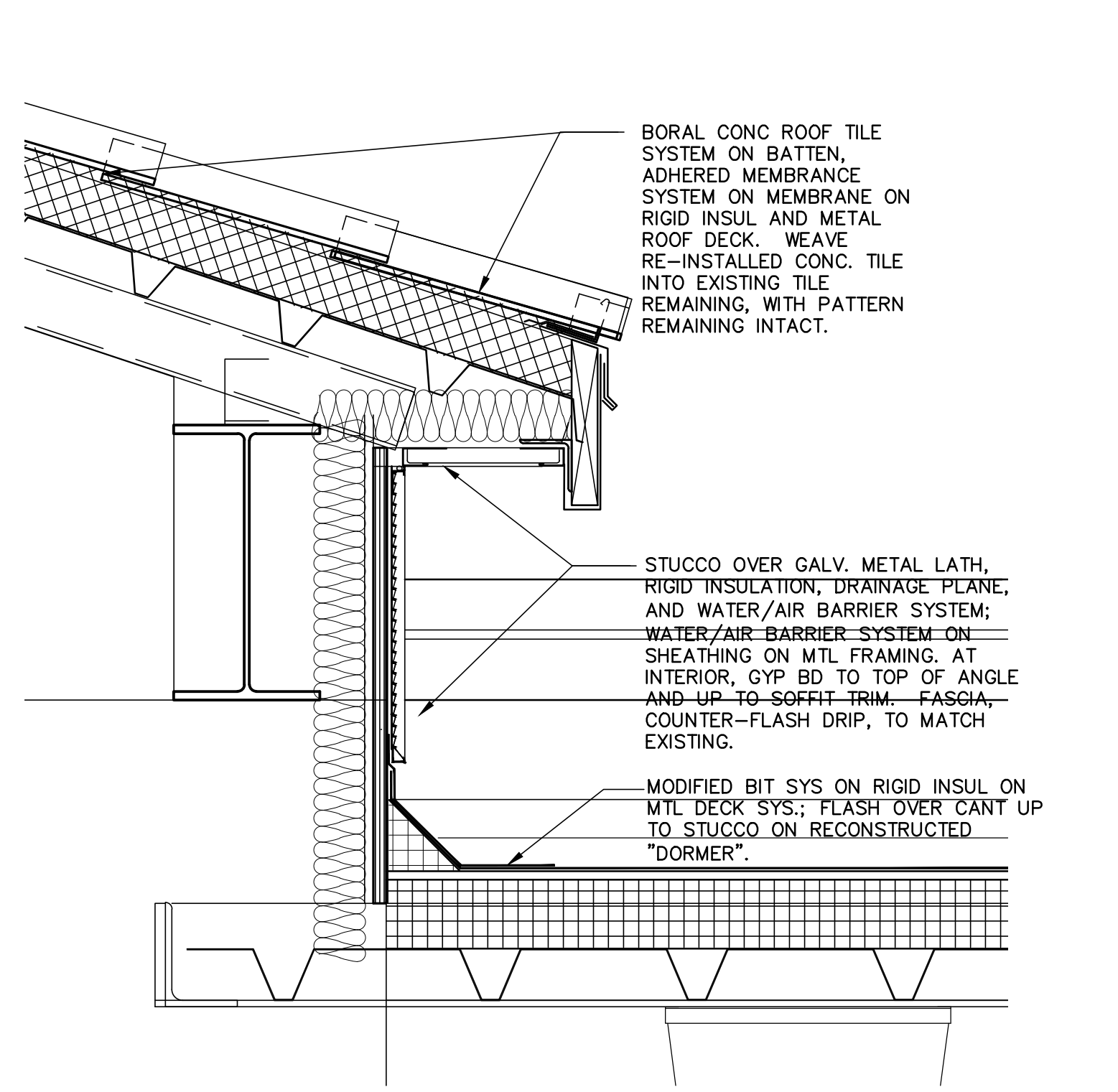
A306



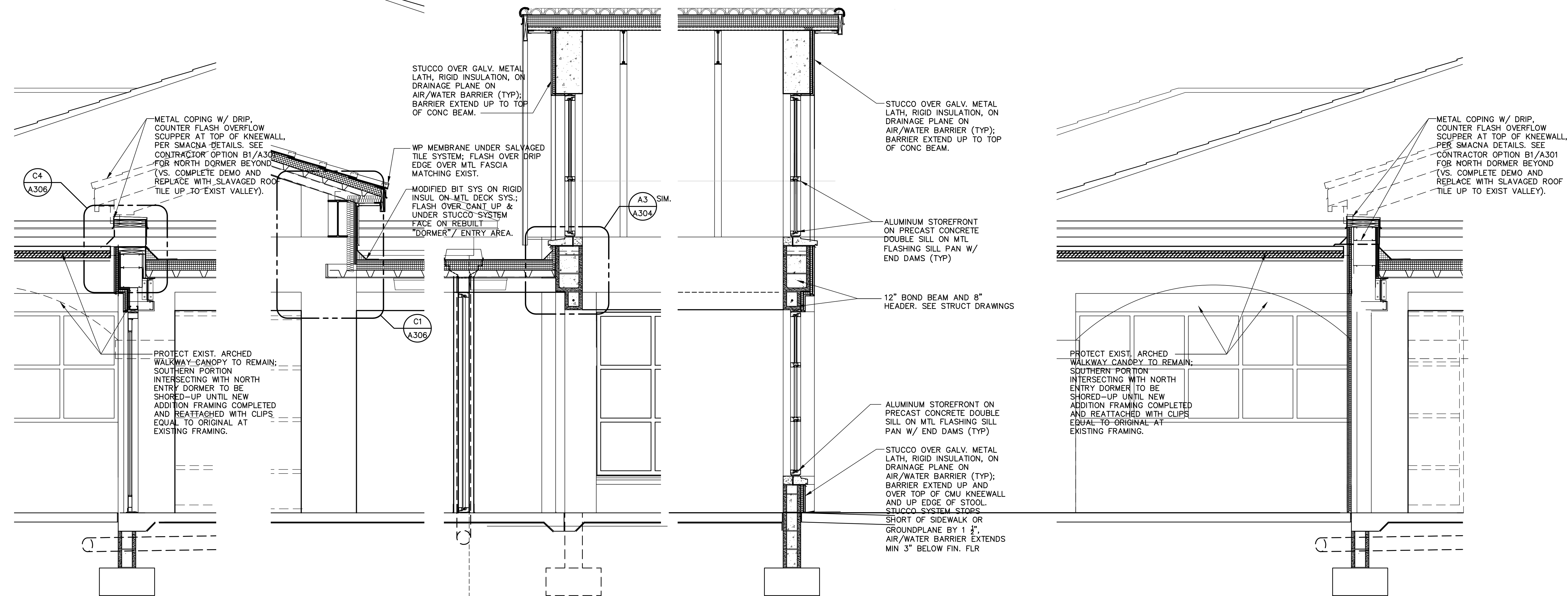
**C4** DETAIL • PARAPET/SCUPPER  
SCALE: 1 1/2" = 1'-0"



**C3** DETAIL • ADDITION NORTH END  
SCALE: 1 1/2" = 1'-0"



**C1** DETAIL • REBUILT SOUTH DORMER  
SCALE: 1 1/2" = 1'-0"



**A1** WALL SECTION  
SCALE: 1/2" = 1'-0"

**A2** WALL SECTION  
SCALE: 1/2" = 1'-0"

**A3** WALL SECTION  
SCALE: 1/2" = 1'-0"

**A4** WALL SECTION  
SCALE: 1/2" = 1'-0"





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CONSULTANTS

NOTES

- 1 PROVIDE NEW/REPAIR GYP BD HEAD & JAMB WHERE WALL &/OR STOREFRONT REMOVED.
- 2 REMOVE EXIST DR, FRAME, HRWR, & TURN-OVER TO COLLECTOR; DEMO WALL UP TO +/- 8' AFF & REPAIR; PREPARE FLR FOR NEW LVT.
- 3 TO INCREASE ACCESSIBILITY, INCREASE STALL AREA AND SHIFT LAV (SEE PLUMB); REMOVE PORTION OF EXIST WALL, PROVIDE NEW CB/BACKER AT TILE, MR OUTER & CEILING; EXTEND GYP BD CEILING, FLUSH OR STEPPED ALIGNING W/ EXIST TILE. NEW TILE ALIGNING WITH EXIST AT WALL AND FLOOR. COLOR TO COORDINATE/ACCENT EXISTING (W ARCHITECT APPROVAL).
- 4 REPAIR CEILING AND FLOOR WHERE WALL REMOVED; SEE A101.
- 5
- 6 DEMO WALL UP TO +/- 8' AFF. & REPAIR; REPAIR FLR, PROVIDE LVT TRANS. STRIP.
- 7 NOT USED
- 8 COORDINATING SLOPE WITH NEW SIDEWALK, INFL/EXTEND 1 RISE EXIST DOCK STEPS, CONC SLAB WARPED TO ALIGN W/ EXIST & NEW CONC WALK. SEE SECTIONS.
- 9 NOT USED
- 10 NOT USED
- 11 NEW GB WALL UP TO EXIST. CEILING (1" GB ON 4" STUD TYP.)

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

MARK DATE DESCRIPTION

ISSUE: JAN 22, 2020

PROJECT NO: 1809

CAD DWG FILE:

DRAWN BY: ALS

CHECKED BY: MSB

BID DOCUMENTS PHASE

SHEET TITLE

ENLARGED FLOOR PLANS  
AND ELEVATIONS

SHEET NUMBER

A401

GENERAL CABINET NOTES:

1. BOOKSTORE EXISTING CABINETS TO BE REMOVED, RELOCATED, & INSTALLED IN NEW BOOKSTORE IN NEW ADDITION, WITH MINOR RECONFIGURATION. COUNTER IS NOT BEING RELOCATED (PROVIDE NEW SOLID SURFACE COUNTER). SEE A102 & ENLARGED PLAN.
2. CAFE' EXISTING COUNTER, CABINETS & CABINET FACE, TO BE REMOVED, RELOCATED, & INSTALLED IN NEW CAFE', WITH MINOR ALTERATIONS. SEE A102 & ENLARGED PLAN.

CABINET SCHEDULE

CAB. MARK	NEW LOCATION	DESCRIPTION	RELOCATE BY
			OWNER CONTRACTOR
	V019/120	BOOKSTORE SERVICE COUNTER AREA	
C1	V019/120	CABINET UNIT/ADJ. SHELF & DRAWERS	X
C2	V019/120	CABINET UNIT/ADJ. SHELF & DRAWERS	X
C3	V019/120	CABINET UNIT/ADJ. SHELF & DRAWERS	X
C4	V019/120	CABINET UNIT/ADJ. SHELF & DRAWERS	X
C5	V019/120	CABINET UNIT/ADJ. SHELF & DRAWERS	X
C6	V019/120	END CABINET UNIT/ADJ. SHELF, DRAWERS	X
C7	V019/120	CABINET UNIT/ADJ. SHELVES	X
C8	V019/120	CABINET UNIT/ADJ. SHELVES	X
C9	V019/120	CABINET FILLER UNIT/SQUARE TO ANGLE	X
C10	V019/120	CABINET UNIT/ADJ. SHELVES	X
C11	V019/120	CABINET UNIT/ADJ. SHELVES	X
C12	V019/120	END CABINET UNIT/ADJ. SHELVES	X
C13	V019/120	SWING DOOR & TRIM	X
V0120		BOOKSTORE/NON-PUBLIC AREA; DTLS ON 11-06-2011 RECORD DOCS	
C14	V0120	MALBOXES, THRU-WALL TYPE	X
C15	V0120	CABINETS: 3 OPEN BASE UNITS, ADJ SHELVES	X
C16	V0120	CABINETS: 4 BASE UNITS W/ DOORS & ADJ SHELVES	X
C17	V0120	CABINETS: 4 UPPER UNITS, OPEN, ADJ SHELVES	X
C18	V0120	CABINETS: 4 BASE UNITS W/ DOORS & ADJ SHELVES	X
C19	V0120	CABINETS: 2 UPPER UNITS W/ DOORS, ADJ SHELVES	X
C20	V0120	BOOKSHELVES: 30 UNITS	X
V0101/224		COMMUNITY ROOM AND DATA ROOM	
E01	V0101	VENDING MACHINE: 3 UNITS	X
E02	V0101	ATM EQUIPMENT: 1 UNIT	X
E03	V0124	IT/DATA EQUIPMENT: 1 UNIT	X

TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION
1	MIRROR (SALVAGE EXIST./TURN OVER TO OWNER)
2	SOAP DISPENSER (RELOCATE EXIST)
3	PAPER TOWEL DISPENSER (RELOCATE EXIST)
4	TOILET PAPER DISPENSER (EXIST/NO CHANGE)
5	SANITARY NAPKIN DISPOSAL (EXIST/NO CHANGE)
6	TWO WALL TYPE GRAB BAR (EXIST/NO CHANGE)
7	* MIRROR (18" x 64")

THE CONTRACTOR SHALL COORDINATE THE MOUNTING REQUIREMENTS OF NEW OR RELOCATED TOILET ACCESSORIES IN ORDER TO PROVIDE PROPER BACKING/BLOCKING WITHIN WALLS AND PARTITIONS; CONTRACTOR SHALL VERIFY ROUGH OPENING REQUIREMENTS FOR RELOCATED RECESSED TOWEL DISP. FOR CONSTRUCTING NEW WALL.

\* NEW MIRROR (COVERS PREVIOUS LAV & PLUMBING WALL OPENINGS); SIZE AS REQUIRED TO FIT WITHIN AVAILABLE SPACE BETWEEN GRAB BAR AND RELOCATED LAV.

CONTRACTOR OPTION TO PROVIDE NEW, OR RELOCATE DOOR, FRAME, HARDWARE SEE A101 AND A102

EXISTING ELECTRICAL V0114

STUDENT ACTIVITY CENTER (Previous Comm Rm) V0101

STOR PANTRY V0116E

WH

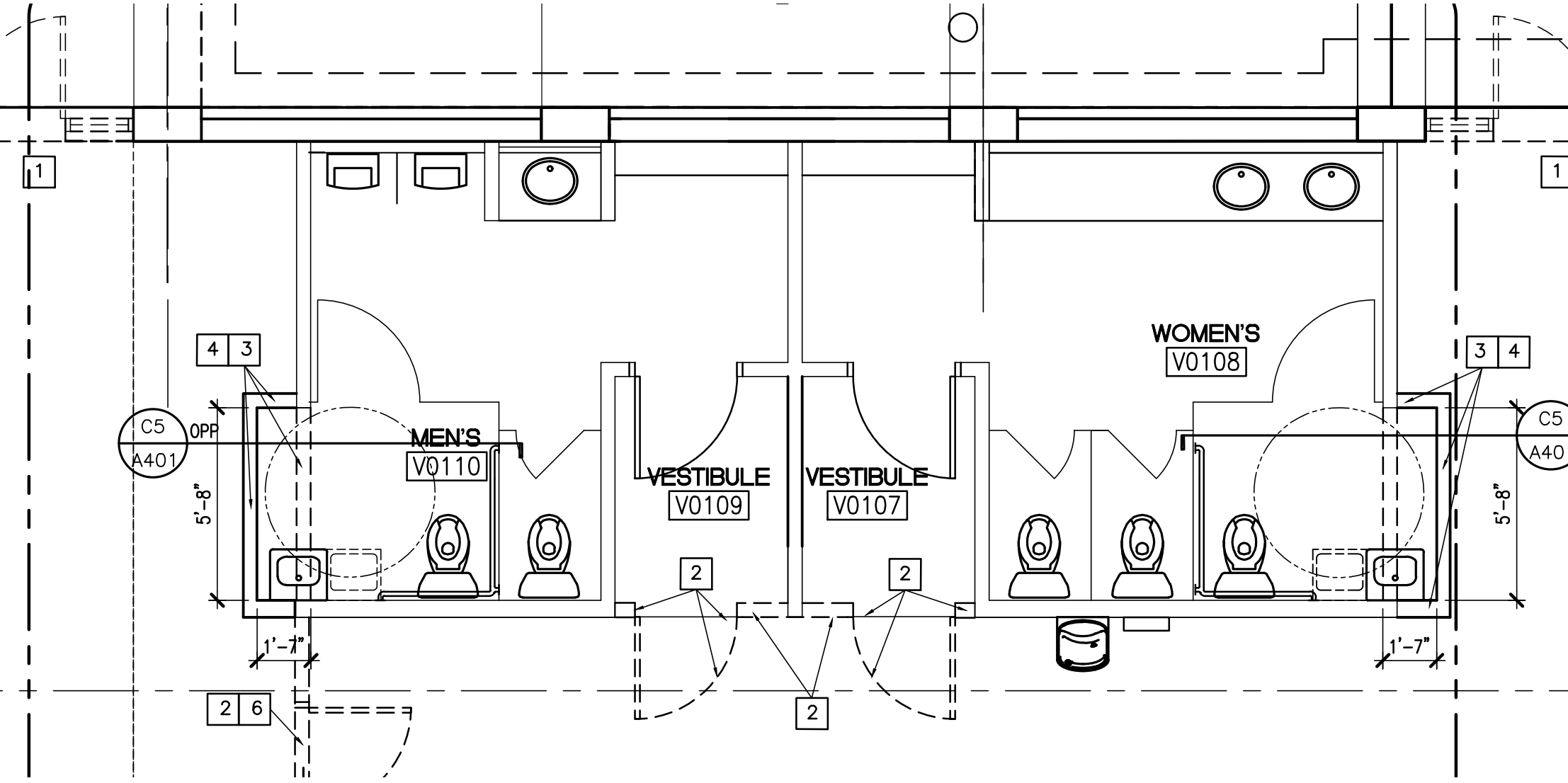
CUST. V0117E

STUDENT ACTIVITY CENTER (Previous Bookstore) V0101

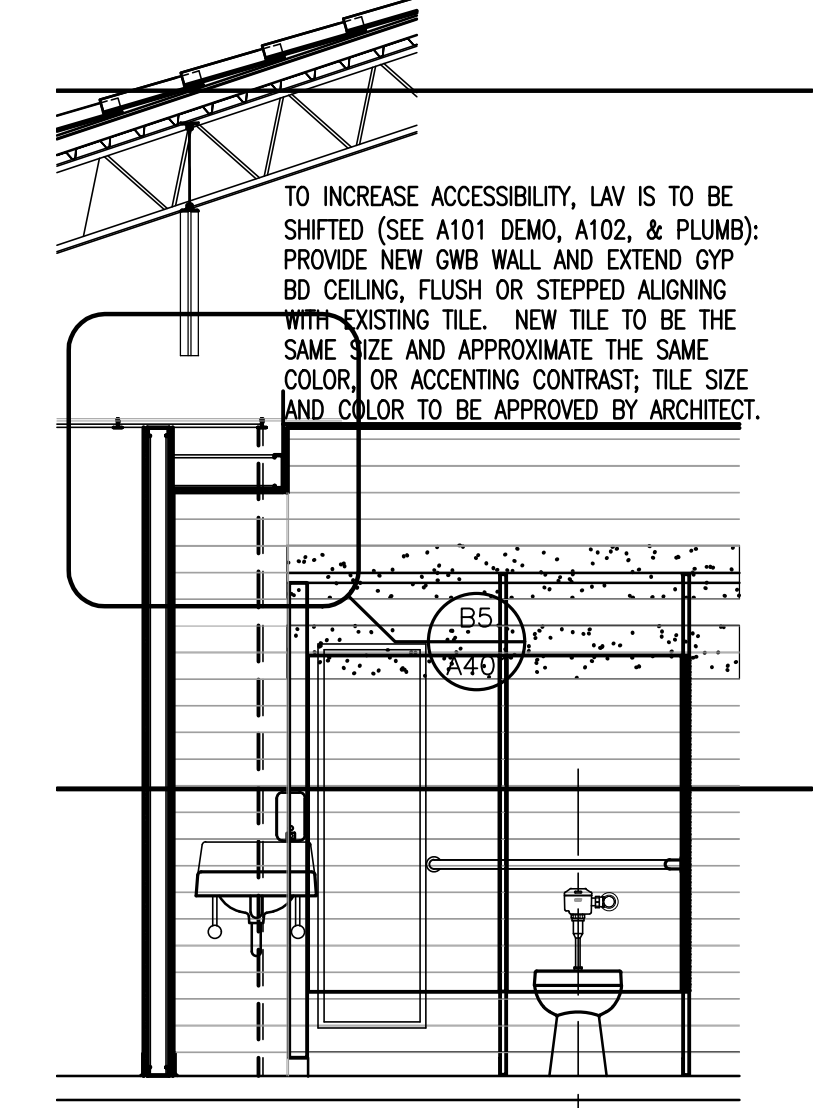
UTILITY V0123E  
CONTRACTOR OPTION TO PROVIDE NEW, OR RELOCATE DOOR, FRAME, HARDWARE SEE A101 AND A102

TRUCK DOCK

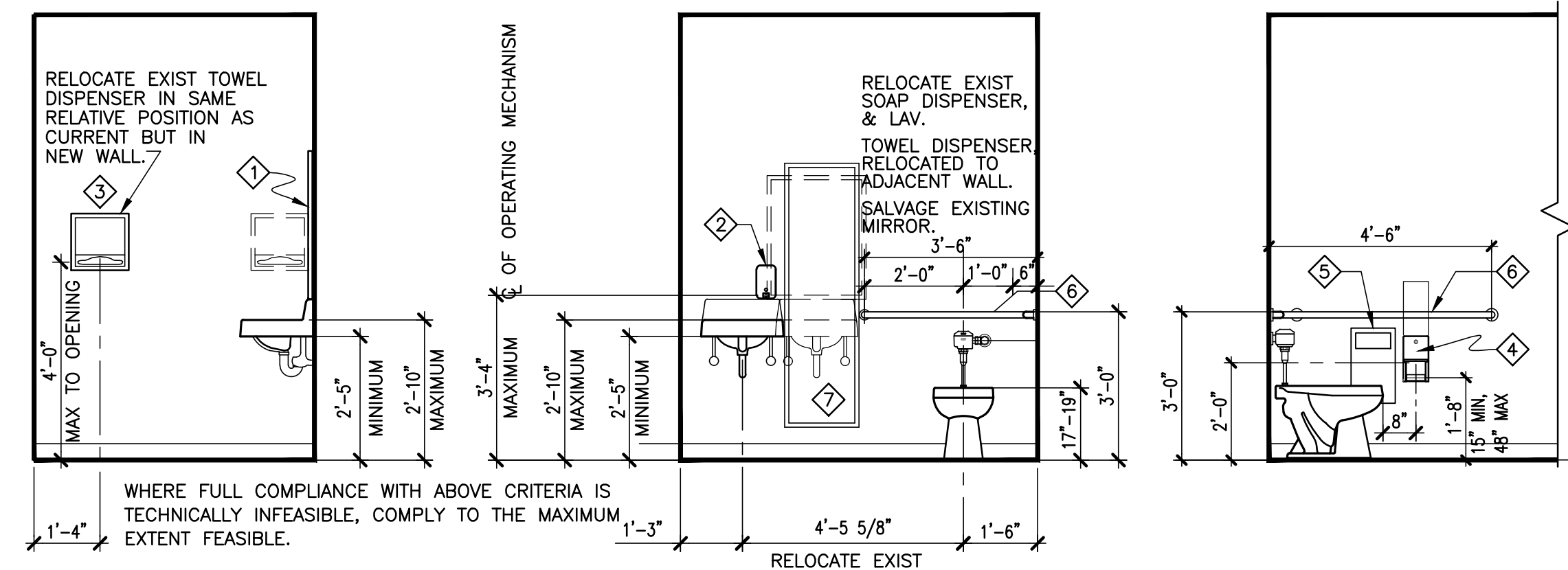
RECEIVING V0115



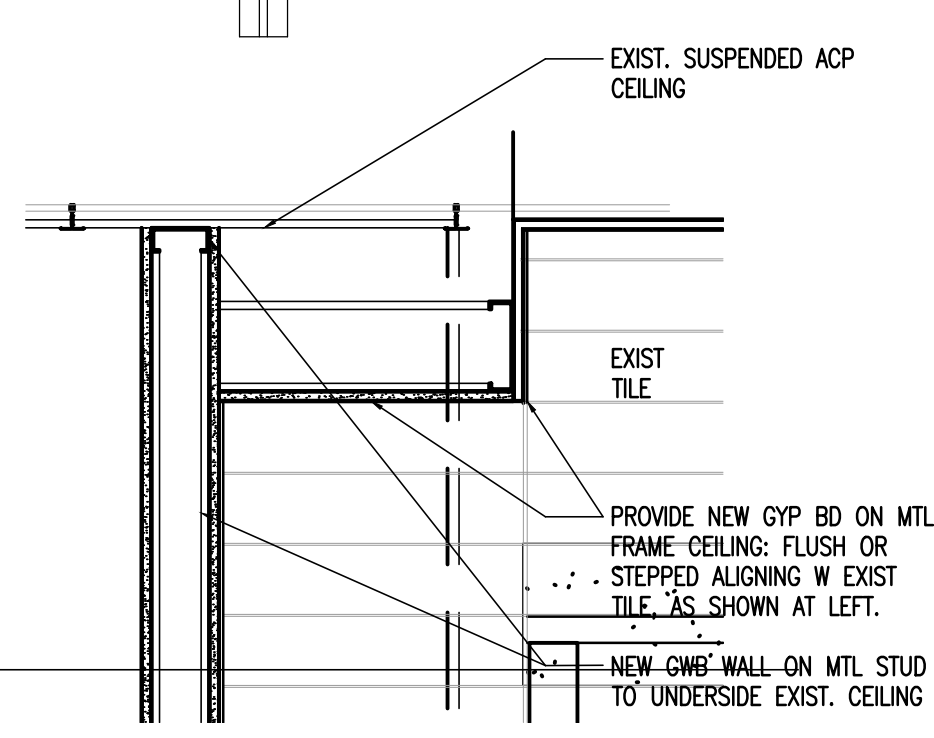
C4 ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



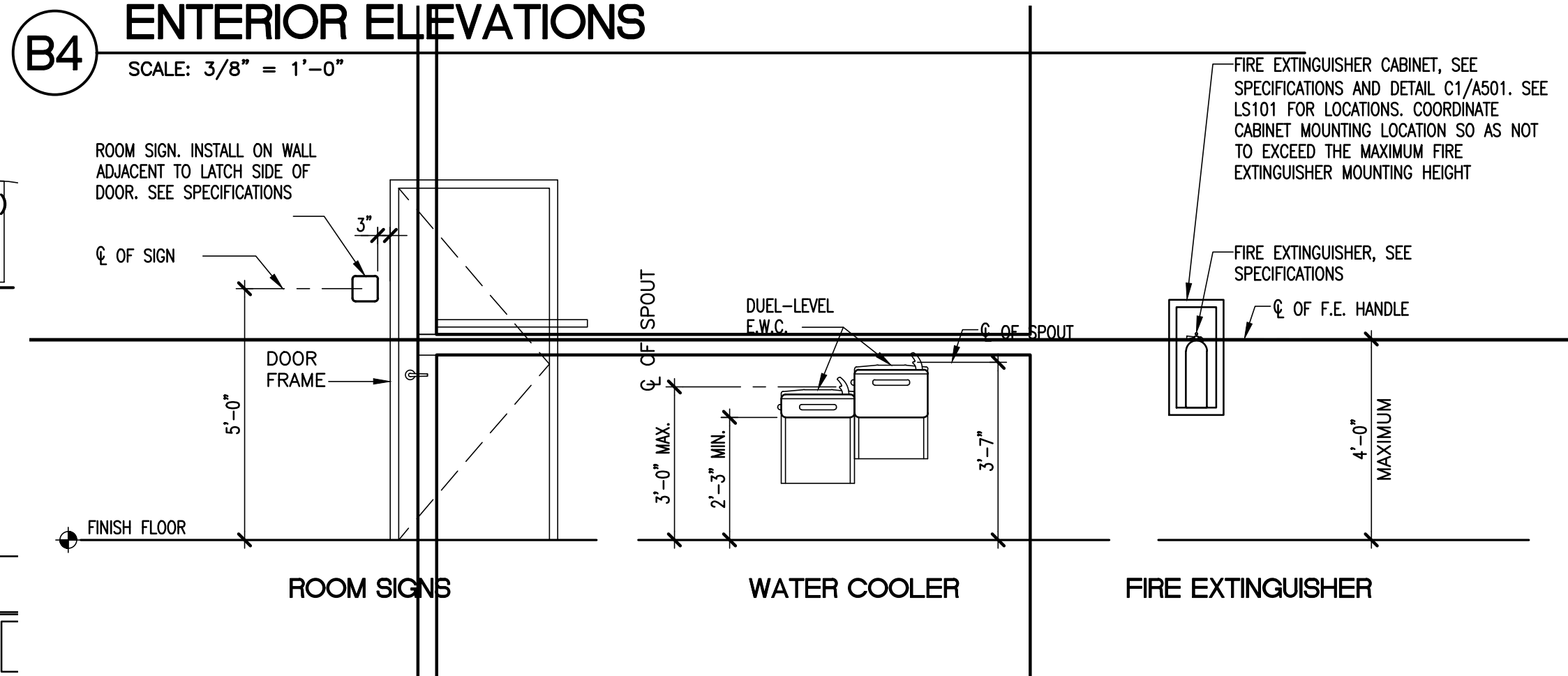
C5 WALL SECTION  
SCALE: 3/8" = 1'-0"



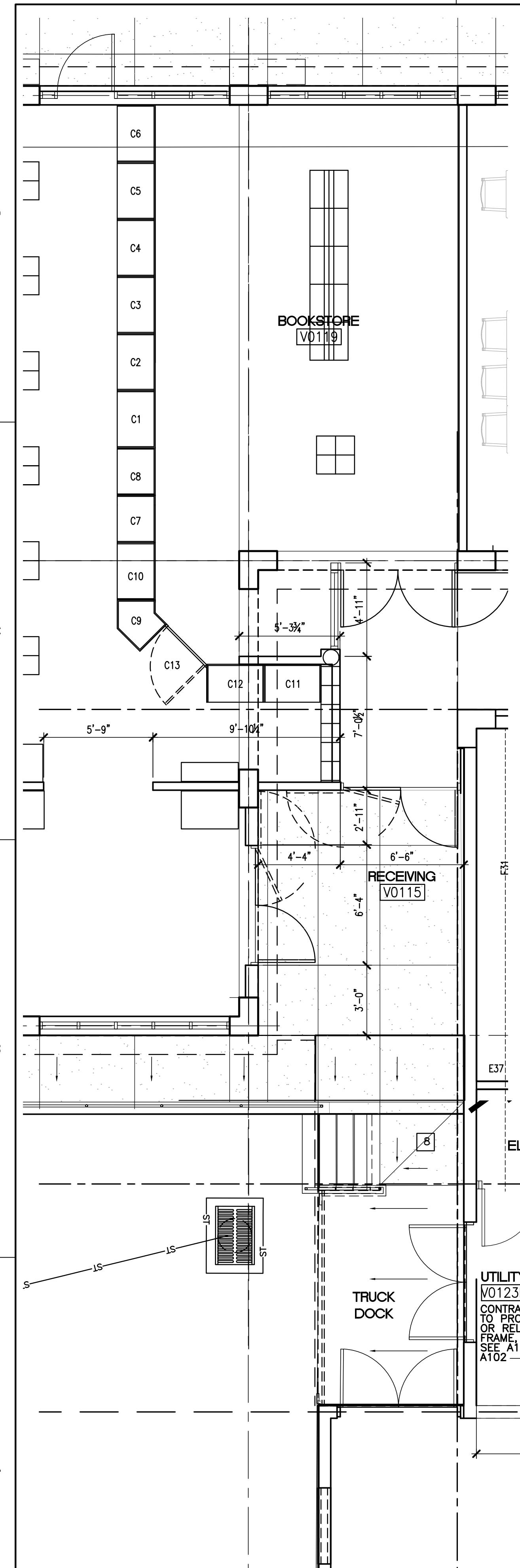
B4 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"



B5 DETAIL  
SCALE: 1" = 1'-0"



B4 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"



A1 ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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NOTES

PROJECT

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STATE COLLEGE

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ISSUE:	JAN 22, 2020	
PROJECT NO:	1809	
CAD DWG FILE:	A501.DWG	
DRAWN BY:	ALS	
CHECKED BY:	MSB	

MARK DATE DESCRIPTION

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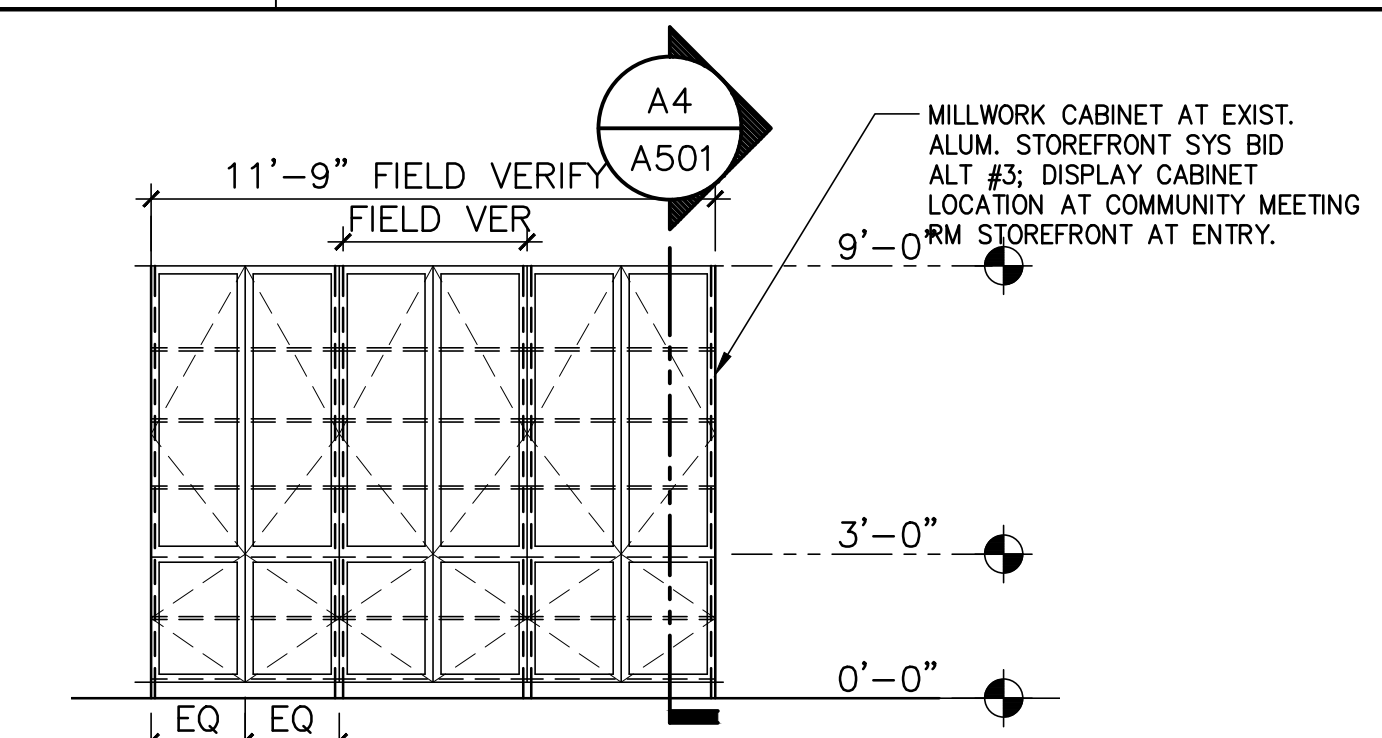
BID DOCUMENTS PHASE

SHEET TITLE

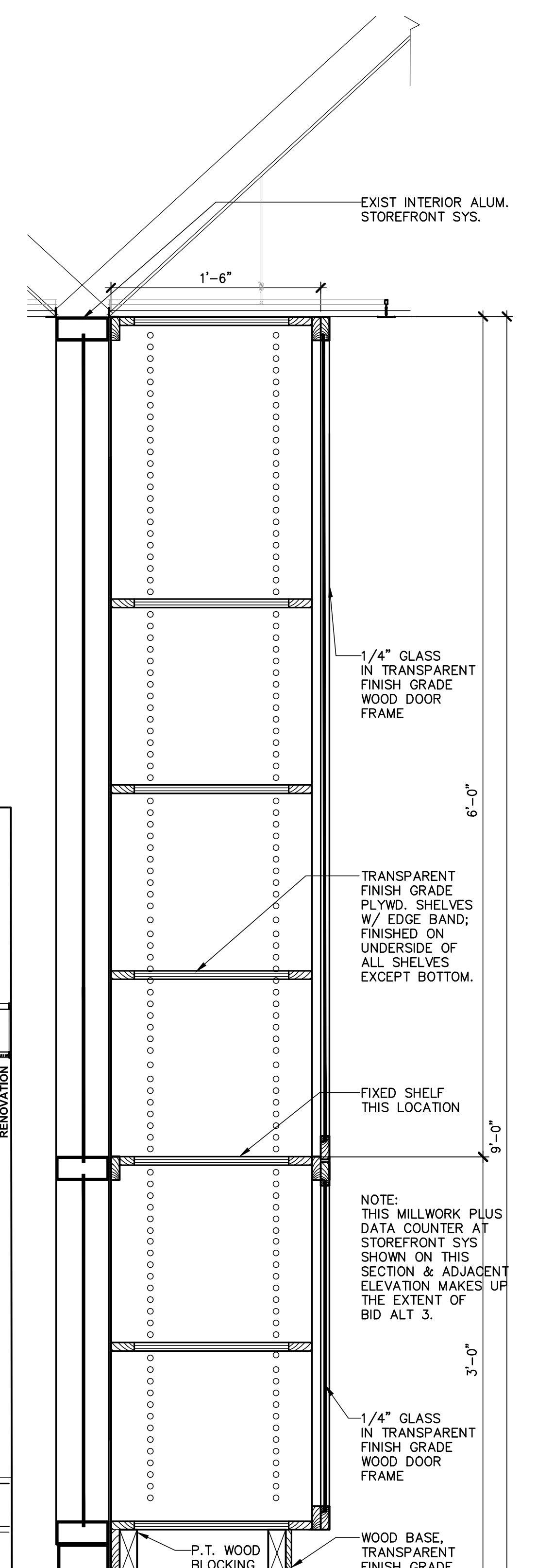
MISCELLANEOUS  
SECTIONS AND DETAILS

SHEET NUMBER

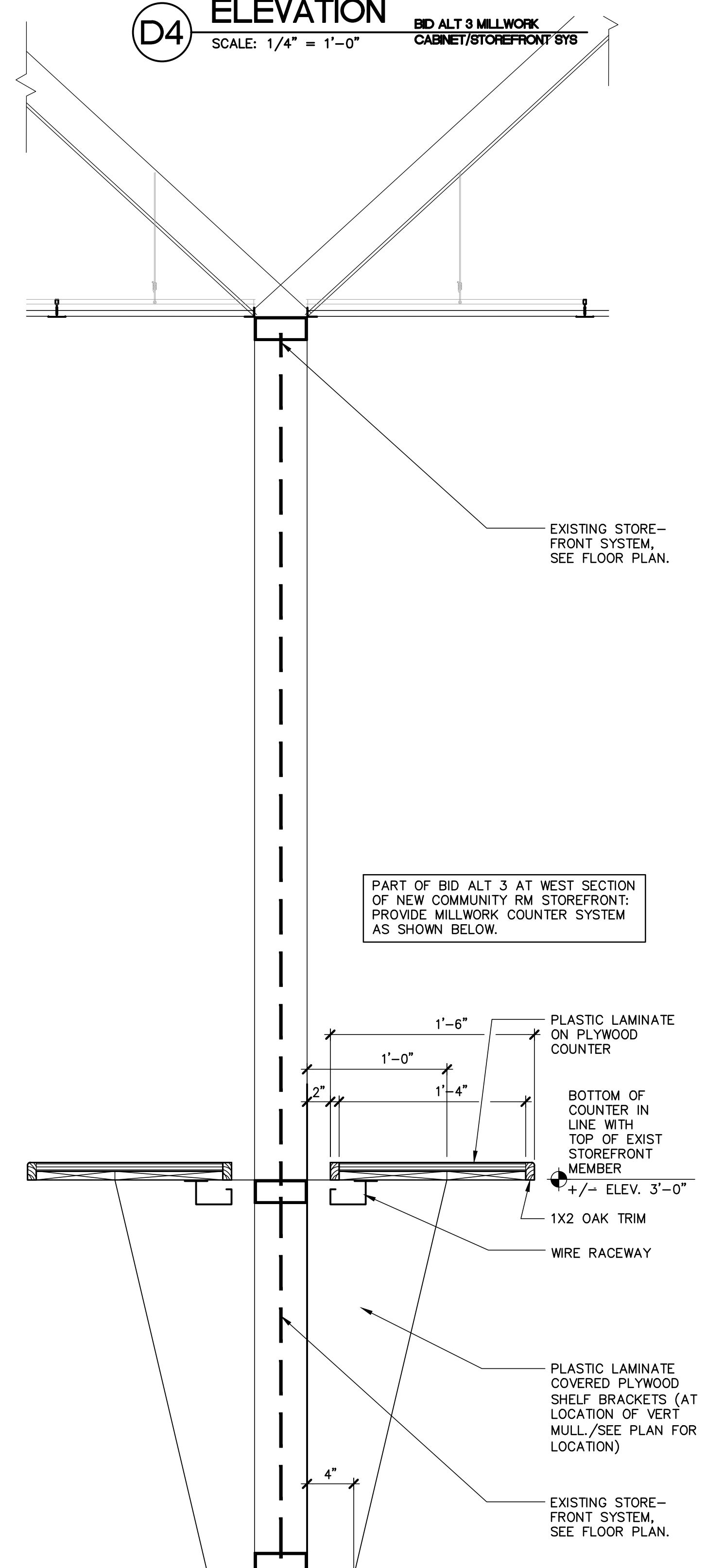
A501



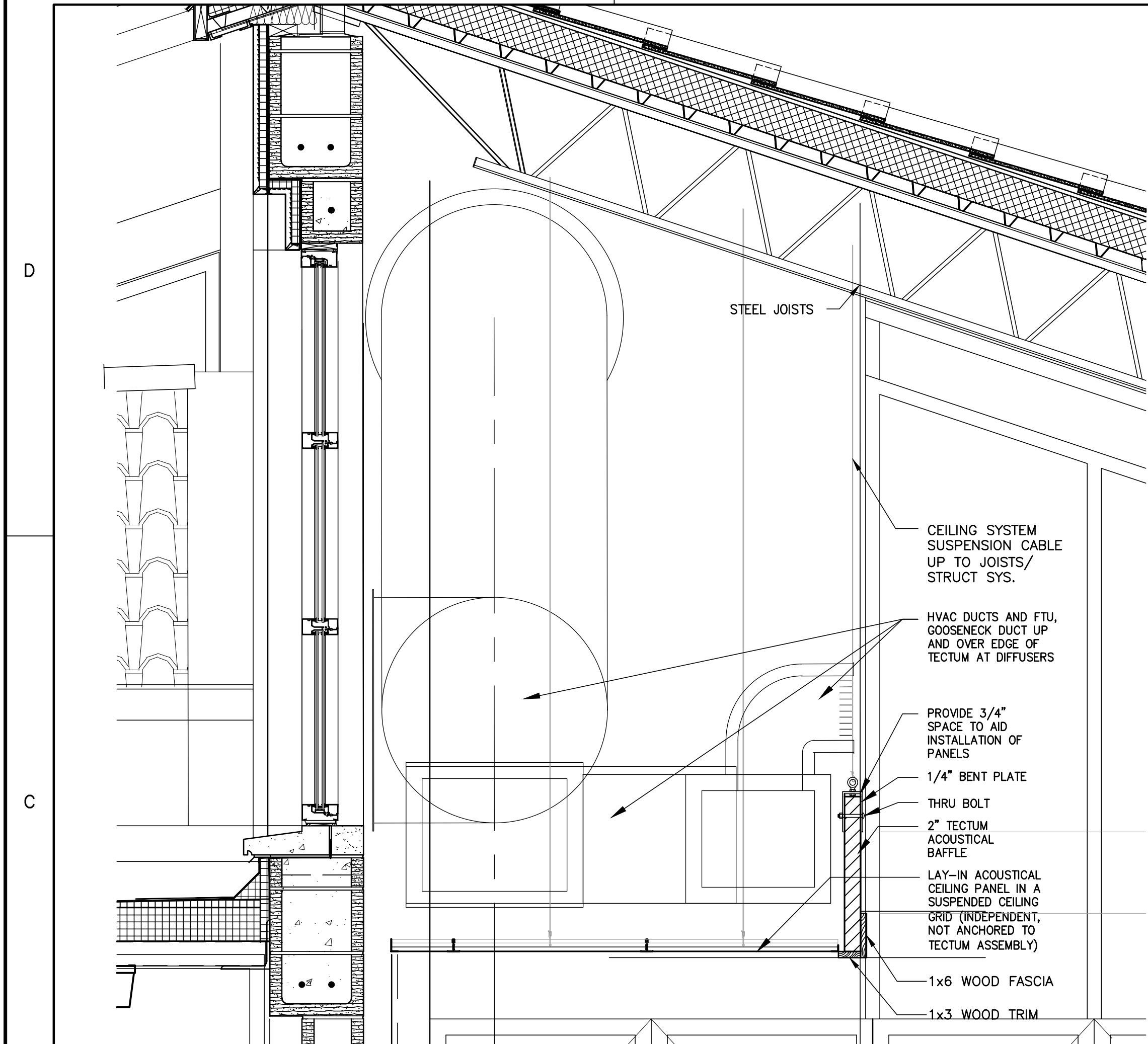
**D4 ELEVATION**  
SCALE: 1/4" = 1'-0"  
BID ALT 3 MILLWORK CABINET/STOREFRONT SYS



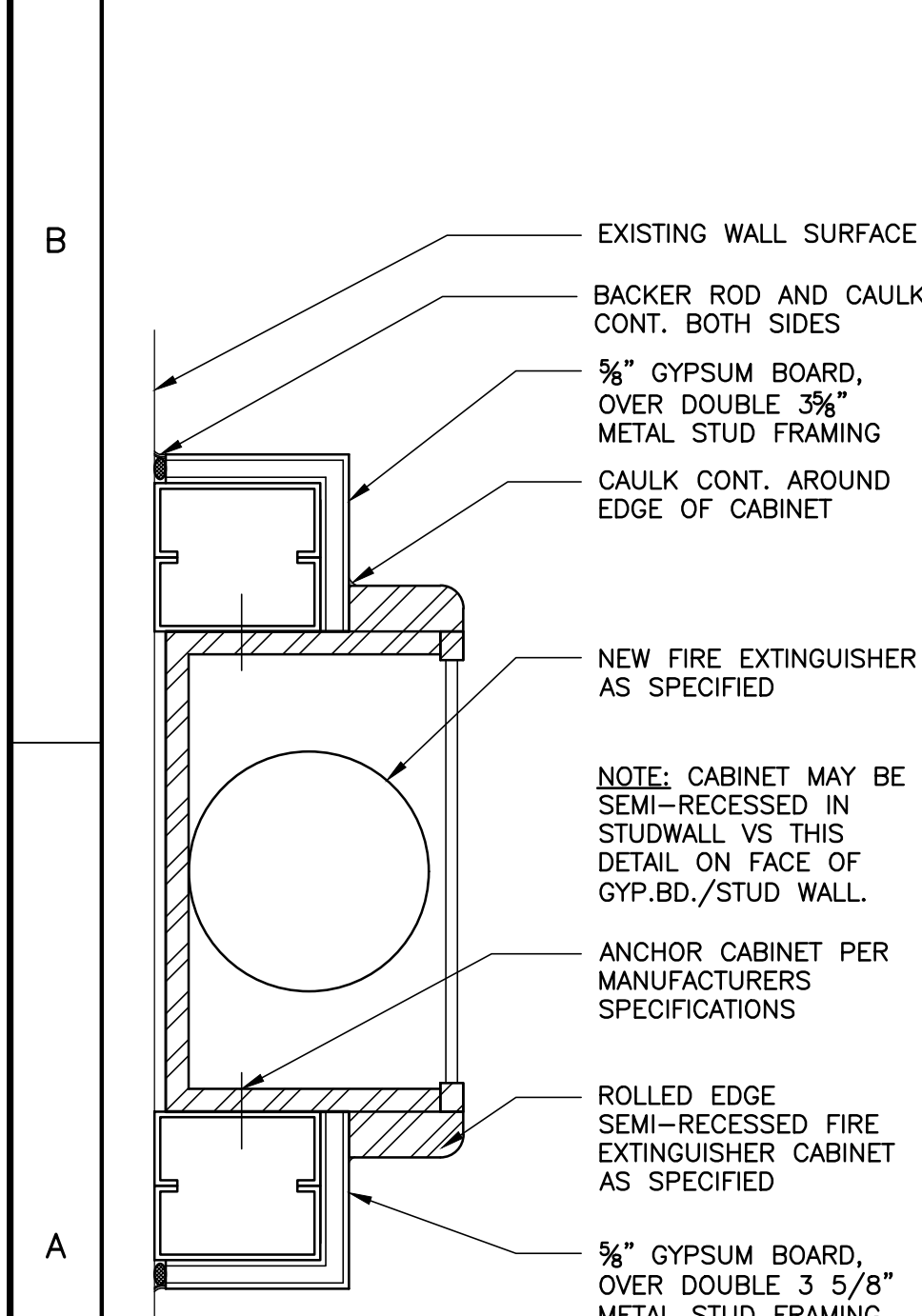
**A4 SECTION**  
SCALE: 1/2" = 1'-0"  
BID ALT 3 MILLWORK CABINET/STOREFRONT SYS



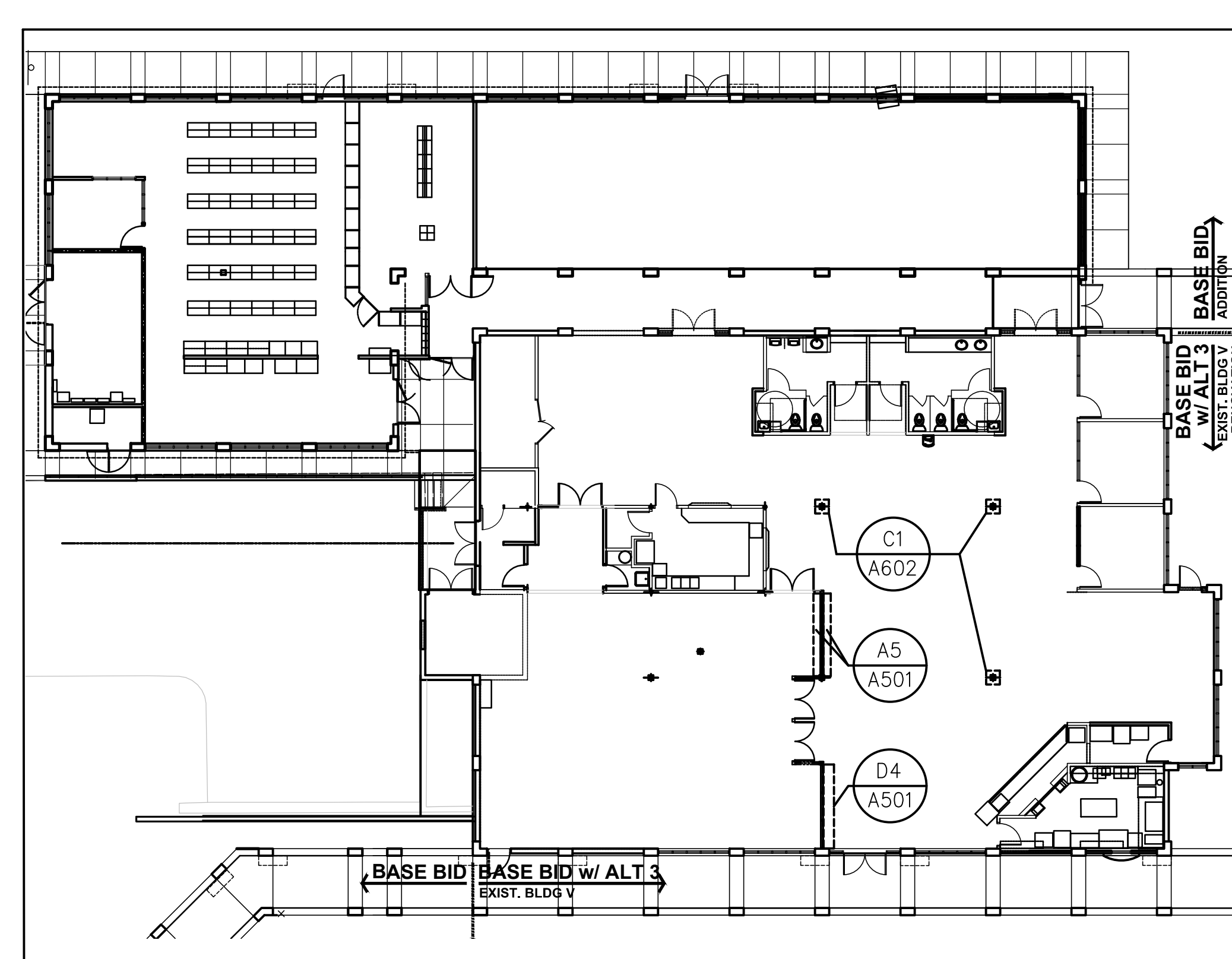
**A5 SECTION**  
SCALE: 1/2" = 1'-0"  
BID ALT 3 MILLWORK FOR DATA COUNTER AT STOREFRONT SYS



**C2 ENLARGED CEILING DETAIL**  
SCALE: 1" = 1'-0"



**A1 FIRE EXT. CABINET DETAIL (NEW WALL)**  
SCALE: 1/2" = 1'-0"



**A2 KEY PLAN**  
DO NOT SCALE  
BID ALT 3 MILLWORK CABINET/STOREFRONT SYS

1

2

3

4

5





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NOTES (APPLY TO THIS SHEET ONLY)

- REMOVE EXISTING WALLCOVERING, REPAIR AS REQUIRED TO REMOVE GLUE AND/OR FINAL MUD FINISH, SAND SMOOTH, AND PAINT.
- NEW WALL BETWEEN RESTROOM VESTIBULE AND ADA STALL TO MATCH OR BE ACCENT TILE WALL, SEE A1/A601.
- BID ALT 2: SEE REFLECTED CEILING PLANS FOR CEILING CLOUDS/ACP REMOVAL; PAINT DUCTS, STRUCTURE, CONDUIT, EQUIP, ETC. ABOVE THE GRID WHERE ACP REMOVED.
- AT LOCATION OF ALL NEW AND REVISED WALLS OR CASED OPENINGS (GYP BD ON MASONRY WALL) SHOWN ON FLOOR PLAN, REPAIR WALL SURFACE AND PAINT TO MATCH.
- NOT USED.
- CONTRACTOR OPTION: EXPOSED ARCH CMU CAN BE SEALED STANDARD CMU IN UTILITIES.

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FINISH SCHEDULE

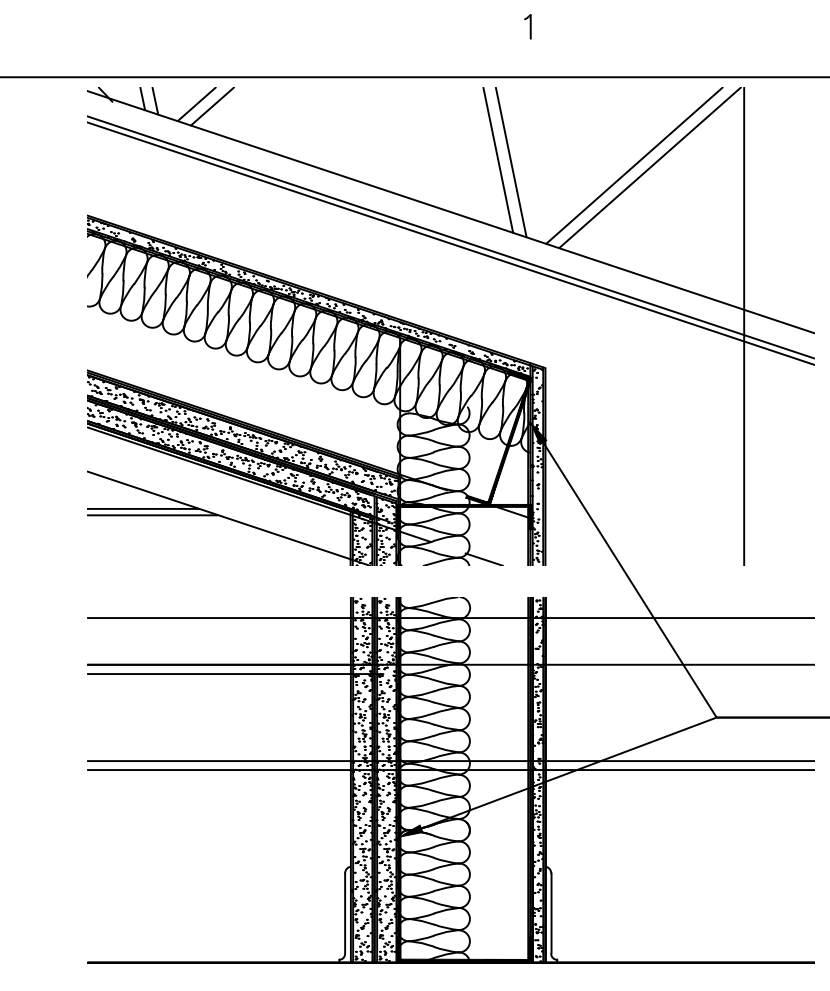
SHEET NUMBER

A601

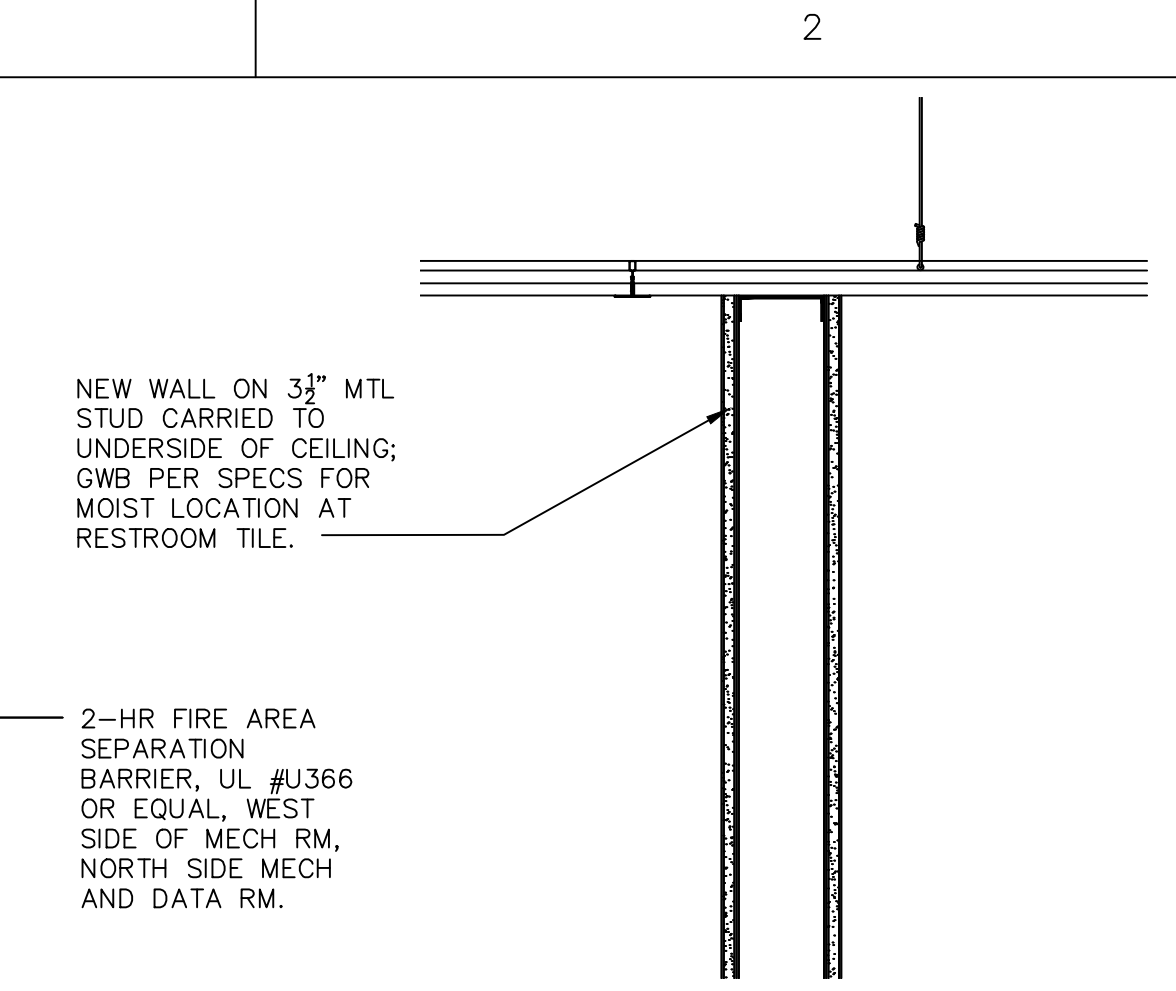
# FINISH SCHEDULE

MARK	SPACE	FLOOR		BASE		WALLS		WAINS.		CEILING		CL.G.HT.	REMARKS
		EXISTING TO REMAIN*	LVT	EXISTING TO REMAIN*	LOVE BASE	EXISTING TO REMAIN*	EXISTING TO REMAIN*	EXISTING TO REMAIN*	EXISTING TO REMAIN*	EXISTING TO REMAIN*	EXISTING TO REMAIN*		
<i>BLDG V ADDITION: BASE BID</i>													
V0100	ENTRY HALL		2									26	VARIABLES WALK-OFF CARPET INSET
V0112	VIKING HALL/ACTIVITY CENTER		2									26	VARIABLES [3]
V0115	RECEIVING			4								26	VARIABLES [6]
V0119	BOOKSTORE RETAIL		2									26	VARIABLES [3]
V0120	BOOKSTORE		2									26	VARIABLES [3]
V0121	DIRECTOR'S OFFICE			3								28	9'-0"
V0122	BOOKSTORE STORAGE			4								26	VARIABLES [6]
V0123	MECHANICAL			4								26	VARIABLES [6]
V0124	DATA			4								26	VARIABLES [6]
<i>BLDG V RENO: BASE BID</i>													
V0101	STUDENT ACTIVITY CENTER		1									32	VARIABLES EXIST CEILING STEPPED, 2 LOCATIONS [4]
V0101A	STUDENT ACTIVITY CNTR/Exist Com Rm		2									32	9'-0" DEMO EXIST CARPET. PREP FOR, PROVIDE, NEW LVT [4]
V0101B	STUDENT ACTIVITY CNTR/Exist Lounge		2									32	9'-0" DEMO EXIST CARPET. PREP FOR, PROVIDE, NEW LVT [4]
V0102	SECURITY OFFICE		1									32	9'-0"
V0103	COORDINATOR'S OFFICE		1									32	9'-0"
V0104	SAG OFFICE		1									32	9'-0"
V0105	STORAGE (PREVIOUS LOUNGE)		1									32	9'-0"
V0106	CAFE		1									32	9'-0"
V0106A	FOOD PREP		1									32	8'-8"
V0107	VESTIBULE		1									32	9'-0"
V0108	WOMEN		1		5							32	9'-0" NEW CT AT STALL FLR & WALLS AT EXTENDED STALL
V0109	VESTIBULE		1									32	9'-0"
V0110	MEN		1		5							32	9'-0" NEW CT AT STALL FLR & WALLS AT EXTENDED STALL
V0112	COMMUNITY CENTER/Exist Bookstr		1									32	9'-0" PAINT ENTIRE WEST WALL ACCENT BLUE [4]
V0113	CNTR. STORAGE		1									32	9'-0"
V0114	EXISTING ELECTRICAL		1									32	EXIST.
V0115	UTILITY (Part of Prev Receiving)		1									32	8'-8"
V0116	STOR PANTRY		1									32	8'-8"
V0117	CUSTODIAN		1									32	8'-8"
V0118	STAFF BREAK ROOM		1									32	9'-0"
<i>BLDG V RENO: BID ALT 1*</i>													
V0101	STUDENT ACTIVITY CENTER		2									17	VARIABLES WALK-OFF CARPET INSET [1]
V0101A	STUDENT ACTIVITY CNTR/Exist Com Rm		2									17	VARIABLES [1]
V0101B	STUDENT ACTIVITY CNTR/Exist Lounge		1									17	VARIABLES [1]
V0102	SECURITY OFFICE			3								17	9'-0"
V0103	COORDINATOR'S OFFICE			3								17	9'-0"
V0104	SAG OFFICE			3								17	9'-0"
V0105	STORAGE		1									15	9'-0"
V0106	CAFE		1									15	VARIABLES
V0106A	FOOD PREP		1									15	8'-8"
V0107	VESTIBULE		2									17	9'-0"
V0108	WOMEN		1									14 15	9'-0" BASE BID ABOVE
V0109	VESTIBULE		2									17	9'-0"
V0110	MEN		1									14 15	9'-0" BASE BID ABOVE
V0112	COMMUNITY CENTER/Exist Bookstr		2									17	9'-0"
V0113	CNTR. STORAGE		1									15	9'-0" EXIST FLOOR FINISH TO REMAIN
V0114	EXISTING ELECTRICAL		1									15	EXIST.
V0115	UTILITY		1									15	8'-8"
V0116	STOR PANTRY		1									17	8'-8"
V0117	CUSTODIAN		1									17	8'-8"
V0118	STAFF BREAK ROOM		1									17	9'-0"
<i>BLDG V RENO: BID ALT 2</i>													
V0101	STUDENT ACTIVITY CENTER											27 29 30	VARIABLES [1] [3]
V0101A	STUDENT ACTIVITY CNTR/Exist Com Rm											27 29	VARIABLES [1] [3]
V0101B	STUDENT ACTIVITY CNTR/Exist Lounge											27 29	VARIABLES [1] [3]
V0102	SECURITY OFFICE											32	9'-0"
V0103	COORDINATOR'S OFFICE											32	9'-0"
V0104	SAG OFFICE											32	9'-0"
V0105	STORAGE											32	9'-0"
V0112	COMMUNITY CNTR/Exist Bookstr											27 29 30	VARIABLES [1] [3]
V0113	CNTR. STORAGE											32	9'-0"
V0114	EXISTING ELECTRICAL											32	EXIST.
V0115	UTILITY											32	8'-8"
V0116	STOR PANTRY											32	8'-8"
V0117	CUSTODIAN											32	8'-8"
V0118	STAFF BREAK ROOM											32	9'-0"

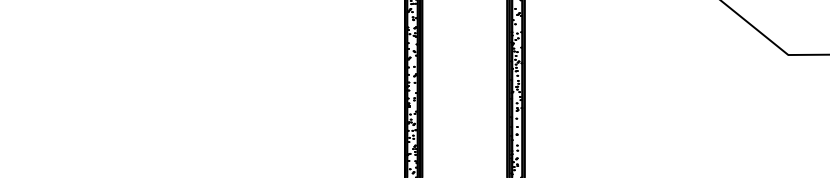
D1 WALL TYPE "X"  
SCALE: 1 1/2" = 1'-0"



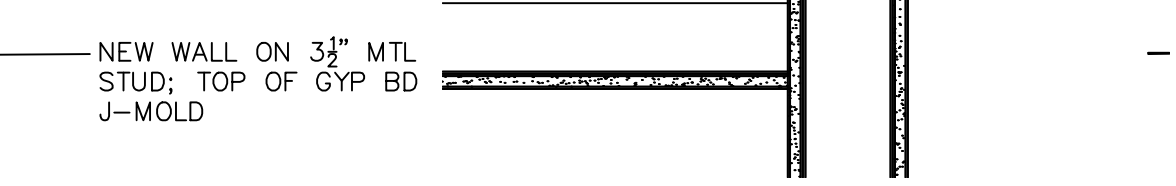
D2 WALL TYPE "A"  
SCALE: 1 1/2" = 1'-0"



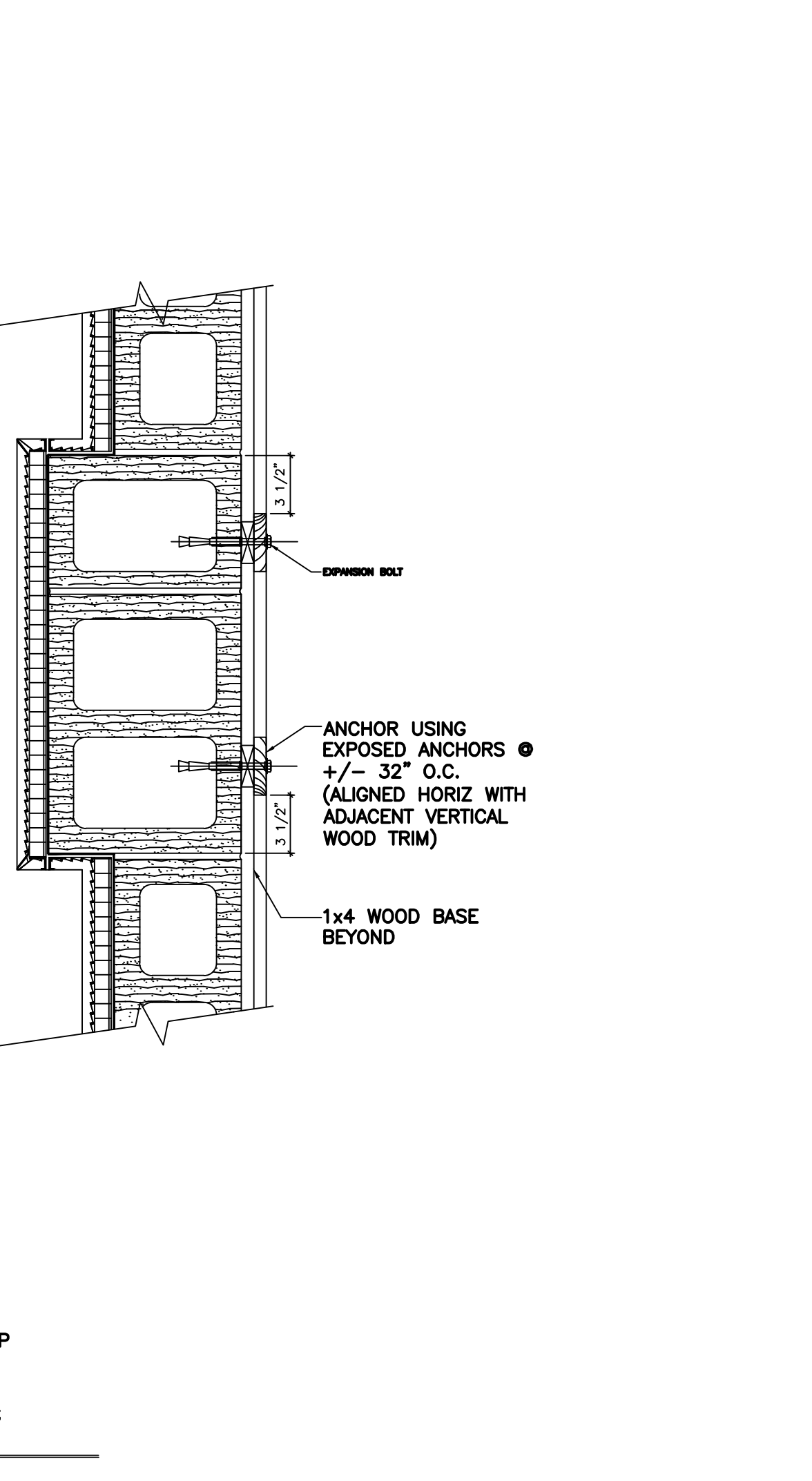
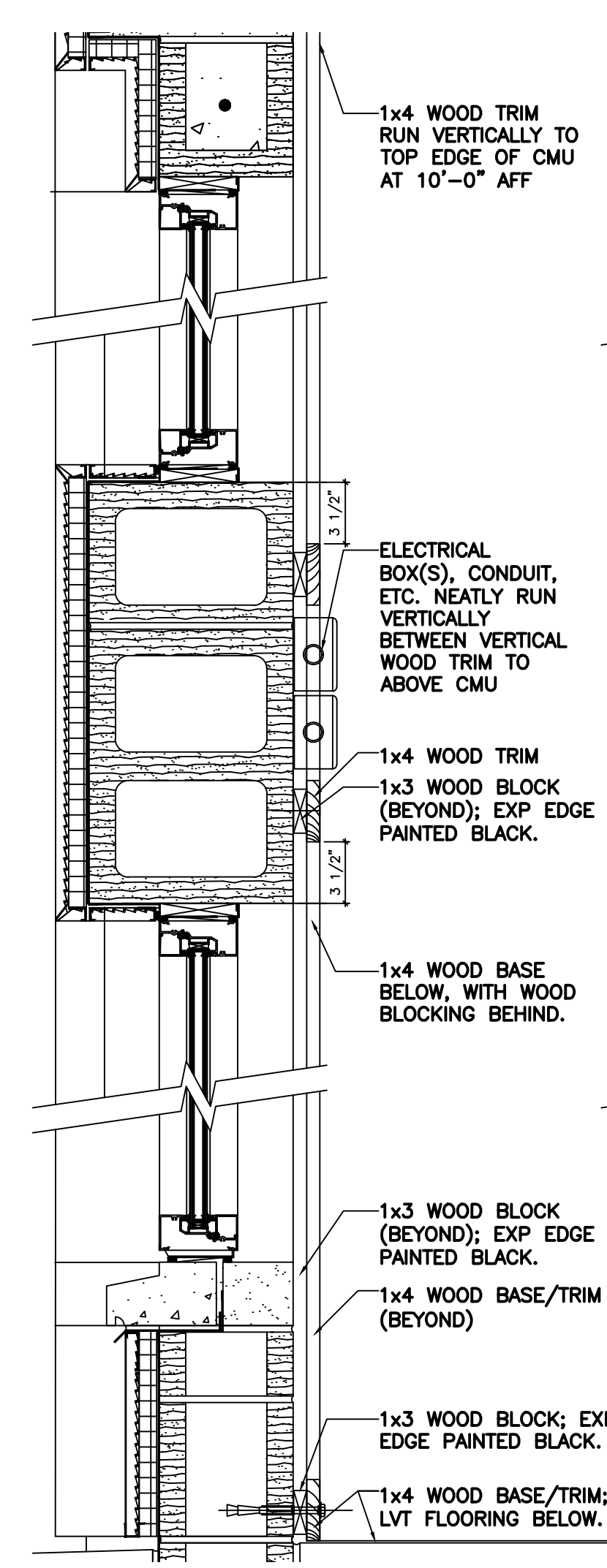
C1 WALL TYPE "C"  
SCALE: 1 1/2" = 1'-0"



C2 WALL TYPE "B"  
SCALE: 1 1/2" = 1'-0"



A1 DETAIL WOOD TRIM ACCENT AT EXPOSED ELECT/DATA  
SCALE: 1" = 1'-0"







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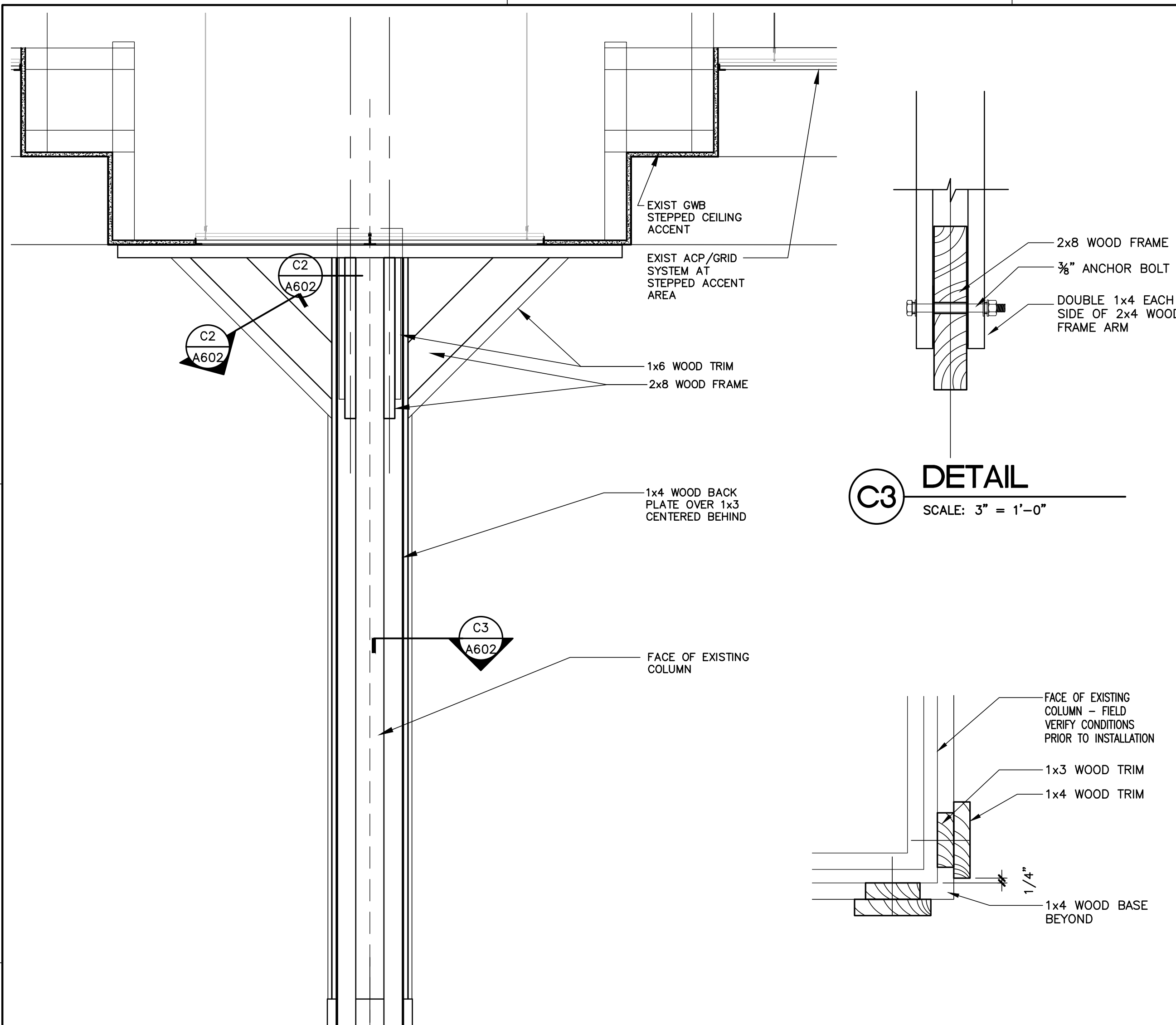
DR SCHEDULE, DR AND FRAME  
ELEV, MISC DETAILS

SHEET NUMBER

A602

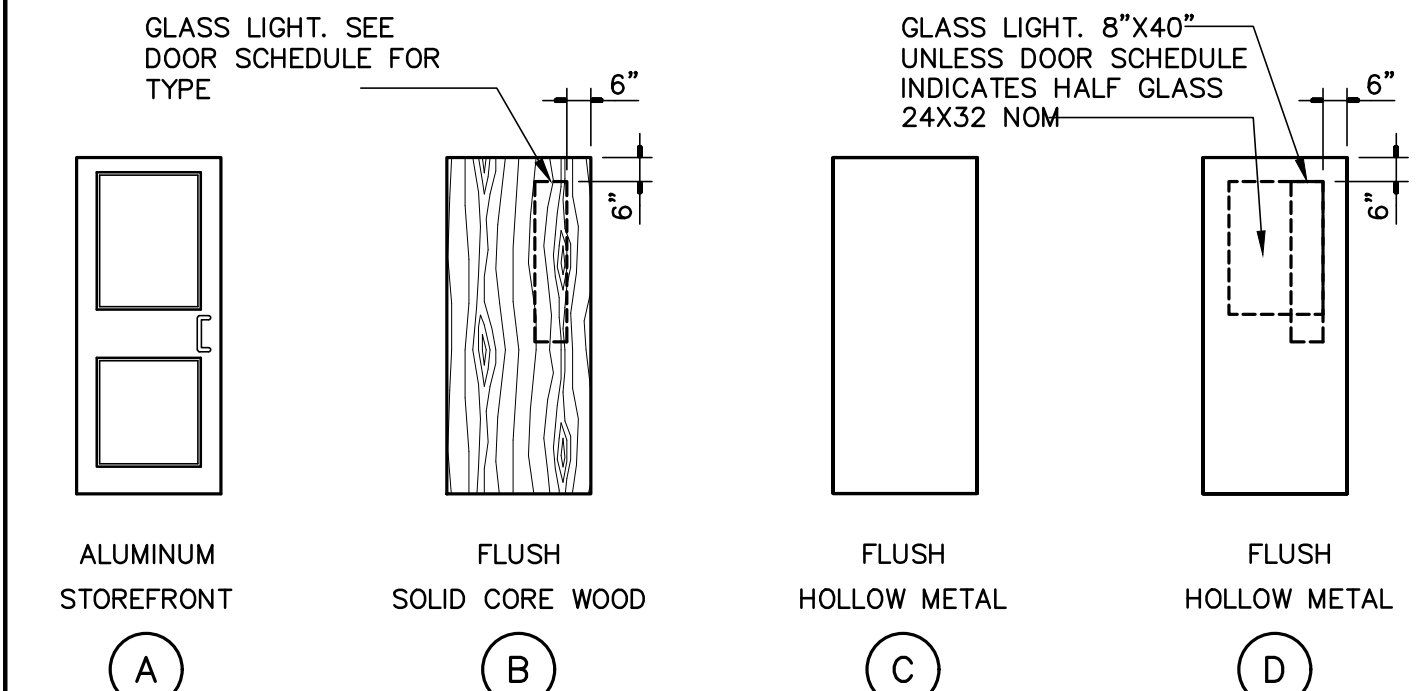
# DOOR SCHEDULE

MARK	DOOR			FRAME			GLAZING	LOUVERS	LABEL	HDWR GROUP	REMARKS	
	SIZE	TYPE	MATL	TYPE	HEAD	JAMB						SILL
100/A	PR. 3'-0" x 7'-0" x 1-3/4"	A	ALUMINUM	F2	D5/A603	B5/A603	A5/A603	SEE SPEC'S.	-----	-----	1	AUTO OPER/PUSH ACTUATED
100/B	PR. 3'-0" x 7'-0" x 1-3/4"	A	ALUMINUM	F2	D5/A603	B5/A603	A5/A603	SEE SPEC'S.	-----	-----	4	
100/C	PR. 3'-0" x 7'-0" x 1-3/4"	D	H.M.	F1	C2/A603 SIM.	C2/A603	A3/A603	SEE SPEC'S.	-----	-----	7	
E101/Ae	EXIST/RELOCATE PR. 3'-0" x 7'-0"	A	ALUMINUM	F2	B3/A603	B3/A603	A3/A603	EXIST	-----	-----	6	Option: Re-Use Exist/Partial
E101/B	EXIST TO REMAIN/PR. 3'-0" x 7'-0"	A	ALUMINUM	N/A	N/A	N/A	N/A	N/A	-----	-----	2	EXIST TO REMAIN
101/C	3'-0" x 7'-0" x 1-3/4"	A	ALUMINUM	F2	D5/A603 SIM.	D5/A603	A5/A603	SEE SPEC'S.	-----	-----	3	
102/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
103/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
104/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
106/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
E107/A	DEMO EXIST/TURN OVER TO OWNER	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	0, N/A	SALVAGE/TO OWNER
108/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
E109/A	DEMO EXIST/TURN OVER TO OWNER	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	0, N/A	SALVAGE/TO OWNER
110/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
E112/A	DEMO EXIST/TURN OVER TO OWNER	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	0, N/A	SALVAGE/TO OWNER
E112/B	PR. DEMO EXIST/TURN OVER TO OWNER	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	0, N/A	SALVAGE/TO OWNER
E112/Ce	EXIST/RELOCATE PR. 3'-0" x 7'-0"	A	ALUMINUM	F2	B3/A603	B3/A603	A3/A603	EXIST	-----	-----	6	Option: Re-Use Exist/Partial
E112/D	3'-0" x 7'-0" x 1-3/4"	D	H.M.	EXIST	---	---	---	EXIST/HALF LITE-HG	-----	-----	8	Option: Re-Use Exist/Partial
113/A	EXIST TO REMAIN/PR 3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	13	EXIST TO REMAIN
114/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	H.M.	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
E115/Ae	EXIST/RELOCATE 3'-0" x 7'-0"	B	H.M.	F1, N/A	N/A	N/A	N/A	EXIST	-----	-----	14	RELOCATE EXIST
115/B	EXIST TO REMAIN/PR 3'-0" x 7'-0"	C	H.M.	EXIST	---	---	---	---	-----	-----	15	EXIST TO REMAIN
E116/Ae	EXIST/RELOCATE 3'-0" x 7'-0"	B	H.M.	F1, N/A	N/A	N/A	N/A	EXIST	-----	-----	14	RELOCATE EXIST
E117/Ae	EXIST/RELOCATE 3'-0" x 7'-0"	B	H.M.	F1, N/A	N/A	N/A	N/A	EXIST	-----	-----	14	RELOCATE EXIST
118/A	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
118/B	EXIST TO REMAIN/3'-0" x 7'-0"	B	WOOD	N/A	N/A	N/A	N/A	N/A	-----	-----	12	EXIST TO REMAIN
E119/Ae	EXIST/RELOCATE PR. 3'-0" x 7'-0"	A	ALUMINUM	F4	B3/A603	B3/A603	A3/A603	EXIST	-----	-----	6	Option: Re-Use Exist/Partial
120/A	3'-0" x 7'-0" x 1-3/4"	A	ALUMINUM	F3	D5/A603	B5/A603	A5/A603	SEE SPEC'S.	-----	-----	5	
121/A	3'-0" x 7'-0" x 1-3/4"	B	WOOD	F1	C2/A603	C2/A603	A3/A603	---	-----	-----	11	
122/A	PR. 3'-0" x 7'-0" x 1-3/4"	D	H.M.	F1	C2/A603 SIM.	C2/A603	A3/A603	SEE SPEC'S.	-----	-----	7	
123E/A	EXIST TO REMAIN/PR 3'-0" x 7'-0"	C	H.M.	EXIST	---	---	---	---	-----	-----	15	EXIST TO REMAIN
123/A	PR. 3'-0" x 7'-0" x 1-3/4"	C	H.M.	F1	B1/A603 SIM.	B1/A603	A3/A603	---	-----	-----	9	
124/A	3'-0" x 7'-0" x 1-3/4"	C	H.M.	F1	B1/A603 SIM.	B1/A603	A3/A603	---	-----	-----	10	

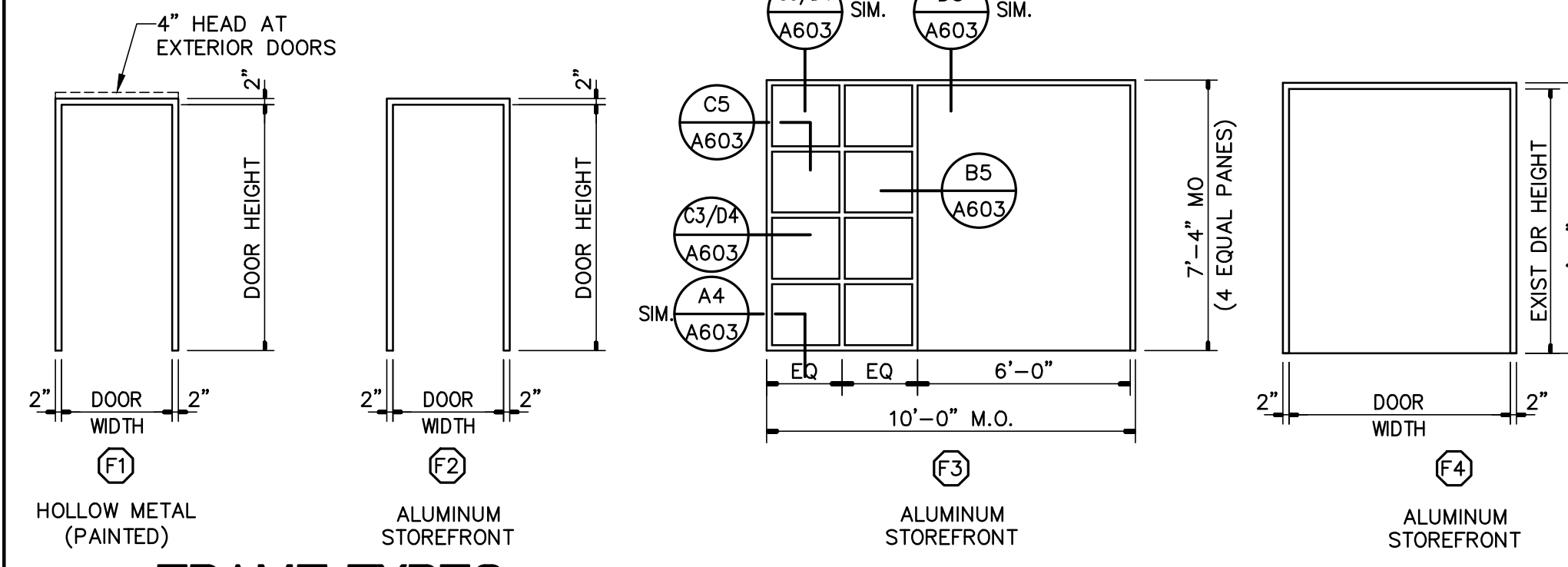


**C1 ELEVATION** EXISTING COLUMN ENHANCEMENT  
SCALE: 1/4" = 1'-0"

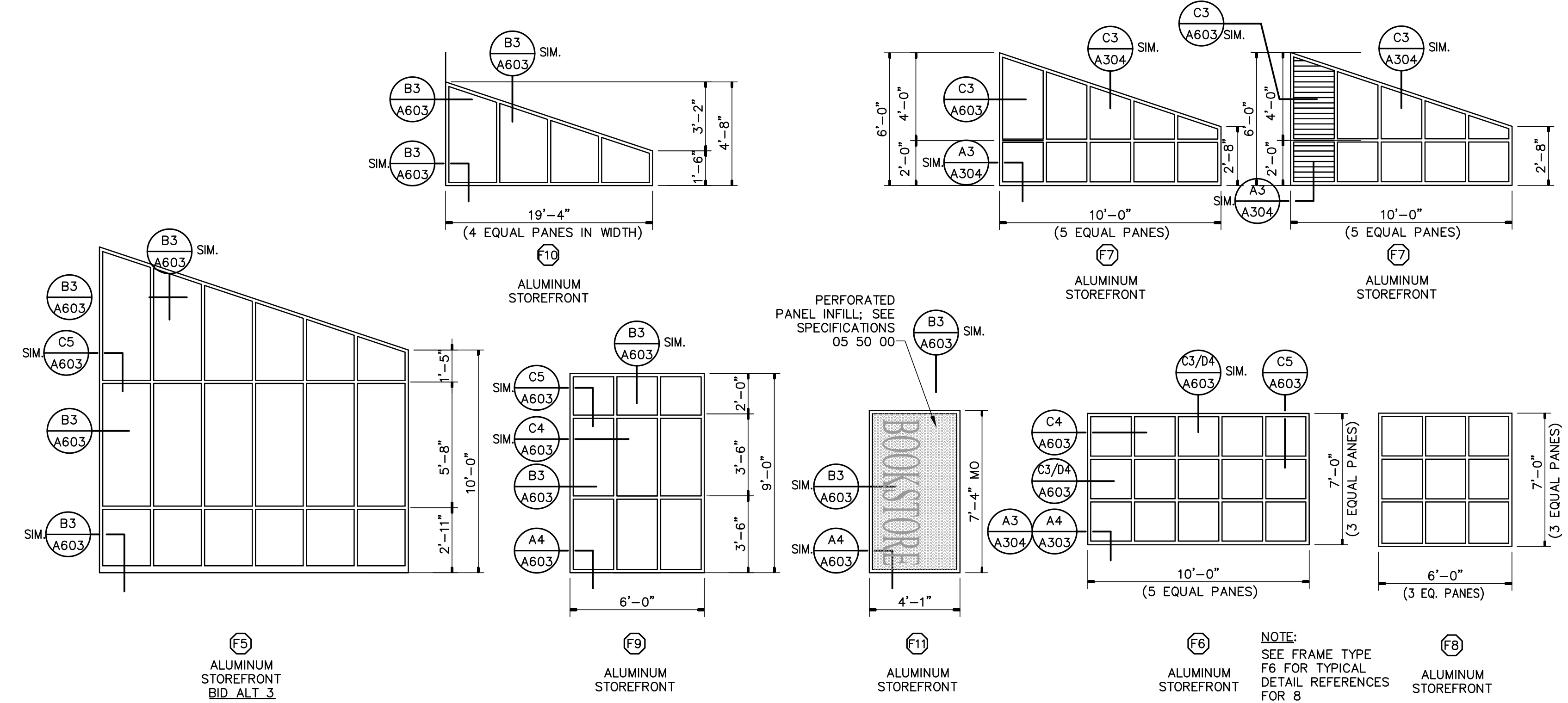
**C2 DETAIL**  
SCALE: 3" = 1'-0"



**B1 DOOR TYPES**  
SCALE: 1/4" = 1'-0"



**A1 FRAME TYPES**  
SCALE: 1/4" = 1'-0"



NOTE:  
SEE FRAME TYPE  
F6 FOR TYPICAL  
DETAIL REFERENCES  
FOR B



AKEL LOGAN SHAFER ARCHITECTS AND PLANNERS

704 Rosselle Street / Jacksonville, Florida 32204  
Telephone (904) 356-2654 / Fax (904) 356-4010  
AAC002135

CONSULTANTS

NOTES

PROJECT

BID NUMBER: BID-SJR-05-2019

RENOVATION WITH  
ADDITION TO BUILDING V  
ST. AUGUSTINE CAMPUS

FOR



ST. JOHNS RIVER  
STATE COLLEGE

MARK DATE DESCRIPTION

ISSUE: JAN 22, 2020  
PROJECT NO: 1809  
CAD DWG FILE: A605.DWG  
DRAWN BY: ALS  
CHECKED BY: MSB

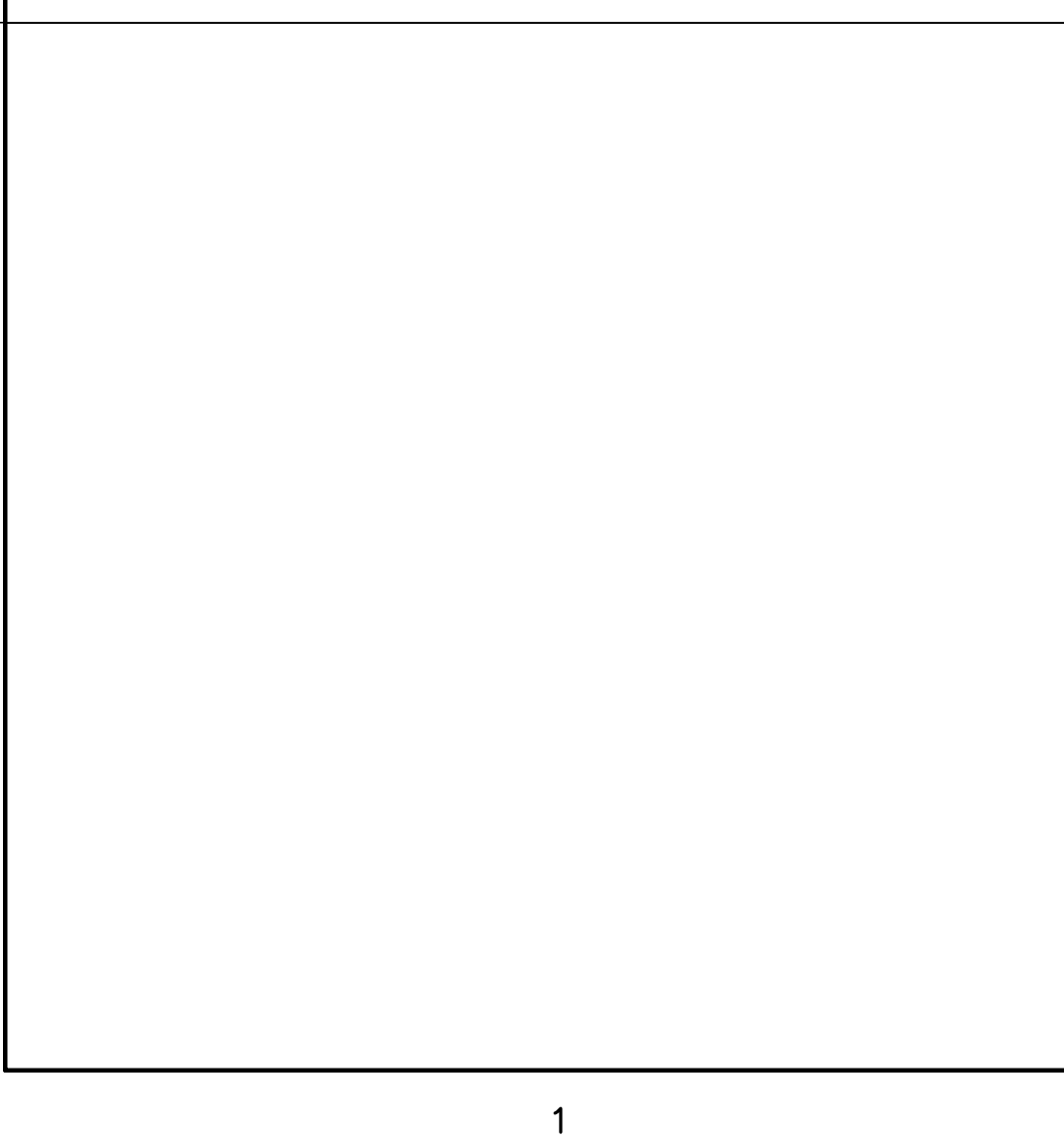
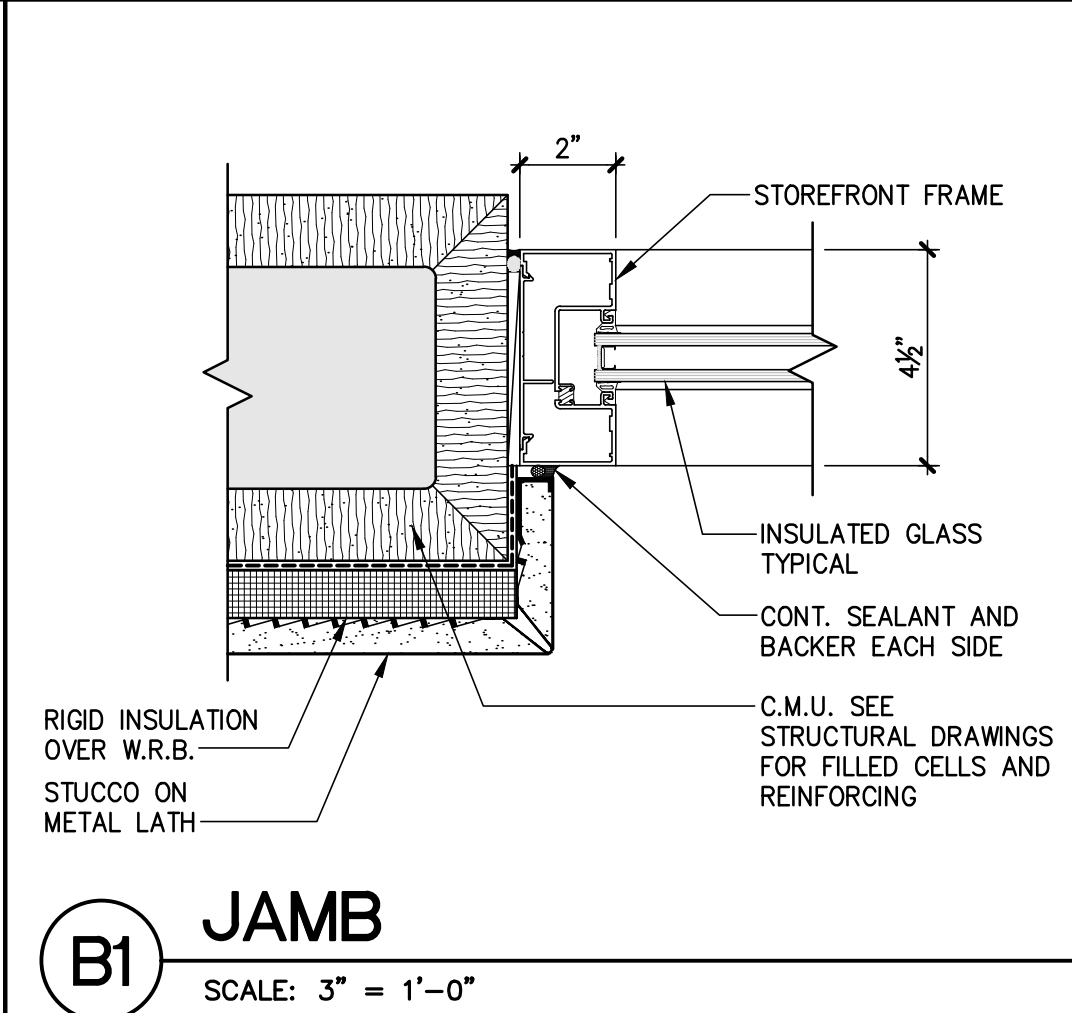
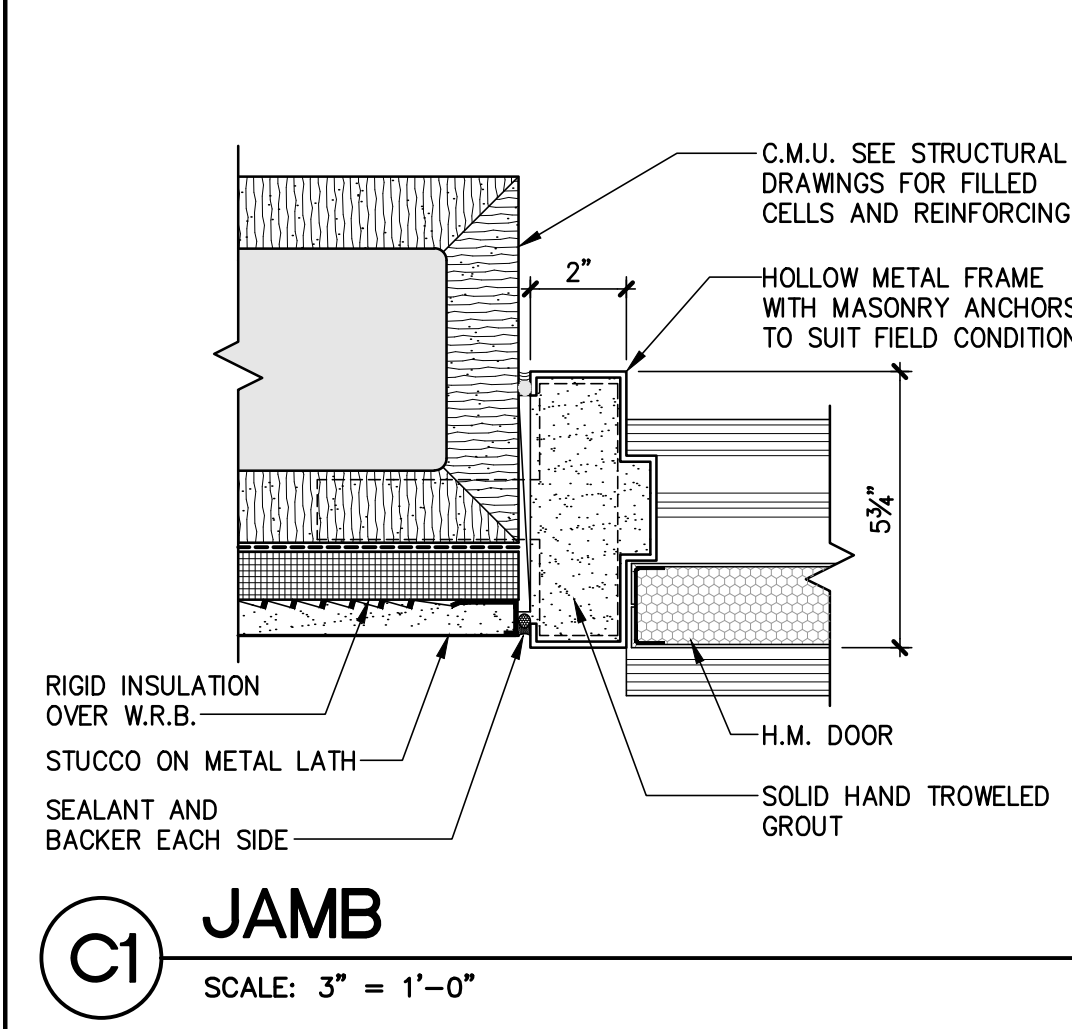
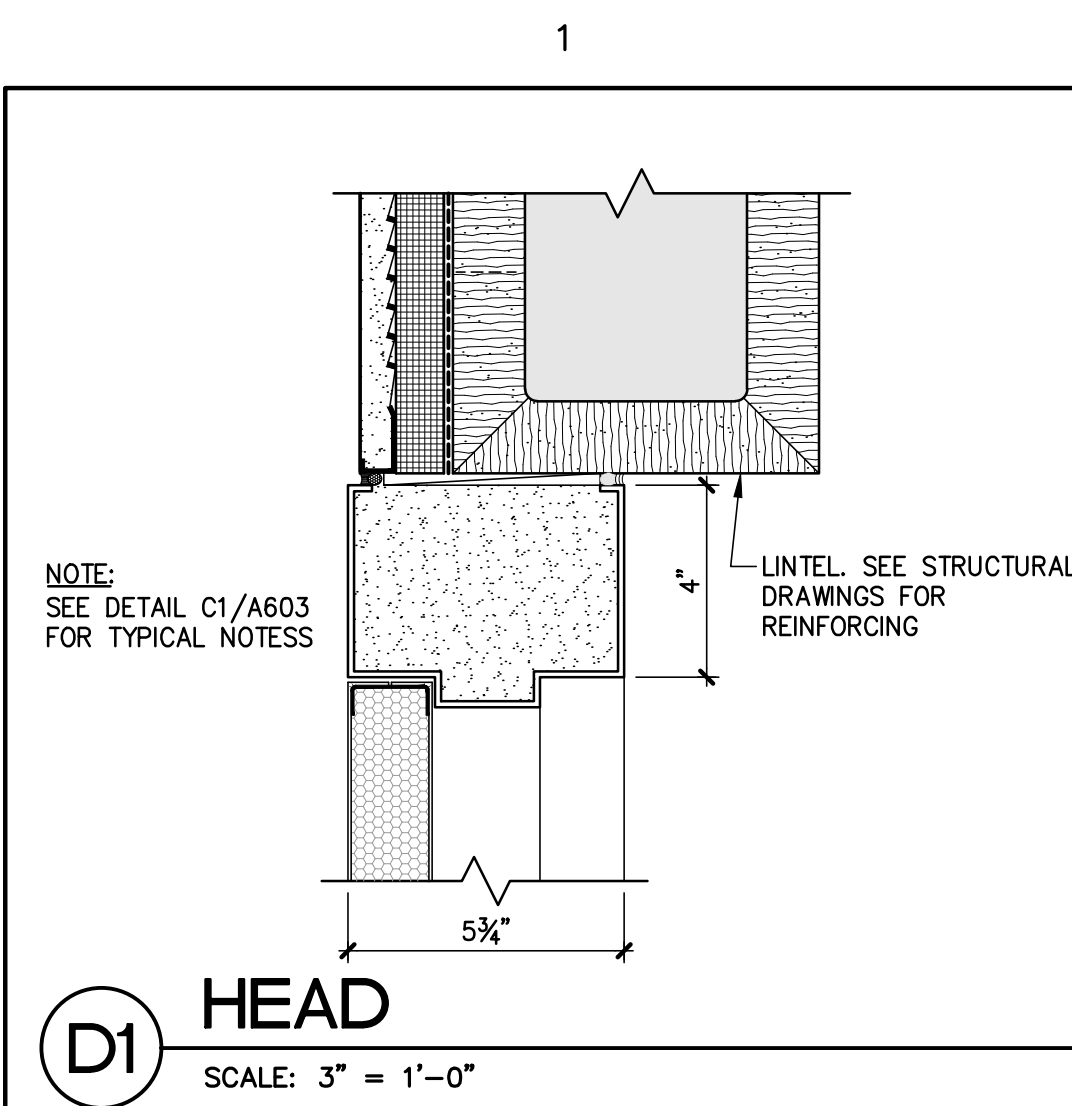
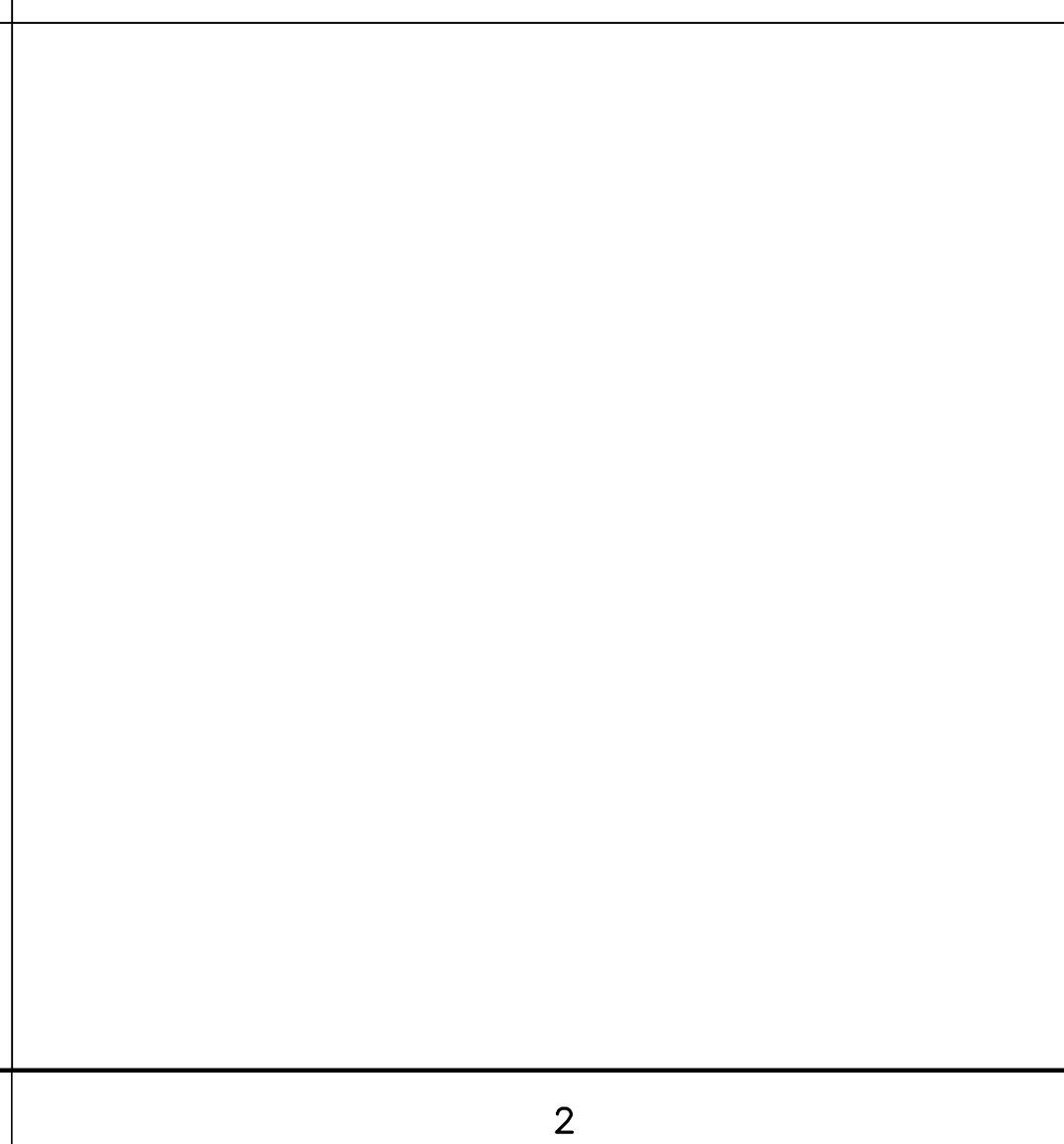
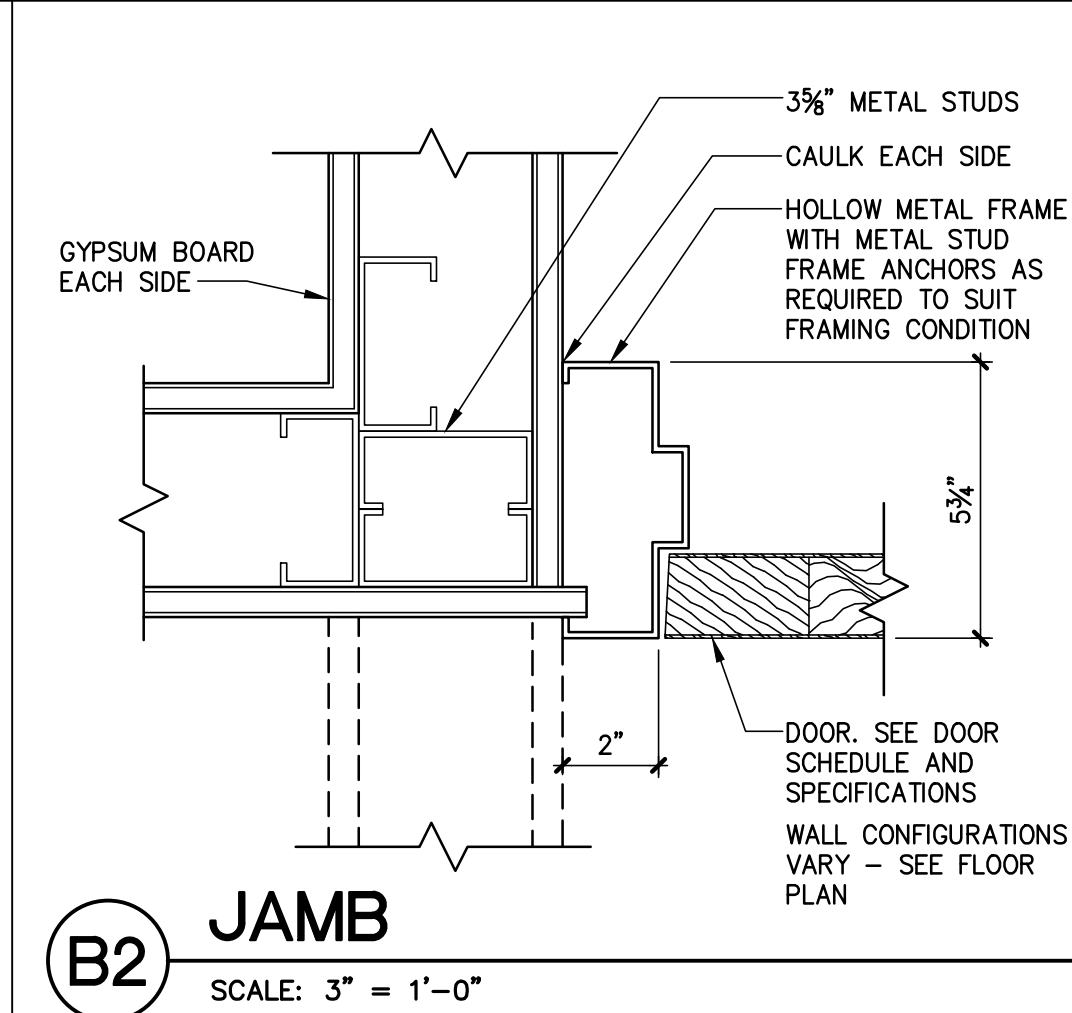
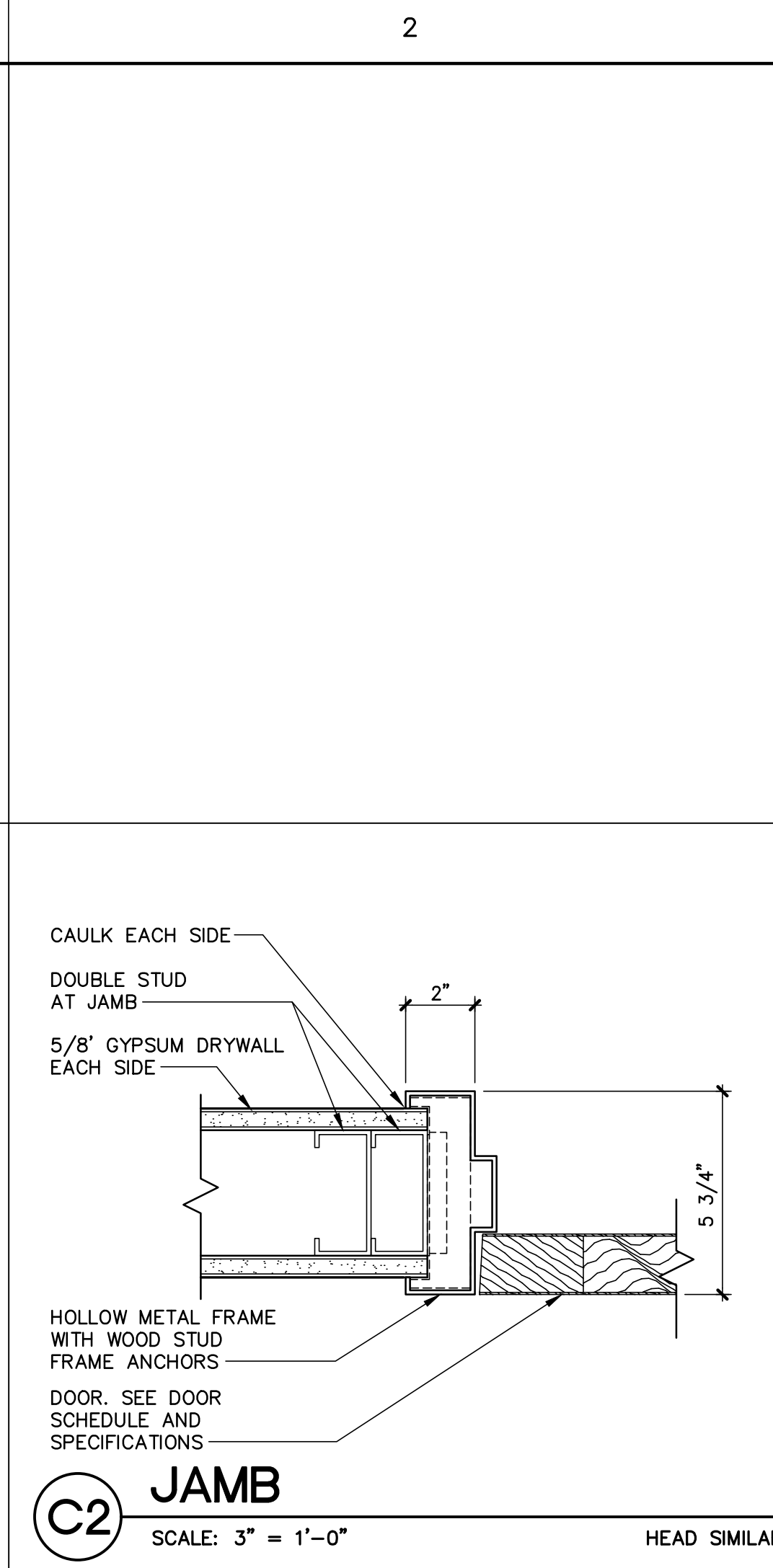
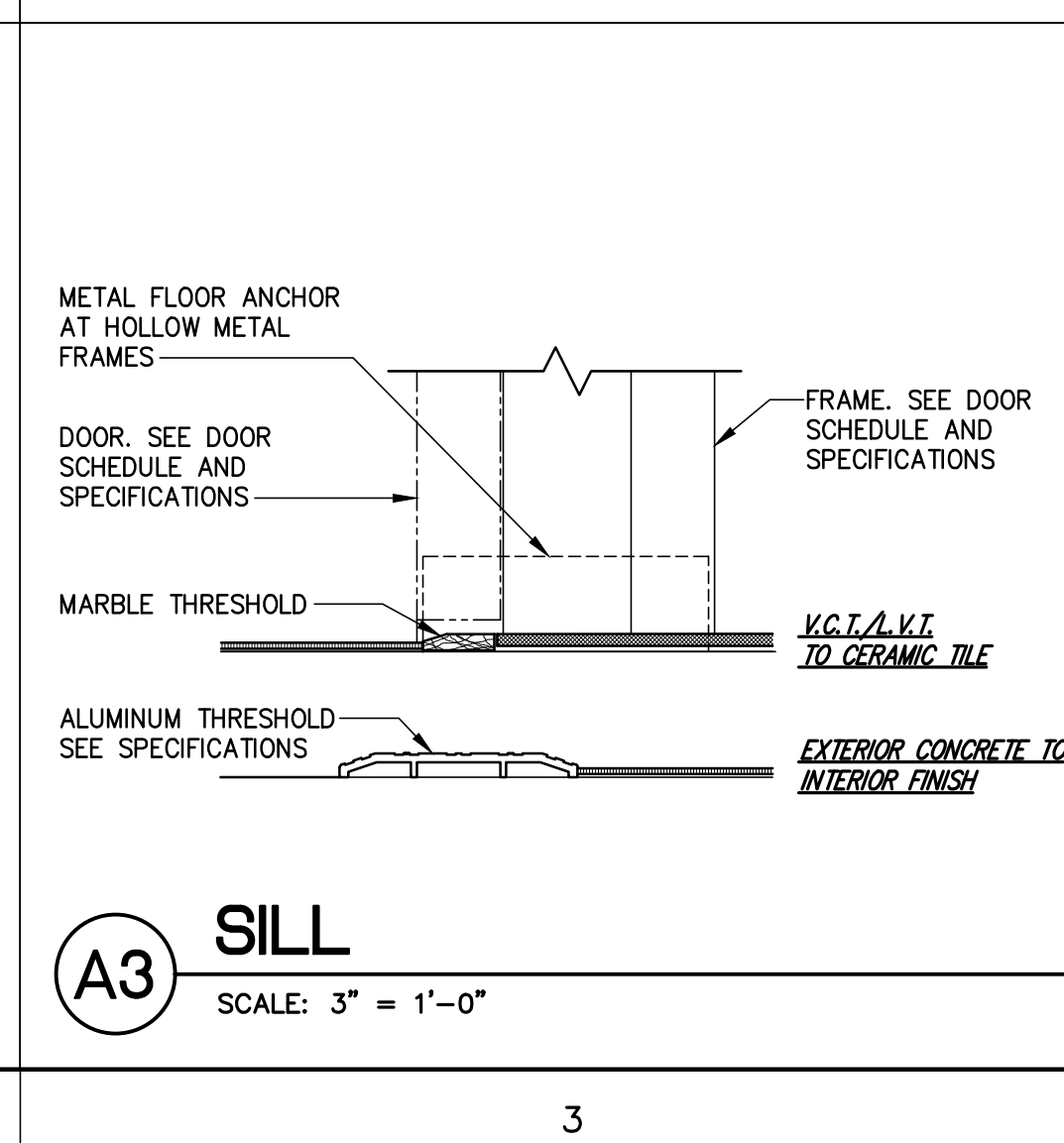
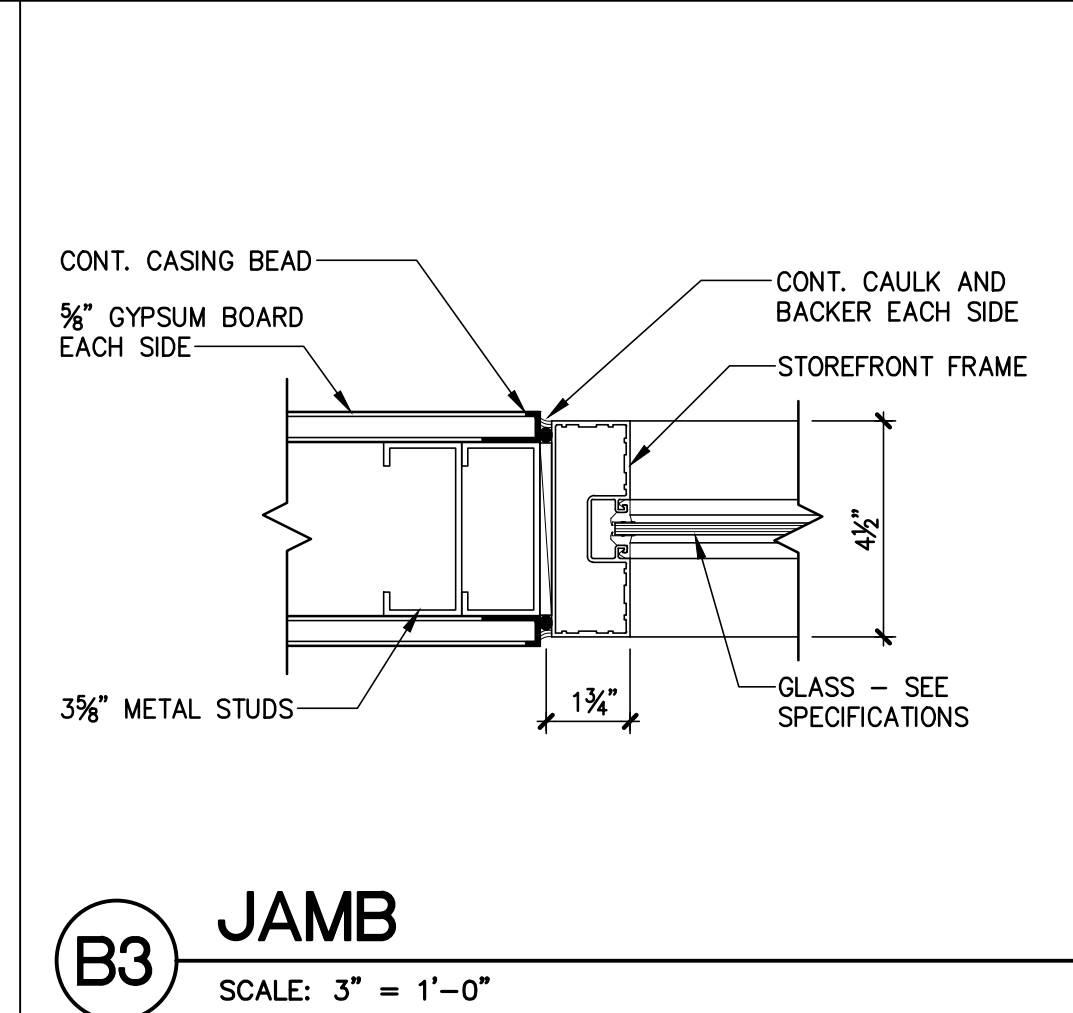
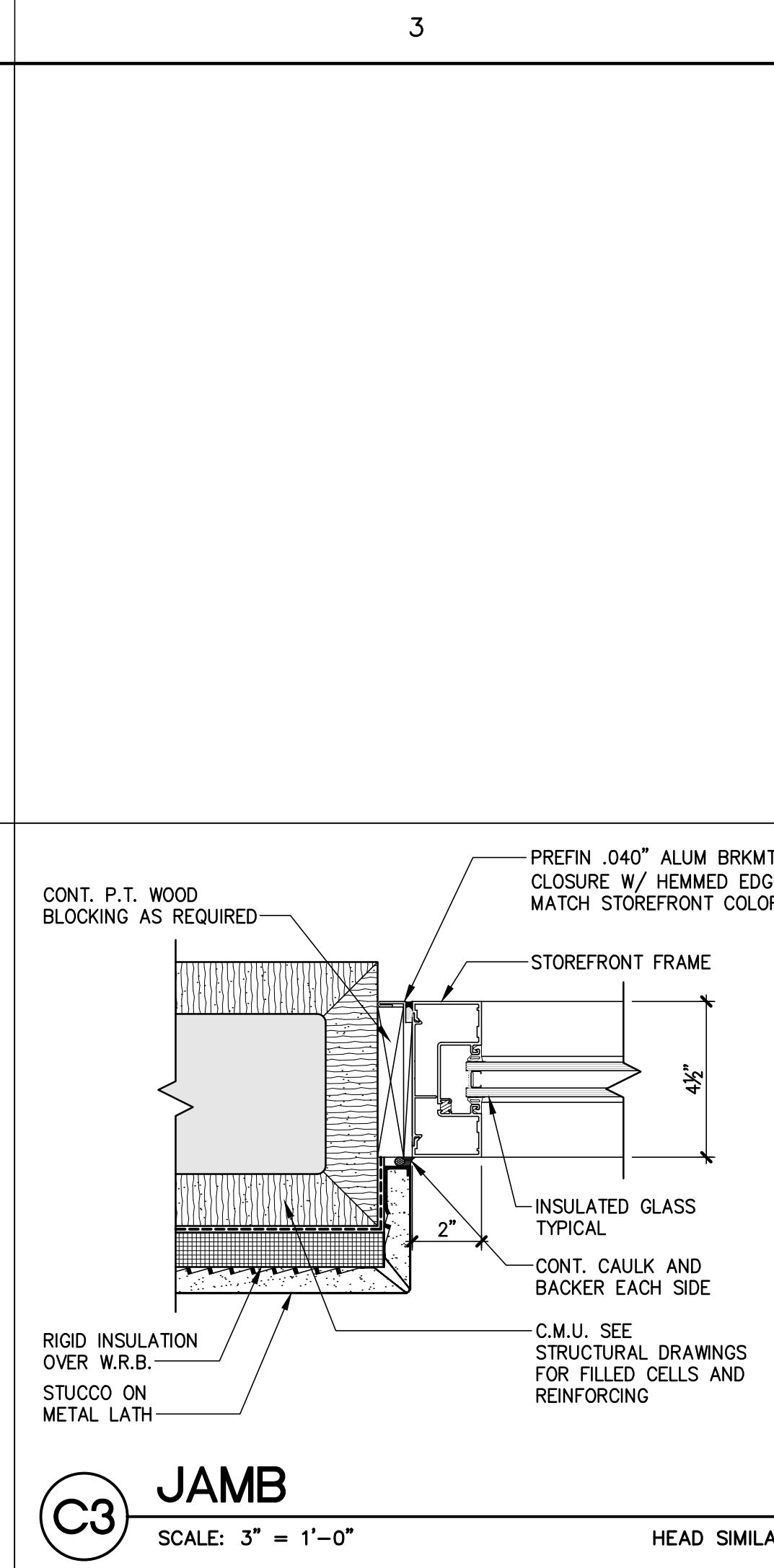
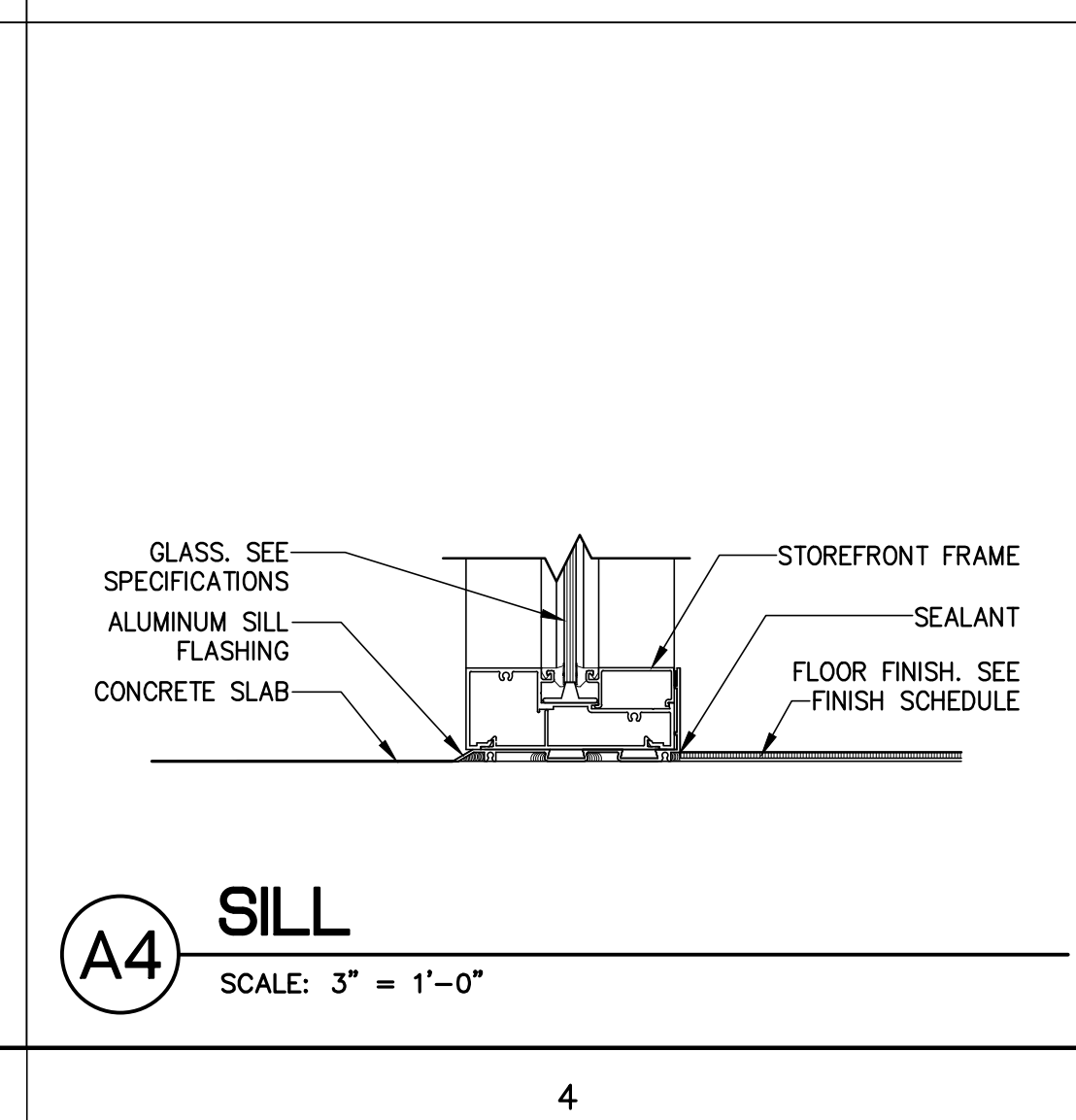
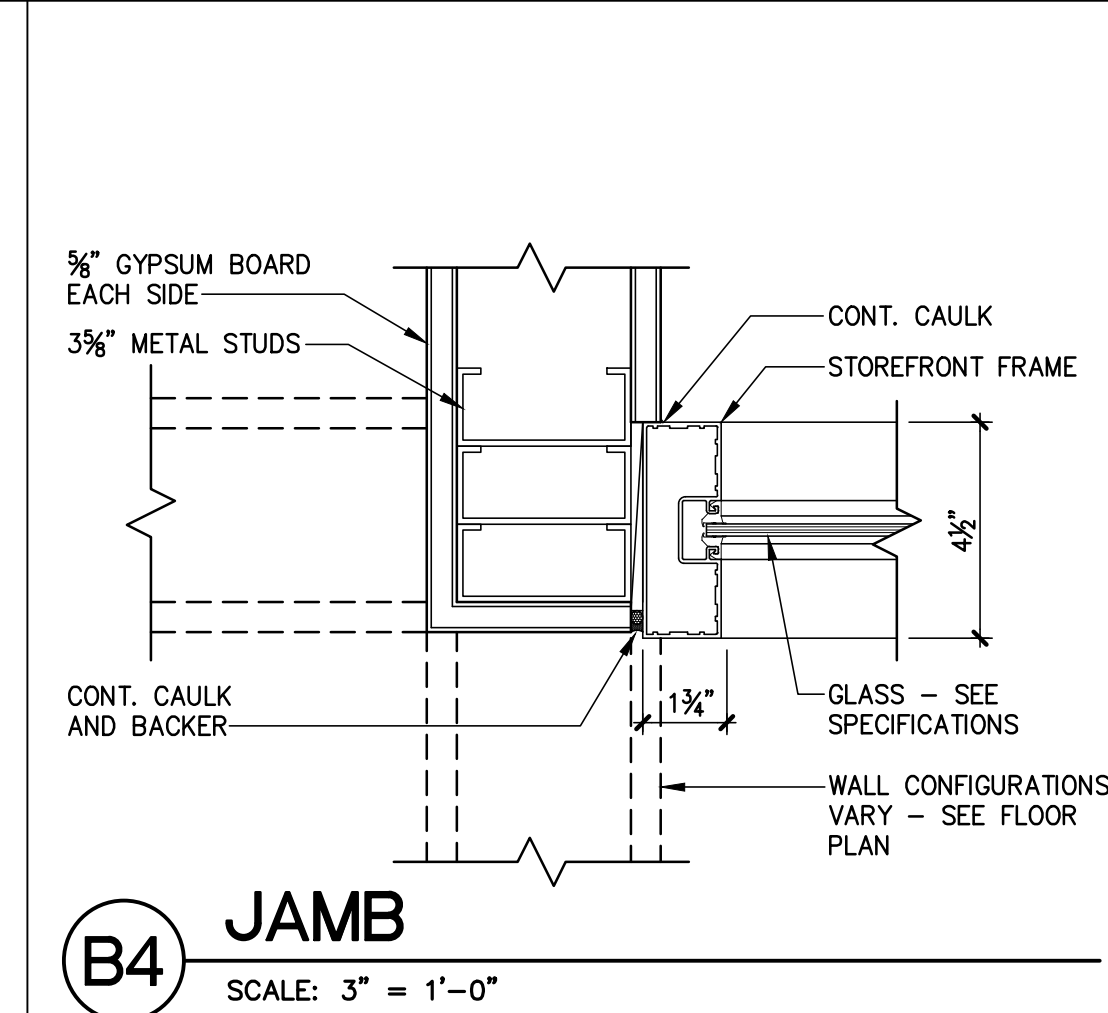
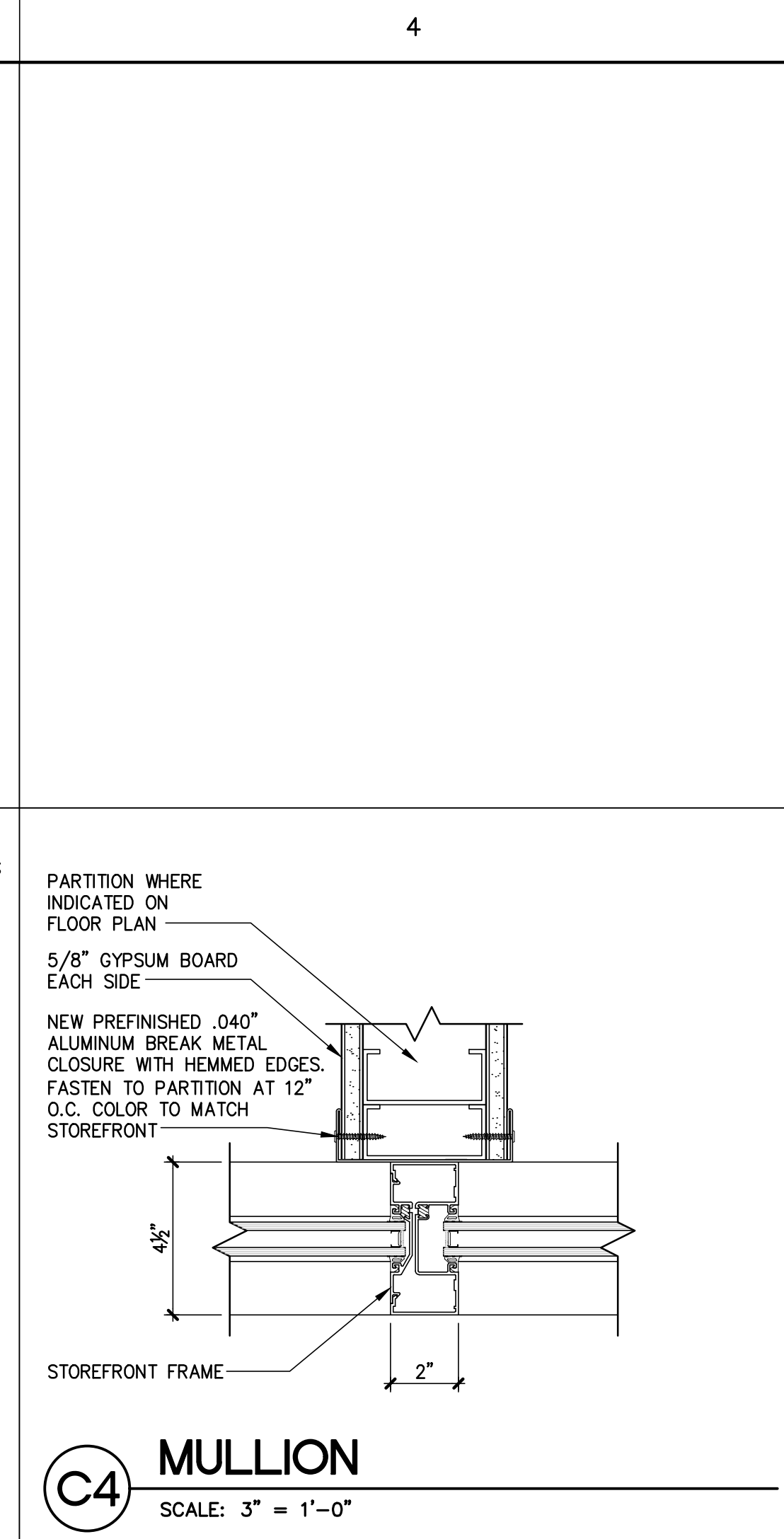
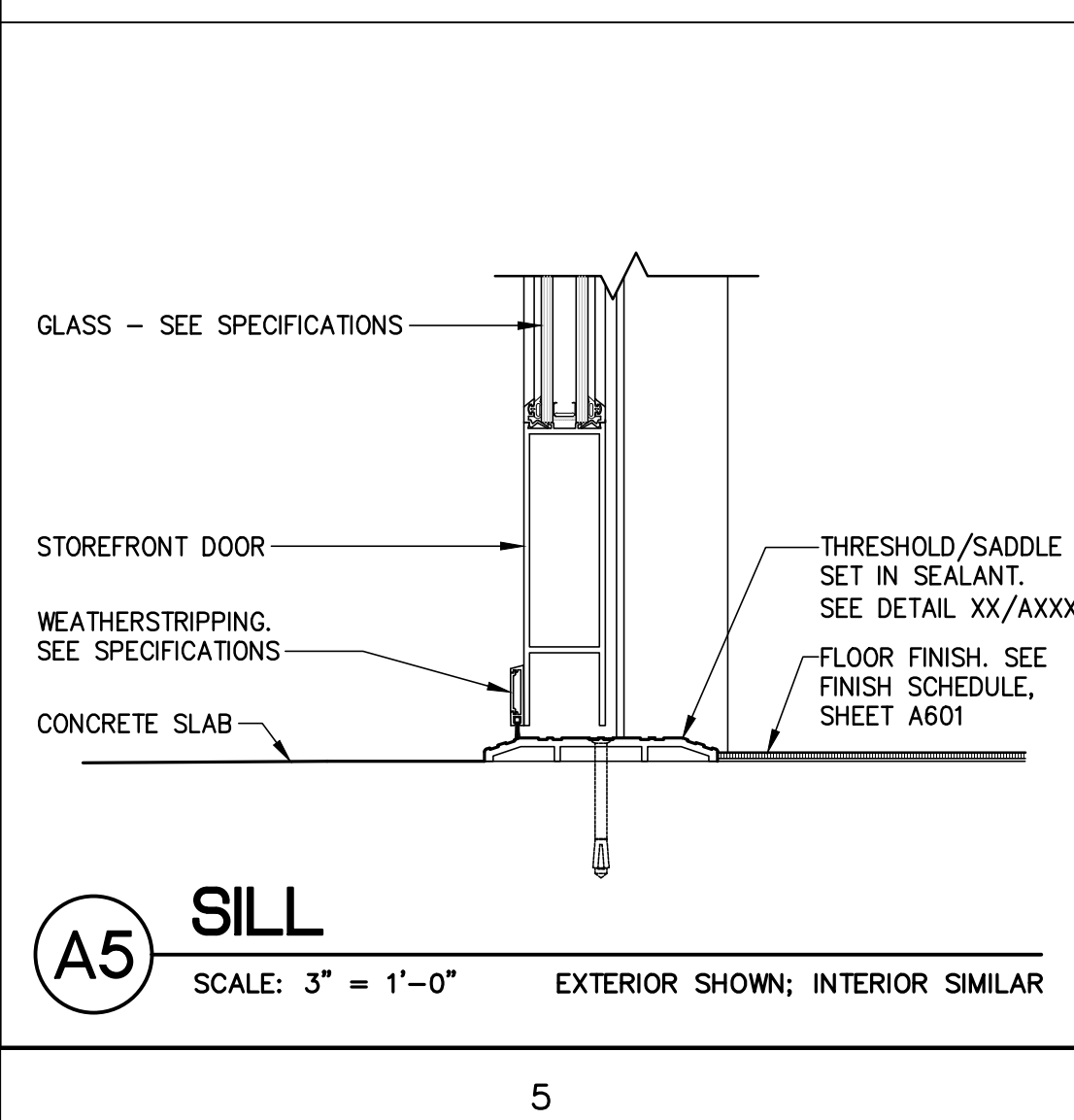
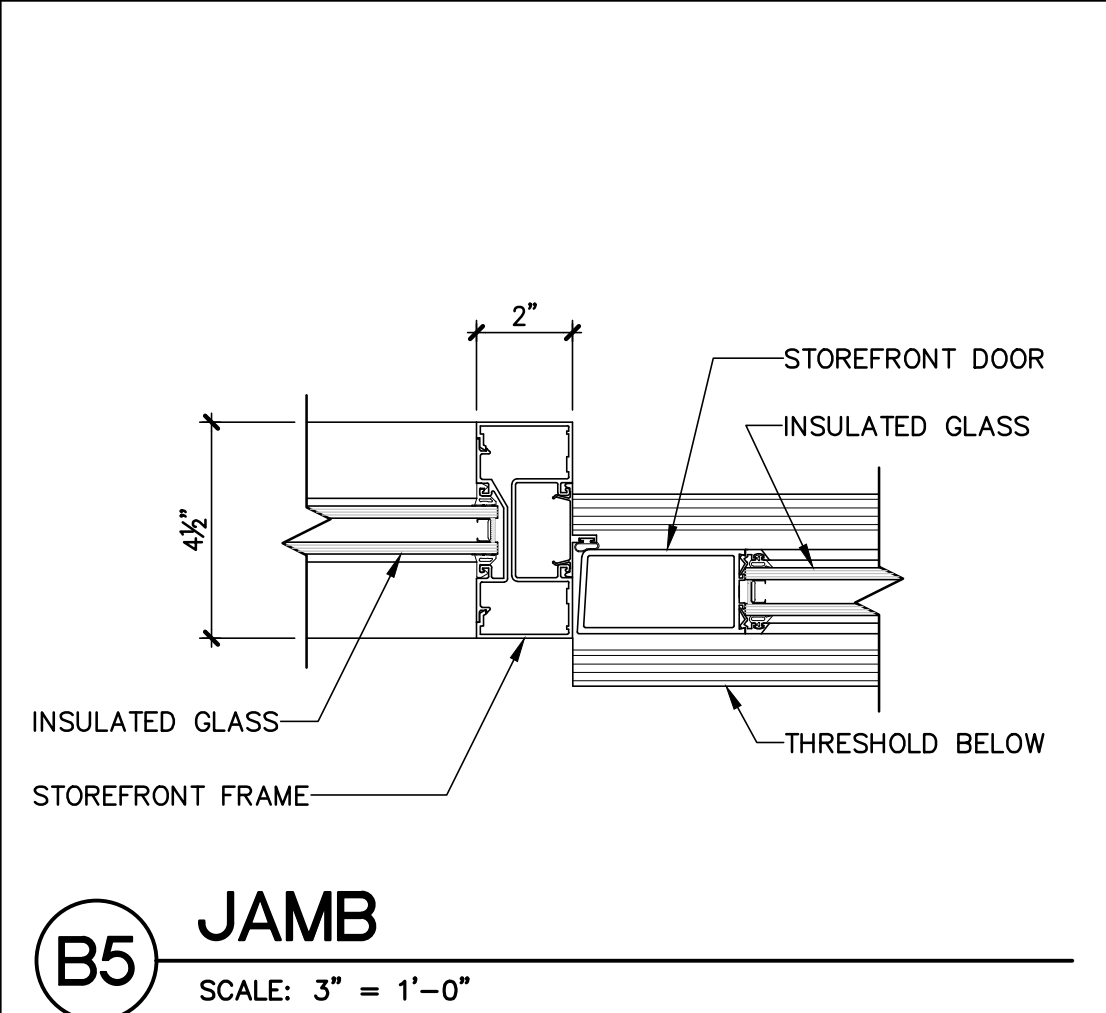
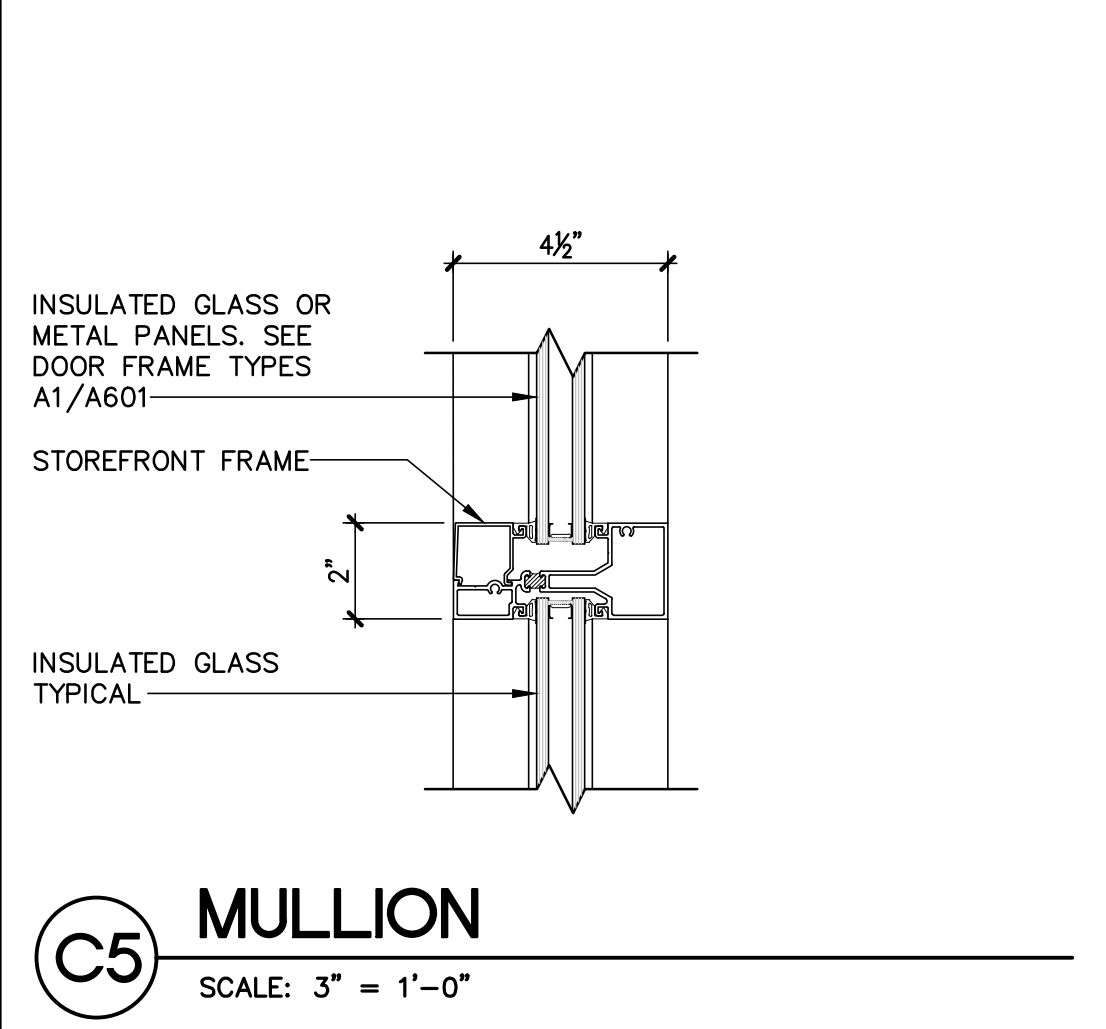
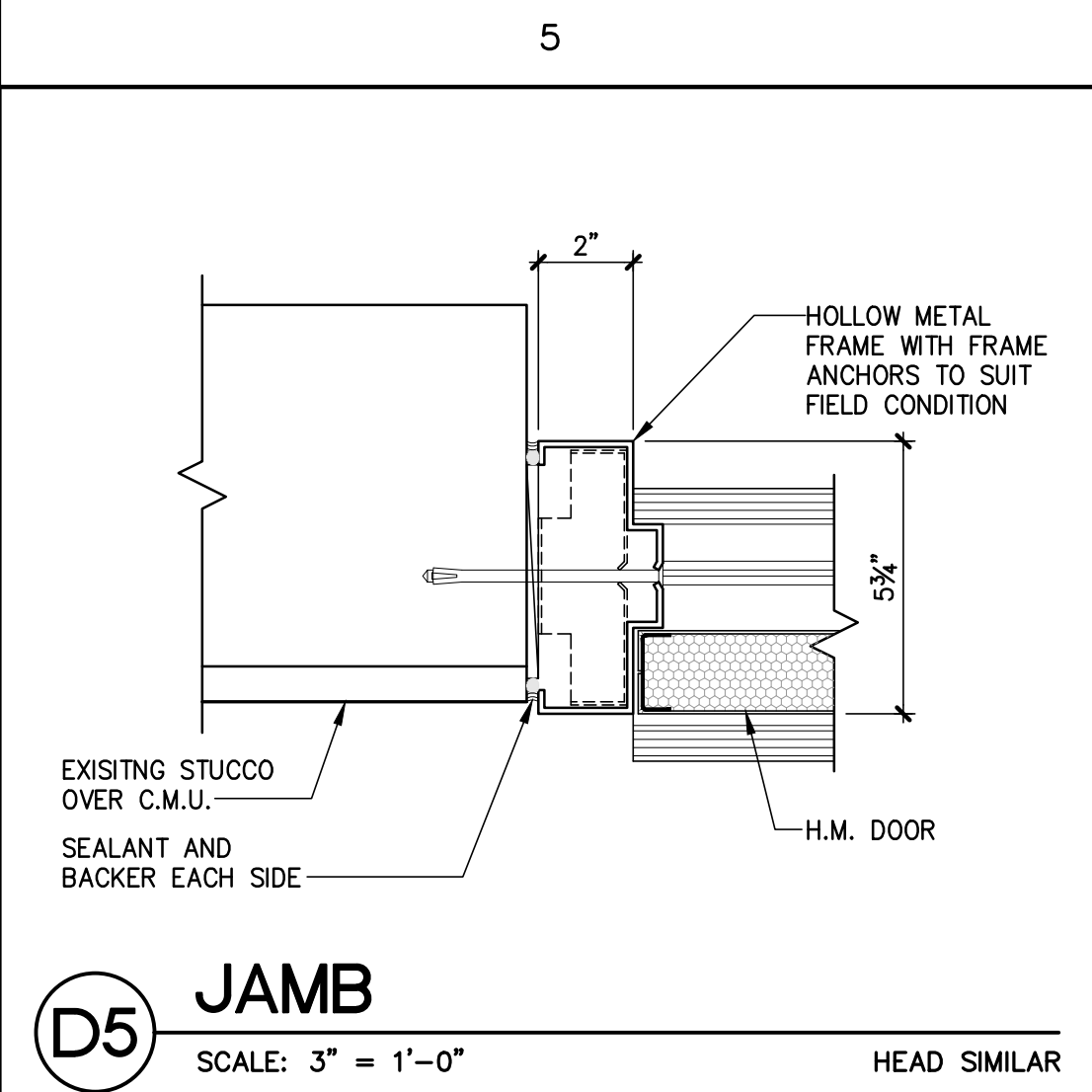
BID DOCUMENTS PHASE

SHEET TITLE

DOOR DETAILS

SHEET NUMBER

A603



D

C

B

A

D

C

B

A

1

2

3

4

5

1

2

3

4

5